

# CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING

Wednesday, April 10, 2024 at 7:00 pm  
Garfield Township Hall  
3848 Veterans Drive  
Traverse City, MI 49684  
Ph: (231) 941-1620

## A G E N D A

### **ORDER OF BUSINESS**

**Call meeting to order**  
**Pledge of Allegiance**  
**Roll call of Board Members**

#### **1. Public Comment**

##### **Public Comment Guidelines:**

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

#### **2. Review and Approval of the Agenda – Conflict of Interest**

#### **3. Minutes – March 27, 2024 Joint Meeting with Township Board**

#### **4. Correspondence**

#### **5. Reports**

- a. Township Board
- b. Planning Commissioners
  - i. Zoning Board of Appeals
  - ii. Parks and Recreation Commission
  - iii. Joint Planning Commission
- c. Staff Report
  - i. PD 2024-23 – Planning Department Monthly Report – April 2024
  - ii. Master Plan Announcement

**6. Unfinished Business**

- a. PD 2024-24 – 3066 North Garfield Special Use Permit – Findings of Fact

**7. New Business**

- a. PD 2024-25 – Gauthier Site – Conceptual Review

**8. Public Comment**

**9. Other Business**

**10. Items for Next Agenda – April 24, 2024**

- a. Master Plan Update – Potential Implementation Projects

**11. Adjournment**

**Joe Robertson, Secretary  
Garfield Township Planning Commission  
3848 Veterans Drive  
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

**CHARTER TOWNSHIP OF GARFIELD  
JOINT TOWNSHIP BOARD AND PLANNING COMMISSION MEETING  
March 27, 2024**

**Call Meeting to Order:** Supervisor Korn called the March 27, 2024 Joint Town Board and Planning Commission meeting to order at 6:00pm at the Garfield Township Hall.

**Pledge of Allegiance**

The Pledge of Allegiance was recited by all in attendance.

**Roll Call of Board Members:** Chloe Macomber, Lanie McManus, Chris Barsheff, Denise Schmuckal, Steve Duell, Molly Agostinelli, Chuck Korn

**Roll Call of Commission Members:**

Present: Molly Agostinelli, Pat Cline, Joe Robertson, Robert Fudge, and Joe McManus

Absent and Excused: Planning Commissioners John Racine and Chris DeGood

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

**1. Public Comment (6:01)**

None

**2. Review and Approval of the Agenda – Conflict of Interest (6:01)**

*Agostinelli moved and Barsheff seconded to approve the agenda as presented.*

*Yeas: Agostinelli, Barsheff, Cline, Fudge, Robertson, J. McManus, L. McManus, Macomber, Duell, Schmuckal, Korn*

*Nays: None*

**3. Minutes (6:02)**

**a. March 13, 2024 Regular Meeting**

*Cline moved and Fudge seconded to approve the March 13, 2024 Planning Commission Regular Meeting minutes as presented.*

*Yeas: Cline, Fudge, Robertson, Agostinelli, J. McManus*

*Nays: None*

**4. Business**

**a. PD 2024-21 Review of Master Plan Final Draft (6:02)**

Sych explained that the Master Plan process began in 2022. Surveys and public input were gathered and throughout 2023, the Master Plan was drafted by staff and Planning Commissioners. Today, the Planning Commission is presenting a final draft of the Master Plan for discussion. The draft Master Plan builds on the Township Board's Strategic Plan and

presents a vision, future land use designations, future road connections, housing priorities, environmental priorities, infrastructure priorities, economic development priorities, public safety priorities, focus areas and corridors, and implementation strategies, including a zoning plan. Sych reviewed the new zoning districts and the structure and organization of the updated Master Plan. He also reviewed land use maps and the changes in some of the uses such as mixed use and low density residential. Joe McManus stated that some of the changes were influenced by neighboring townships and what developments were on the borders. Railroad easements were discussed as future trails. Sych reviewed what the next steps would be which include the board accepting the draft of the Master Plan and approving it for distribution and review by other entities which include Grand Traverse County, Grand Traverse County Road Commission, Michigan Department of Transportation, and local units of government contiguous to the township.

*Schmuckal moved and Barsheff seconded TO approve distribution of the draft Charter Township of Garfield Master Plan for the 63-day review period in accordance with the Michigan Planning Enabling Act.*

*Yeas: Schmuckal, Barsheff, Macomber, L. McManus, Duell, Agostinelli, Korn, J. McManus, Robertson, Fudge, Cline*

*Nays: None*

**b. Other Discussion (6:50)**

Discussion took place on some of the pending legislation at the state level pertaining to short term rentals and solar/wind ordinances.

Land conservation was discussed along with parkland acquisition. A list or map citing future land acquisitions was discussed along with the pros and cons of such a list.

Board members thanked Planning Commissioners and Planning staff for their diligent work.

**5. Public Comment (7:18)**

None

**6. Adjournment**

*Fudge moved to adjourn the meeting at 7:19pm.*

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Joe Robertson, Secretary  
Garfield Township Planning  
Commission  
3848 Veterans Drive  
Traverse City, MI 49684

 <b>Charter Township of Garfield</b> <b>Planning Department Report No. 2024-23</b>			
Prepared:	April 2, 2024	Pages:	2
Meeting:	April 9, 2024 Township Board	Attachments:	<input type="checkbox"/>
Subject:	Planning Department Monthly Report – March 2024		

**PURPOSE:**

Staff provides a monthly report to the Township Board on activities of the Planning Department and the Planning Commission. The presentation of this report also provides a venue for the Township Board to have a dialog with staff about any of the activities or planning-related issues facing the Township.

**DEVELOPMENTS:**

The Planning Commission is currently conducting the following development review activity:

***Culver Meadows Senior Living – Conditional Rezoning***

- *Location:* 1611 N West Silver Lake Road, south of intersection with Secor Road
- *Development Description:* Proposed adult foster care facility for no more than 20 adults and childcare center for no more than 12 children adjacent to the existing Culver Meadows Senior Living facility
- *Status:* The Planning Commission introduced this application at their 1/10/2024 meeting and held the public hearing at their 2/14/2024 meeting. The Planning Commission adopted Findings of Fact at their 3/13/2024 meeting and recommended to the Township Board to approve the application with conditions. The Township Board introduced the application at their 3/26/2024 regular meeting and scheduled a public hearing for their 4/23/2024 regular meeting.

***3066 North Garfield Road – Special Use Permit Review***

- *Location:* Southeast corner of North Garfield Road and Duell Road, south of South Airport Road
- *Development Description:* Commercial district housing development with 20 apartment units
- *Status:* The project was introduced at 10/11/2023 Planning Commission meeting. Commissioners generally supported the concept of the project, but the project as presented would not meet one of the standards within Section 725 of the Zoning Ordinance. Commissioners tabled the application at their 11/8/2023 meeting. The Township Board held a public hearing and approved an amendment to the Section 725 requirements at their 2/13/2024 meeting. The Planning Commission un-tabled the application at their 2/14/2024 meeting, held a public hearing at their 3/13/2024 meeting, and directed Staff to prepare Findings of Fact for consideration at the 4/10/2024 meeting.

***Gauthier Site – Conceptual Review***

- *Location:* 2105 N US 31 South, west side of US 31 at McRae Hill Road across from Hartman Road
- *Development Description:* Proposed multi-family apartment development
- *Status:* Planning Commissioners will consider a conceptual review of the project at their 4/10/2024 meeting.

**PLANNING:**

Other Planning Department activities include the following:

- The Planning Commission and Township Board held a joint meeting on 3/27/2024 to discuss the final draft update to the Master Plan. The Township Board voted to release the draft Master Plan for distribution for a 63-day review period as required by the Michigan Planning Enabling Act (MPEA). The MPEA requires the Master Plan to be distributed to several entities including the following:

- Neighboring municipalities (City of Traverse City, East Bay Township, Elmwood Township, Long Lake Township, Green Lake Township, and Blair Township)
  - Regional planning agency (Networks Northwest)
  - Grand Traverse County Board of Commissioners
  - Public utility companies (Traverse City Light & Power, Cherryland Electric Cooperative, Consumers Energy, and DTE Energy)
  - Railroad company (Great Lakes Central Railroad)
  - Public transportation agency (BATA)
  - Grand Traverse County Road Commission
  - Michigan Department of Transportation (North Region)
- Staff has distributed the draft Master Plan to the above entities. The draft Master Plan and other information on the Master Plan adoption process is available on the Township website at the following link:
    - <https://www.garfield-twp.com/masterplan.asp/>
  - Remaining key dates in the timeline for the adoption of the Master Plan are as follows:

<i>Date</i>	<i>Action</i>
<b>May 29, 2024</b>	* 63-day required review period ends
<b>June 12, 2024</b> – Planning Commission meeting	* Final public hearing on Master Plan * Anticipated recommendation of Master Plan adoption to the Township Board
<b>June 25, 2024</b> – Township Board Meeting	* Anticipated adoption of Master Plan

- Staff is working on potential Zoning Ordinance updates for review once the updated Master Plan is adopted. Staff and the Planning Commission will discuss the next steps for implementation of the updated Master Plan at study sessions throughout the year beginning in April.
- *Professional development* – Staff will be attending the 2024 National Planning Conference from April 13-16 in Minneapolis, Minnesota. Staff are looking forward to the chance to learn from planners across the country and to learn potential strategies to bring back for addressing planning issues in the Township.

**STAFF:**

John Sych, AICP, Planning Director  
 Email: jsych@garfield-twp.com  
 Direct Line: (231) 225-3155

Stephen Hannon, AICP, Deputy Planning Director  
 Email: shannon@garfield-twp.com  
 Direct Line: (231) 225-3156

 <b>Charter Township of Garfield Planning Department Report No. 2024-24</b>		
Prepared:	April 3, 2024	Pages: 9
Meeting:	April 10, 2024 Planning Commission	Attachments: <input checked="" type="checkbox"/>
Subject:	3066 N. Garfield Special Use Permit-Findings of Fact	
File No.	SUP-2023-08	Parcel No. 05-013-050-00
Applicant:	3066 N. Garfield Rd LLC	
Agent/Owner:	JLG Properties, Inc	

**BRIEF OVERVIEW:**

- Location: 3066 North Garfield Road
- Parcel area: 1.21 net acres
- Existing land use: Former residence/former landscaping business
- Existing zoning: C-G - General Commercial

**PURPOSE OF APPLICATION:**

This application requests approval of a Special Use Permit for a commercial district housing development at 3066 North Garfield Road. The development application proposes a 20-unit apartment building. Commercial district housing developments are permitted via Special Use Permit in the C-G General Commercial district.

*Aerial image of the subject property (gross area property lines highlighted in blue):*



*Zoomed-in aerial image of the subject property (gross area property lines highlighted in blue):*



**SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:**

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in the Zoning Ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

**STAFF COMMENTS:**

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

**Commercial District Housing Developments:**

Standards for commercial district housing developments are in Section 725 of the Zoning Ordinance and described by the following:

*1. Design*

- a. Multiple-family residential uses built within commercial zoning districts shall be designed to cohesively integrate with the surrounding commercial uses. For the purpose of making this determination, the Planning Commission may rely on the site design requirements and general criteria as set forth in § 427, Planned Unit Residential Developments.*

The proposed apartment building will be located at the southeast corner of Garfield Road and Duell Road, south of Chase bank and Walgreens pharmacy and north of the Wash-N-Go Car Wash. An apartment building at the subject site provides access to nearby stores and services for residents whereby trips could be made by walking or bicycling. Infill apartment buildings of this character have been built along Garfield Road, including in the City of Traverse City. The building is set back 83 feet from the Garfield Road right-of-way.

- b. Multi-family structures shall be abutted by open space on at least one side per building.*

A 6,394 square foot common open space is proposed at the west and north sides of the proposed apartment building, between the building and Garfield Road.

- c. The baseline project density shall be as described in the R-3 Multiple Family Residential Zone. At its discretion, and based upon a determination that the project is designed to meet the intent of this Section, the Planning Commission may authorize increases in density over what is regularly allowable.*

The baseline minimum lot area for multiple family within the R-3 district is 4,000 square feet per dwelling unit which translates to 10.89 units per acre. The site plan shows an area of 1.21 net acres for the site. With 20 proposed dwelling units, there is a proposed density of 16.52 units per acre. As noted above, the Planning Commission may authorize increases in density over what is regularly allowable.

Previously the Planning Commission mentioned interest in other developments of higher residential density development that was approved by the Township. Below are examples of projects that were developed or approved through the Planned Development process. One Commercial District Housing Development has been approved (Marengo 31); however, no Commercial District Housing Developments have been fully constructed.

<b>Development</b>	<b>Units</b>	<b>Acres</b>	<b>Units/Acre</b>
Village at LaFranier Woods PUD	385	33.00	11.67
Premier PUD (Premier Manor)	72	4.52	15.93
Village at Bay Ridge PUD	300	17.65	16.99
Fox Run PURD	84	4.07	20.64
GT Crossings PUD (2516 Crossing Circle)	162	7.02	23.08

- d. *Shared parking arrangements shall be encouraged between the residential and commercial uses.*

For multiple family dwellings, the parking minimum is 1.5 spaces per dwelling unit and a maximum of 2.0 spaces per dwelling unit. For the proposed development, this is a range of 30 to 40 spaces and 39 spaces are shown. The parking area has only one driveway, which is off Duell Road. No driveway is proposed on Garfield Road.

Wherever off-street parking is required, a minimum of two bicycle parking spaces are required. For parking areas with greater than 25 motor vehicle spaces, bicycle parking shall be provided on a basis of two spaces per twenty-five motor vehicle parking spaces. With 39 motor vehicle spaces proposed, four bicycle parking spaces are required. The site plan shows four bike racks with two spaces each in front of the proposed building for a total of eight bicycle parking spaces.

Due to its orientation of the proposed building and configuration of adjacent uses, there is no opportunity for shared parking.

- e. *Landscaping shall be as required in Article 5, Table 531.1. In the event that the multifamily project does not sit on its own parcel, the application shall indicate a project boundary area which shall be used for the purpose of landscaping placement.*

The landscaping plan is described on Sheet L1.0. A total of 29 large trees, 27 small/medium trees, and 14 evergreen or coniferous trees are proposed for the required buffers along the property lines. Shrubs and perennials are proposed for the front of the building. In addition, 25 junipers (evergreens) are proposed to establish a hedge along the south side of the apartment building to mitigate the impacts of the adjacent car wash. The proposed landscaping plan meets the landscaping requirements of the Zoning Ordinance.

- f. *Pedestrian walkways shall be provided within the subject parcel or project boundary for the purpose of providing safe and convenient movement within the site and towards other walkable places of interest such as stores, restaurants, or entertainment.*

A sidewalk is proposed along Garfield Road which meets the requirement of the Non-Motorized Plan. An internal sidewalk along the north side of the building connects the building with the parking lot and the sidewalk on Garfield Road.

- g. *The residential areas of an overall commercial development site shall be adequately, but not overly, lit at night. Applications shall demonstrate that commercial lighting in the vicinity meets the dark sky requirements of this Ordinance in order to minimize impact on the residential area. Where lighting is to be installed for a residential area, average illumination levels of 0.5 to 1.0 foot candle shall be maintained. Existing commercial lighting which illuminates the residential area of the site to this level may be used in lieu of installing additional residential lighting. Common entryways shall be adequately illuminated by wall-pack style lighting fixtures.*

A lighting plan was submitted along with the site plan set. The plan meets the lighting standards and requirements of Section 517.

## 2. Open Space Requirements

- a. *A minimum of fifty square feet per unit of private outdoor space with a minimum dimension of four feet in any direction shall be provided. Private open space shall be accessible directly from the living area of the unit, in the form of a fenced yard, patio, deck, or balcony.*

According to the application and the building elevation drawings, each unit will have either a 50 square foot patio or balcony.

- b. *A minimum of three hundred square feet per unit of common outdoor open space shall be provided. Required open space shall be consolidated to the extent reasonably possible to provide areas for the residents and/or to help buffer the residential structures from adjacent commercial uses.*

With 20 proposed units, a total of 6,000 square feet of common outdoor open space is required. The plan indicates 6,394 square feet of common outdoor open space.

- c. *For the purpose of locating open space, the Planning Commission may rely on the site design requirements and general criteria as set forth in § 427, Planned Unit Residential Developments.*

The proposed common outdoor open space is located mostly on the west side and to a lesser extent on the north side of the building.

- d. *Required setback areas shall not be included towards required open space areas; however, placing required open space areas adjacent to setbacks is supported.*

None of the common outdoor open space is within the required setbacks.

### *3. Compatibility*

*Applications shall describe measures which will be taken to mitigate common commercial impacts such as noise, light, and nighttime operations on the multi-family project.*

The proposed project is to establish a multi-family residential use in a commercial area. In reviewing the existing adjacent commercial uses, the existing car wash immediately to the south will most likely impact the proposed development in terms of noise during daytime hours. To provide protection from noise, the applicant is proposing the installation of soundproof building materials and additional landscaping to establish an evergreen hedge along the south side of the apartment building.

### **Other Considerations:**

#### *Buildings*

The proposed 20-unit building has a footprint of approximately 11,776 square feet. The maximum building height in the C-G district is 35 feet. Based on the building elevation drawings that have been provided, a building height of approximately 26 feet has been measured.

#### *Setbacks*

The setback requirements in the C-G district are 40 feet for the front yard. Side and rear yards shall be ten percent (10%) of the lot width and depth, respectively, but need not exceed twenty-five (25) feet each, provided that no setback shall be less than ten (10) feet. Since the site is a corner lot, 40 feet front yard setbacks are required for the frontage on Garfield and on Duell Roads. The proposed plan meets the setback requirements.

#### *Ingress and Egress*

There will be one ingress and egress drive located on Duell Road. No additional ingress and egress drives are proposed. There will be no driveway on Garfield Road.

*Snow Storage*

Snow storage is to be provided at the ratio of 10 square feet per 100 square feet of parking area. The site plan shows two snow storage areas that together comply with Section 551.E(6).

*Dumpster Enclosure*

A 10' x 10' dumpster enclosure on a concrete pad is proposed on the eastern edge of the proposed development.

*Other Reviews*

The application is subject to additional reviews, including but not limited to the Township Engineer, Grand Traverse County Road Commission, and Metro Fire. Sewer and water utility improvements and stormwater improvements are reviewed by the Township Engineer. Escrow for these reviews is needed as determined by the Township Engineer. Signs are reviewed by the Township Zoning Administrator.

**FINDINGS OF FACT:**

At its March 13, 2024 meeting, the Planning Commission unanimously passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration.

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The Master Plan identifies the site as Commercial on the Future Land Use map.
- The site is zoned C-G General Commercial. Commercial District Housing Development is permitted via Special Use Permit in the C-G General Commercial district.
- The site will be able to meet all regulations of the C-G zoning district and the Commercial District Housing Development requirements.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- While the area is predominantly commercial uses, the Garfield Oaks mobile home park is located to the west across Garfield Road. The area does offer nearby services to the residents in the proposed residential development.
- The design and layout of the proposed Commercial District Housing Development will minimize the impacts of the area, including building setbacks, provision of open space, landscaping materials, and building materials.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- No nuisances or hazards are expected to be generated.
- The proposed lighting and photometric plan address all lighting requirements of the Ordinance.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The placement of the building and the parking have been made in a way that will minimize any impact on adjacent properties.
- Setback and landscaping requirements have been met.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- Previously occupied by a single-family residence and then a former landscaping business, there are no natural features on the site.
- The proposed development will provide landscaping as part of the site design to contribute positively to the general character of the neighborhood.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- Municipal water and sewer facilities currently serve the area and will adequately serve the subject site.
- The applicant proposes to manage storm water onsite. The storm water management system will be reviewed by the Township Engineer.
- Significant additional demand for schools, police, or fire protection is not anticipated.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The proposed use will not be detrimental to public health, safety, morals, or general welfare. The proposed use is compatible with nearby uses and is not expected to generate any nuisances.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The public interest and welfare are well-served by the proposed use, which is allowed via special use permit in the C-G district.

- A public hearing was held on March 13, 2024.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- Ingress and egress for the site will be provided from Duell Road, approximately 150 feet east of Garfield Road.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The site design will allow for safe vehicular traffic on the site.
- Pedestrians will be accommodated with the construction of a new sidewalk along Garfield Road and a new sidewalk from the proposed apartment building to Garfield Road.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

*The Planning Commission may find this standard to be **MET** for the following reasons:*

- The proposed use is permitted via a special land use permit in the C-G district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

**ACTION REQUESTED:**

The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for application SUP-2023-08, as presented in Planning Department Report 2024-24 and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

MOTION THAT applications SUP-2023-08 BE APPROVED, subject to the following conditions (1-5 as indicated in Planning Department Report 2024-24):

1. Final engineering review and approval by the Township Engineer is required including all infrastructure and stormwater.
2. All final reviews from agencies with jurisdiction shall be provided prior to a Land Use Permit being issued.
3. All proposed landscaping and site amenities shall be installed prior to the issuance of a Certificate of Occupancy.
4. The applicant shall provide two (2) full-size plan sets, one (1) 11x17" plan set, and one electronic copy of the full application (in PDF format) with all updates as

required by any conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.

5. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Director of Planning within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

**Attachments:**

1. Special Use Permit Application dated September 11, 2023
2. Special Use Permit Application Supplement dated March 4, 2024
3. Affidavit for Sound Mitigation from Sean McCardel received April 1, 2024
4. Site Plan Set dated March 26, 2024





# Charter Township of Garfield

## Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

### SPECIAL USE PERMIT (SUP) APPLICATION

#### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

#### ACTION REQUESTED

- New Special Use Permit
- Major Amendment
- Minor Amendment
- Administrative Amendment

#### PROJECT / DEVELOPMENT NAME

3066 N. Garfield- Project name will be provided

#### APPLICANT INFORMATION

*Name:* 3066 N. Garfield Rd, LLC  
*Address:* 310 Water Watch Lane, Traverse City, MI 49686  
*Phone Number:* 248-521-9962  
*Email:* jlgjoe@comcast.net

#### AGENT INFORMATION

*Name:* JLG Properties, Inc  
*Address:* 316 Birchwood Ave, Traverse City, MI 49686  
*Phone Number:* 248-521-9962  
*Email:* jlgjoe@comcast.net

#### OWNER INFORMATION

*Name:* Mary L. Schall and John R Thomas  
*Address:* 805 Birchwood Ave, Traverse City, MI 49686  
*Phone Number:* 231-929-2741  
*Email:* mischall@aol.com

**CONTACT PERSON**

Please select one person to be contact person for all correspondence and questions:

Applicant:	
Agent:	JLG Properties, Inc- Joe Locricchio 248-521-9962
Owner:	

**PROPERTY INFORMATION**

Property Address:	3066 N. Garfield, Traverse City, MI 49686
Property Identification Number:	28-05-013-00
Legal Description:	(SEE ATTACHED)
Zoning District:	C-G General
Master Plan Future Land Use Designation:	Commercial
Area of Property (acres or square feet):	1.38 acres
Existing Use(s):	Former Northwoods Landscaping nursery and sales location
Proposed Use(s):	A market rate apartment complex consisting of approximately 20 total units

**PROJECT TIMELINE**

Estimated Start Date:	06/01/24
Estimated Completion Date:	04/01/25

**REQUIRED SUBMITTAL ITEMS**

A complete application for a Special Use Permit consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Written Information:

- Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- One digital copy of the Approval Criteria (PDF only)
- Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that: special use is permitted only if the applicant demonstrates that:

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

#### IMPACT ASSESSMENT

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- ~~NYK~~ The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- ~~NYK~~ Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- The proposed density in units per acre for residential developments.
- Name(s) and address(es) of person(s) responsible for preparation of statement.
- Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- Type, direction, and intensity of outside lighting.
- General description of deed restrictions, if any.

**ADDITIONAL INFORMATION**

If applicable, provide the following further information:

*\* We will connect to the existing main*

	Yes	No	Not Applicable
<b>A. <u>Sanitary Sewer Service</u></b>			
1. Does project require extension of public sewer line? *	<input checked="" type="checkbox"/> *	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>B. <u>Water Service</u></b>			
1. Does project require extension of public water main? *	<input checked="" type="checkbox"/> *	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
<b>C. <u>Public utility easements required?</u> TBD</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, show on plan.			
<b>D. <u>Stormwater Review/Soil Erosion</u></b>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

- |   |                                     |                                     |                          |
|---|-------------------------------------|-------------------------------------|--------------------------|
| 1. Are interior public streets proposed?                                  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)?                     | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Are private roads or interior drives proposed?                         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads?     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts?                    | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, attach approved permit.   |                                     |                                     |                          |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:	John Thomas or Mary Schall- <i>John Thomas Mary Schall</i>
Applicant Signature:	
Agent Signature:	Joe Locricchio <i>Joe Locricchio</i>
Date:	9-11-2023

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We John Thomas, MARY SCHALL authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

<u>John Thomas</u>	<u>Mary Schall</u>
<u>9-11-2023</u>	

Date:

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

--

Date:

Applicant Signature:

<u>Joseph Thomas</u>
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Date:

<u>9-11-23</u>
----------------

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
<b>A. Basic Information</b>		
1. Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Proof of property ownership	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/> NR
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. A vicinity map showing the area and road network surrounding the property	<input type="checkbox"/>	<input type="checkbox"/>
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Project title or name of the proposed development	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>B. Site Plan Information</b>		
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Boundary dimensions of natural features	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	<input type="checkbox"/>	<input type="checkbox"/>
4. Proposed alterations to topography and other natural features	<input type="checkbox"/>	<input type="checkbox"/>
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	<input type="checkbox"/>	<input type="checkbox"/>
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input type="checkbox"/>
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Neighboring driveways and other vehicular circulation features adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>
19. Location, specifications, and access to a water supply in the event of a fire emergency	<input type="checkbox"/>	<input type="checkbox"/>
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems	<input type="checkbox"/>	<input type="checkbox"/>
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	<input type="checkbox"/>	<input type="checkbox"/>
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	<input type="checkbox"/>	<input type="checkbox"/>
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Changes or modifications required for any applicable regulatory agencies' approvals	<input type="checkbox"/>	<input type="checkbox"/>

# 3066 N. Garfield, LLC

## Multiple-Family Residential Development Commercial District Housing

Special Use Permit Application

Submitted to  
**The Charter Township of Garfield**  
3848 Veterans Drive  
Traverse City, MI 49684  
231-941-1620

**Mansfield**  
  
Land Use Consultants

830 Cottageview Drive  
Traverse City, MI 49684  
p 231.946.9310  
f 231.946.8926  
i www.maaeps.com

3/4/2024

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## Project Team

### **Property Owner:**

3066 N. Garfield, LLC  
310 Water Watch Lane  
Traverse City, MI 49686  
Phone: (231) 933-7111- Sean McCardel  
Cell: (248) 521-9962 – Joe Locricchio  
Email: jlgjoe@comcast.net

### **Applicant:**

3066 N. Garfield, LLC  
JLG Properties – Joe Locricchio  
Sean McCardel Construction, Sean McCardel  
310 Water Watch Lane  
Traverse City, MI 49686  
Phone: (231) 933-7111- Sean McCardel  
Cell: (248) 521-9962 – Joe Locricchio  
Email: jlgjoe@comcast.net

### **Planning and Engineering Consultant:**

Mansfield Land Use Consultants  
Christina Deeren, Permit Specialist  
PO Box 4015  
Traverse City, MI 49685  
Phone: (231) 946-9310 x 1008  
Email: christinad@maaeps.com

## Regulations Summary

**Project Address:**

3066 N. Garfield Rd.,  
Traverse City, MI 49686-5030

**Project Parcel:**

28-05-013-050-00

**Project Size:**

1.37 acres

**Existing Parcel Legal Description:**

Part of the Southwest Quarter of Section 13, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, More fully described as follows: Commencing at the Southwest corner of Section 13; thence North 00 deg 08'26"E, 608.11 feet along the West line of Section 13 to the Point of Beginning; thence North 00 deg 08'26"E, 150.16 feet along the West line of Section 13; thence South 89 deg 30'32"E, 33.00 feet; thence North 00 deg 08'26"E, 35.00 feet to the South Right-of-way line of Duell Road; thence South 89 deg 30'32"E, 294.90 feet along the South Right-of-way line of Duell Road; thence South 00 deg 08'26"W, 185.16 feet; thence north 89 deg 30'32"W, 327.90 feet to the Point of Beginning.

**Existing Zoning:**

C-G General Commercial

**Existing Land Use:**

Commercial – Previous location of Northwoods Landscaping and Nursery

**Proposed Land Use:**

Multiple-Family Residential

**Use Permitted by Special Use Permit:**

Commercial District Housing Developments

The proposed multiple-family residential use is permitted by a special use permit by the Township Zoning Ordinance. All special conditions within Section 725 of the Zoning Ordinance have been satisfied by the proposed plan.

**Township Comprehensive Master Plan, Future Land Use:**

Commercial

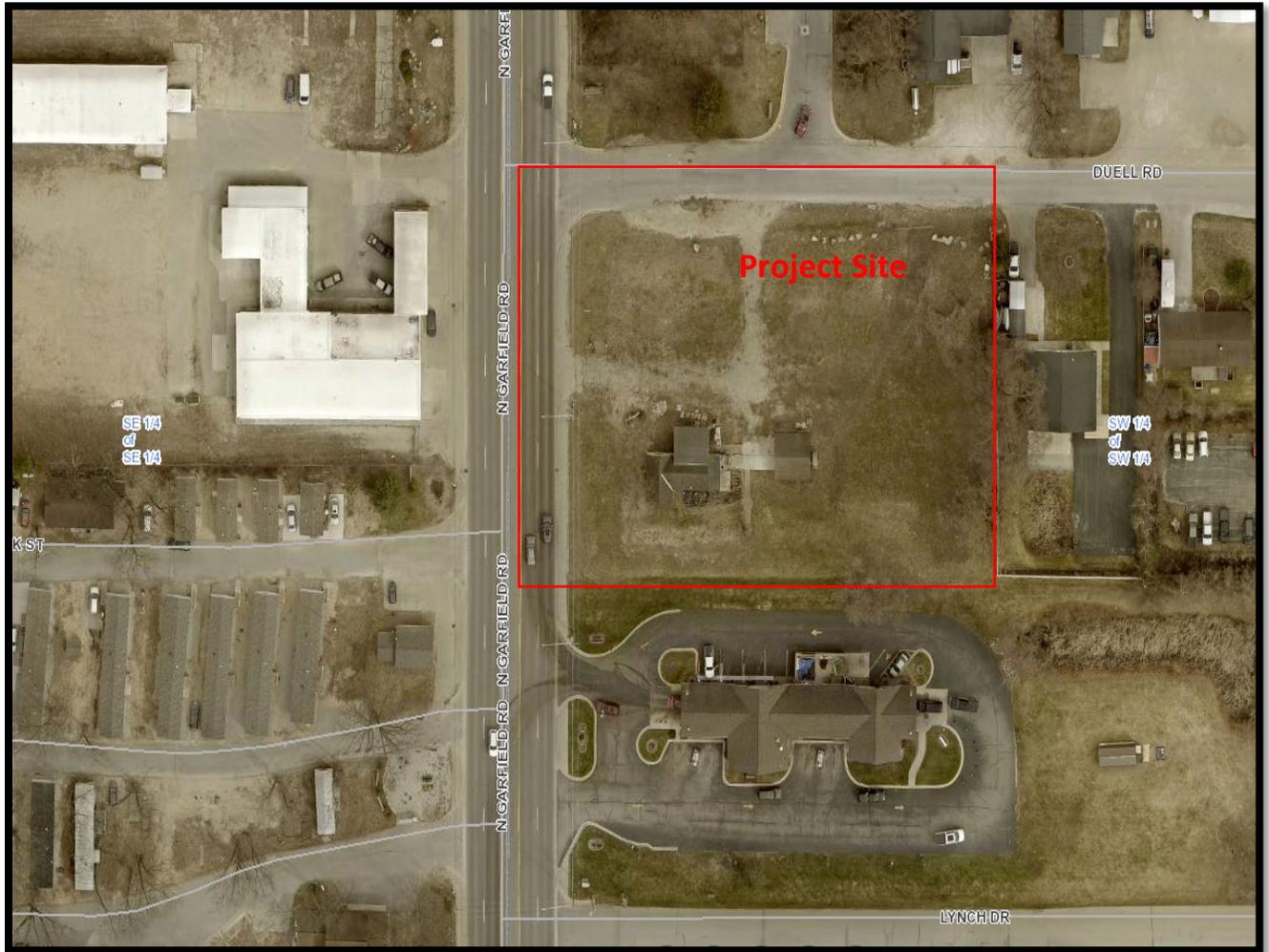
Commercial – The property is in the Barlow Garfield neighborhood as a Commercial Future Land Use category, which allows for commercial uses of varying intensity. The proposed multiple-family residential use complements this description and the existing commercial uses and character of the Garfield Road and South Airport corridors in the subject portion of the Township. The proposed use is well-suited for the subject site, as it provides additional housing opportunities near places of employment, entertainment, and shopping within the Township and

is surrounded by residential housing, commercial uses, and industrial developments. The proposed project also addresses a specific need within Garfield Township to create unique living opportunities in an urban setting while providing a complementary use of a former commercial property.

### Regulations Summary continued

	<b>C-G zoning</b>	<b>Proposed</b>
<b>Minimum Lot Size:</b>	15,000 sf	1.37 Gross acreage 1.21 Net acreage
<b>Minimum Lot Width:</b>	100 ft.	185.16 ft
<b>Height:</b>	35ft	35 ft.
<b>Front Yard Setback:</b>	40ft (with exception)	40 ft
<b>Side Yard Setback:</b>	10% of lot width	See Plans
<b>Rear Yard Setback:</b>	10% of lot width	See Plans
<b>Maximum Lot Coverage:</b>	N.A.	N.A.
<b>Min. Building X-Section:</b>	24ft	72 ft
<b>Parking (Apartment Multiple Family)</b>	1.5 per dwelling	1.95 per dwelling – 39 total

MAP -Street Map Vicinity



MAP -Aerial Photo Vicinity



## Project Narrative

The applicant is proposing to construct a twenty-unit apartment building with an attached 256 square foot gym and associated site amenities on the subject parcel. The 1.37acre project site is on the east side of N. Garfield Road, between South Airport and Hammond Road, and is in the General Commercial zoning district. The surrounding area is an established highway corridor with public utilities and a mix of industrial, commercial, and residential uses. Surrounding land uses include existing commercial, industrial, and residential uses in all directions.

The project site contains existing structures that are vacated and will be demolished. The project will be served by municipal sewer and water. Stormwater will be managed on site per the standards of the Township's stormwater ordinance.

Existing infrastructure within the N. Garfield corridor, including the major highway and public utilities, allows for the proposed apartments to be built without causing any undue impact on local public services. The proposed development will comply with all soil erosion, storm water, and environmental standards of the Township, County, and State.

## Responses to Approval Standards in the Zoning Ordinance

The following provides information related to each standard in the referenced Section(s) of the Township Zoning Ordinance. Ordinance language is shown in **bold** text and responses are shown in plain text.

### Section 423.E Approval Criteria (Special Use Permits)

**A special use is permitted only if the applicant demonstrates that:**

- 1. The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;**  
The proposed use is consistent with the standards of the Zoning Ordinance, as a use allowed by Special Use Permit, and the Master Plan which defines the development area of the subject site as Commercial on the Future Land Use Map. The proposed use is also consistent with the Master Plan as it furthers the goals of providing development within the Barlow Garfield neighborhood which is intended to generate a community vision and sense of place for this part of the township and to encourage economic investment in the neighborhood. The development will help meet the township's Strategic Plan goals of economic development and housing.
- 2. The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;**  
The proposed use and building design will be complimentary, compatible, and harmonious with the existing character of the developed surrounding area, while providing additional unique living opportunities near one of the main commercial areas within the Township and is compatible in scale to the existing structures on adjacent properties.

- 3. The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;**

The proposed multiple-family residential use will not be detrimental or disturbing to surrounding uses or the public welfare, as they will be constructed to comply with the regulations of the Township Zoning Ordinance and all applicable regulatory agencies. Additionally, new tree buffers between the proposed building, adjacent uses and roadways will be planted, significantly reducing the potential for negative impacts on surrounding properties. The proposed use will generate nominal additional traffic with only 20 units proposed, but that traffic will be accessed by Duell Road, a county road designed and constructed to handle a large amount of traffic. The existing driveway access to the site from N. Garfield Road will be eliminated. Generally, residential uses do not create impacts due to noise, dust, gas, smoke, vibration, odor, glare, visual clutter, or electrical interference.

- 4. Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;**

On-site parking is incorporated into the site plans to serve the proposed use and meet the standards of the Zoning Ordinance for both parking space quantity and design. The proposed apartment building will be accessible from Duell Road. The building will face northerly to minimize the potential visual or proximity impacts that could arise from the proposed use and allow for additional screening of the site from N. Garfield Road. See the enclosed Landscape Plan for details on screening, landscaping, and buffering for the site.

- 5. The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;**

The proposed use will enhance the natural features as there is currently limited landscaping on the site. The separation between the proposed development and the public thoroughfare of N. Garfield Road will have a new vegetated buffer integrated into the ordinance required open space and the proposed building will have minimal impact on the character of the neighborhood, which is primarily built out with more intense commercial and industrial uses.

- 6. Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;**

The existing public and private infrastructure and services available to the subject site will be adequate for the proposed use and will not cause excessive additional requirements at public cost. The existing drive accessing N. Garfield will be relocated to Duell Road. Existing public sewer and water utilities are available at the subject site. Plans have been submitted to the applicable local regulatory agencies for comment and/or approval, and the proposed project will comply with all standards and regulations of such agencies, including the Grand Traverse Metro Fire Department.

**7. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;**

The proposed use will not be detrimental to the health, safety, and welfare of the general public and will comply with all standards and regulations of the Township Zoning Ordinance and all applicable local agencies. Plans have been submitted to the applicable local agencies for comment and/or approval.

**8. The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;**

The proposed use provides an additional 20-residential units for the region, helping to satisfy an identified housing need in the community and will not significantly impact the surrounding area or community, as described in other portions of this narrative.

**9. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;**

The proposed project will not utilize the existing driveway/curb cut onto N. Garfield Road, as it will be eliminated thereby mitigating the impact to Garfield Road traffic. Driveway access will be relocated to Duell Road, which meets the GTCRC driveway standards. In this location, N. Garfield has an existing center left-turn lane that allows for left turns stacking outside of the north and south travel lanes, reducing potential vehicular conflicts and additional congestion. The elimination of the existing driveway onto N. Garfield Road will allow for additional sight distance to the south of the subject site creating safer access onto N. Garfield Road making both right and left turns with ample space for vehicle stacking.

**10. Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and**

The proposed relocation of the existing drive, along with the addition of pedestrian sidewalks connecting the proposed site elements with each other and the public right-of-way, create a safe and convenient circulation system within the proposed development. Additionally, the proposed driveway and parking area have been designed to accommodate the standards of the fire department, allowing for adequate access to the site for fire trucks and emergency vehicles.

**11. The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.**

The proposed use will not impede the development or improvement of surrounding properties for permitted uses as it complements the surrounding commercial, residential, and industrial uses and will not create undue impacts on existing infrastructure in the general vicinity or the Township as a whole.

**Section 725 Commercial District Housing Developments**

**A. Regulations and Conditions**

**1. Design**

- a. Multiple-family residential uses built within commercial zoning districts shall be designed to cohesively integrate with the surrounding commercial uses. For the purpose of making this determination, the Planning Commission may rely on the site design requirements and general criteria as set forth in § 427, Planned Unit Residential Developments.**

The proposed residential use is designed to integrate with the existing surrounding commercial, residential and industrial uses as the proposed building is similar in scale to the existing adjacent structures and will utilize a new entrance and existing utilities. Additionally, new plantings and the creation of open space, building design features and construction methods all provides for significant buffering and noise mitigation between the proposed project and the surrounding properties, significantly limiting potential conflicts and effectively and aesthetically screening the proposed project.

- b. Multi-family structures shall be abutted by open space on at least one side per building.**

The proposed multiple-family residential building is designed with abutting open space on the west side of the building. This open space complies with Township Ordinance standards and consists of usable open space adjacent to the building. This usable open space area is directly adjacent to the proposed structure, further increasing the benefits that the open space provides to future tenants.

- c. The baseline project density shall be as described in the R-3 Multiple Family Residential Zone. At its discretion and based upon a determination that the project is designed to meet the intent of this Section, the Planning Commission may authorize increases in density over what is regularly allowable.**

The R-3 Multiple Family Residential zoned district zoning requires that 4,000 square feet of lot area be provided for each dwelling unit. Given the 1.37 gross acreage size of the subject site, 15 units would be allowed. The proposed

development requests an increase in density to 20 units. The Township has recently granted density bonuses to similar projects, and as this proposed project is designed to address an important goal of the Township, we trust that the Township will see the merit in approving the increase in density. The site is not overburdened by the proposed density as the parking area provided exceeds the minimum requirement and meets the 300 square foot per unit open space requirement, all while providing complimentary site amenities.

**d. Shared parking arrangements shall be encouraged between the residential and commercial uses. (Resolution #2024-02-T).**

Section 551 D(2)(b) Residential Uses – for one- and two-family dwellings, parking may be located within the required front yard setback provided that the space does not intrude within a right-of-way or impede pedestrian pathways, and provided further that the parking is located on a driveway. The parking area is within the setback, which is approved via a recent ordinance amendment, but still maintains a ten (10) foot landscape buffering from N. Garfield and Duell Road. The existing entrance to N. Garfield will be eliminated from the future development. The only entrance drive will be located off Duell Road. The proposed parking area will not impede any traffic patterns or pedestrian pathways. All vehicular parking will be located on the same site as the multi-family structure. Parking for multiple-family residential uses is to be provided at a rate of 1.5 spaces per residential unit, according to the Zoning Ordinance. The proposed 20-unit development requires that 30 parking spaces be provided, the proposed plans include a total of 39 parking spaces at a rate of 1.9 per unit.

**e. Landscaping shall be as required in Article 5, Table 531.1. In the event that the multi-family project does not sit on its own parcel, the application shall indicate a project boundary area which shall be used for the purpose of landscaping placement.**

Landscape buffers in accordance with Article 5, Table 531.1 have been provided as part of the proposed plans. The proposed landscape plan meets or exceeds the criteria of the ordinance. A ten (10) foot landscape buffer is provided around the perimeter of the property on the enclosed Landscape Plan sheet along with the plant list outlining the types and sizes of trees to be planted on the property.

**f. Pedestrian walkways shall be provided within the subject parcel or project boundary for the purpose of providing safe and convenient movement within the site and towards other walkable places of interest such as stores, restaurants, or entertainment.**

An existing sidewalk will be demolished and replaced with a six (6) foot wide concrete sidewalk maintaining the flow of foot traffic along N. Garfield Road. A curbed seven (7) foot concrete sidewalk will also be constructed within the

site separating the asphalt parking lot from the main structure which will also connect with a six (6) foot new sidewalk along N. Garfield Road allowing for pedestrian access to the adjacent commercial sites.

- g. The residential areas of an overall commercial development site shall be adequately, but not overly, lit at night. Applications shall demonstrate that commercial lighting in the vicinity meets the dark sky requirements of this Ordinance in order to minimize impact on the residential area. Where lighting is to be installed for a residential area, average illumination levels of 0.5 to 1.0 foot candle shall be maintained. Existing commercial lighting which illuminates the residential area of the site to this level may be used in lieu of installing additional residential lighting. Common entryways shall be adequately illuminated by wall-pack style lighting fixtures.**

The proposed development will have adequate lighting for safety purposes and comply with all the requirements of this section for the parking area and the entrance to the structure. A lighting plan depicting the proposed exterior lighting has been provided as part of the submission for this project. The common entries to the residential building will be lit with wall-mounted fixtures that comply with the standards of the Ordinance and Building Code.

## **2. Open Space Requirements**

- a. A minimum of fifty square feet per unit of private outdoor space with a minimum dimension of four feet in any direction shall be provided. Private open space shall be accessible directly from the living area of the unit, in the form of a fenced yard, patio, deck, or balcony.**

Each living unit will contain 50-square feet of private outdoor open space with a minimum dimension of four feet in one direction to be accessible from the living area by patio, deck, or balcony, providing compliance with this standard. See Architectural plans for more details.

- b. A minimum of three hundred square feet per unit of common outdoor open space shall be provided. Required open space shall be consolidated to the extent reasonably possible to provide areas for the residents and/or to help buffer the residential structures from adjacent commercial uses.**

The 20-unit residential development requires a common space area of 300 square feet per dwelling unit for a total of 6,000 square feet. The multi-family development proposes an increase to 305 square feet of common space per dwelling unit for an area of 6,092 feet.

- c. For the purpose of locating open space, the Planning Commission may rely on the site design requirements and general criteria as set forth in Section 427, Planned Unit Residential Developments. (Resolution #2024-02-T).**

A 6,092 square foot area has been provided as outdoor open space on the westerly side of the proposed structure. This area is proposed to be self-contained and boarded with tree coverage allowing for a shared park-like setting to be established where future tenants can interact and enjoy an outdoor gathering space.

**d. Required setback areas shall not be included towards required open space areas; however, placing required open space areas adjacent to setbacks is supported.**

The required setbacks areas are not included in the calculations for open space however, the open space location will be adjacent to the property setbacks on the west side of the site.

**3. Compatibility. Applications shall describe measures which will be taken to mitigate common commercial impacts such as noise, light, and nighttime operations on the multi-family project.**

The surrounding parcels are of commercial use and zoned either commercial or industrial. The proposed development will not have adverse impacts such as noise, light, and nighttime operations greater than any other residential use. The building specifications and construction methods are designed to mitigate the impact of surrounding commercial uses.

## Impact Assessment

The following provides information related to the impact assessment criteria listed on the Township Special Use Permit Application. Criteria language is shown in **bold** text and responses are shown in plain text.

- **A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.**

The subject site is 1.37 acres in size and primarily consists of open space with an existing commercial store and a detached garage with minimal trees located along the easterly and southerly property lines. The site is flat in nature with slopes of less than 2%. The soils are RWA- Rubicon sand (0 to 2% slopes), excessively drained and CrA-Crosswell - Rubicon sand (0 to 2% slopes), moderately well drained per the data provided through the county's GIS system. There are no creeks, streams, or ponds on the site. The soils present in the buildable area of the site are suitable for construction and storm water infiltration systems.

- **Types of uses and other man-made facilities.**

The proposed project consists of one 20-unit apartment building, with an attached 256 square foot gym, a paved driveway, 39 paved parking spaces, 4 space bicycle rack, a concrete pedestrian sidewalk connecting the new structure to a newly proposed sidewalk connection along N. Garfield Road, along with usable open space, and a dumpster

enclosure. Great care has been given to developing this project in conformity with the ordinances and surrounding uses creating a much more desirable use of the subject site.

- **The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.**

Assuming a rate of two residents per unit, the proposed project will house approximately 40 people. Vehicular access to the site will be accessible from Duell Road as the only entrance. The parking lot will have ample area where a fire truck can park and turn around in compliance with the fire department standards. A proposed six-foot sidewalk will be constructed along N. Garfield Road with an interconnecting sidewalk from the new structure to accommodate pedestrian foot traffic to access nearby commercial establishments. No employees are proposed to be utilized for this proposed project.

- **Phasing of the project including ultimate development proposals.**

The proposed project shall be developed in a single phase, with the demolition of the existing buildings, utilities, and rough site work, followed by building construction, storm water retention systems, paving, site restoration, and landscaping.

- **Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.**

As previously mentioned in this narrative, the site is mostly flat and contains less than 2% slopes throughout the site. There are no delineated wetlands, streams, creeks, or drainage areas existing on the property. Earthwork of the site should be minimal due to its current features and topography. A few of the existing trees will be removed for the construction of the new building and for stormwater retention areas. No additional permit requirements for construction will need to be obtained from agencies overseeing wetlands, creeks, or streams.

- **The method to be used to serve the development with water and sanitary sewer facilities.**

The proposed development will be serviced by municipal water and sewer with updated utilities. A sanitary manhole is located within the road right-of-way along N. Garfield Road for accessibility to connect to these public utilities.

- **The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.**

The proposed project will comply with all standards of the Township Storm Water Control Ordinance and the County Soil Erosion Control Ordinance both during and following construction. The enclosed plans show that storm water from proposed impervious surfaces will be stored in retention basin located on the west side of the site. The adjacent property to the south is elevated and will not be affected by the placement

of the stormwater retention basin. Any overflow from the proposed storm water control system will be absorbed by the surrounding soils, which are suitable for water infiltration. The storm water basins are designed to hold volumes complying with the Township standards and allow them to infiltrate into the ground. During construction, industry standards for erosion control methods, including silt fencing, seeding, and mulching all exposed soils will be used to prevent sediment from being washed off site or onto adjacent lands or roadways.

- **If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.**

Public sewers are to be utilized for this project and are available at this site location.

- **The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.**

As is the case with all development projects, the construction process will result in the creation of minimal noise and there are no controls proposed to limit construction noise. With the completion of the project, there will be none to very few potential noises, fumes, vibration, smoke, or light impacts on surrounding properties. Any impacts that may result are controlled and mitigated by the planting of buffers previously described in this document and as outlined in the Landscape Plan for this project.

- **An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.**

The proposed use complements the existing development patterns in the general vicinity by continuing the existing pattern of development in the area. In this area, commercial uses line the N. Garfield Road and South Airport Road corridors integrated with multiple-family residential uses, creating a complimentary buffer between the commercial uses and lower-density residential developments. The addition of the proposed apartments creates additional housing opportunities within the Township and complements the existing multiple-family residential uses located to the east, west and south of the subject site. Additionally, the subject site is serviced by existing road, sewer, and water infrastructure, eliminating the need to extend such facilities into undeveloped areas.

- **The proposed density in units per acre for residential developments.**

The 20 proposed units on the 1.37 gross acre site result in a proposed residential density of 2977.8 units per acre.

- **Name(s) and address(es) of person(s) responsible for preparation of statement.**

This statement was created, in conjunction with the property owner, by Mansfield Land Use Consultants.

- **Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.**

The proposed project will utilize industry standard erosion control measures during construction that comply with all requirements of the County Soil Erosion Control Ordinance. First among these measures will be the installation of silt fence prior to construction to prevent the transport of sediment out of the construction area.

- **Type, direction, and intensity of outside lighting.**

All proposed exterior lighting will comply with the standards of the Zoning Ordinance and be dark-sky compliant. A lighting plan detailing the proposed parking lot and exterior lighting has been provided with this submission.

- **General description of deed restrictions, if any.**

No deed restrictions are proposed for this project.





RECEIVED  
APR 1 2024  
PLANNING

I am writing to provide an update on the proposed sound deadening wall assembly for the development at 3066 N Garfield Road.

After careful research and preparation, we have put together a comprehensive plan to address sound transmission concerns in the building voiced by the planning commission. At our recent meeting, we presented a detailed proposal, which includes the following components:

- 2 x 6 exterior wall construction with 7/16" OSB and Tyvek house wrap, serving as the weather-resistant barrier.
- BIBS (Blown In Blanket System) Superior Sound Control Insulation for enhanced sound absorption.
- CertainTeed Silent FX Quick Cut Noise Reducing Gypsum Board, known for its superior noise reduction properties.
- RC1 Resilient Channel to further isolate noise transmission.
- 1/2" gypsum board for additional soundproofing.

This enhanced sound deadening wall assembly will be implemented on the south and west walls of The Garfield apartment building, across both floors. I would like to assure you that this proposal is backed by thorough research and collaboration with industry professionals. We have consulted with Steve Grimm at Northwind Insulation and our local drywall supplier, Gypsum Supply on Cass Road, to ensure the highest quality materials and construction methods are utilized.

In response to your request for information regarding my qualifications, I have attached my résumé for your review.

Thank you for your attention to this matter. We believe that implementing this sound deadening wall assembly will enhance the quality of life for residents.

Should you have any further questions or require additional information, please do not hesitate to contact me.

Sean McCardel

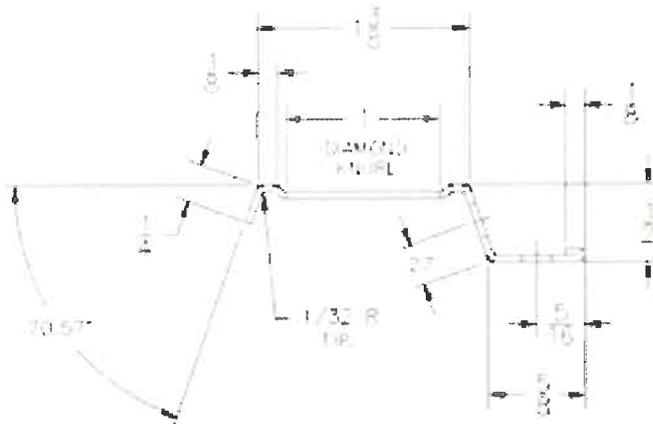
**Product Category:** Accessory

**Product Name:** Resilient Channel (RC1)

**Resilient Channel Section Properties**

Size	Product Name	Gauge	Design Thickness	Fy, (ksi)
1-3/8"	137RC1-18	25	.0179"	33

Calculated properties are based on AISI S100-16, North American Specification for Design of Cold-Formed Steel Structural Members and meets the requirements of the IBC 2018 Building Code.



**Additional Information**

MRI Steel Framing, LLC is an SFIA member. MRI acts in accordance with the product and quality standards required by the SFIA program.

MRI meets or exceeds ASTM C645, C745, A653, and A1003.

Current LEED credits available upon request



## Noise-Reducing Gypsum Board

### Product Data and Submittal

#### Product Description

SilentFX® QuickCut™ Noise-Reducing Gypsum Board is specifically designed to reduce airborne sound transmission between two adjoining spaces when used in wall or floor/ceiling assemblies. SilentFX QuickCut features a viscoelastic polymer that dampens sound energy. Application of the viscoelastic polymer between two specially formulated dense gypsum cores results in a combination that significantly improves sound attenuation and is ideal for systems requiring high STC performance. Commercial acoustic systems featuring SilentFX QuickCut provide STC ratings of 50 and up. In addition to providing exceptional acoustic performance, this functionally superior board is engineered to score and snap for faster installation and lower labor costs.

#### Basic Uses

1/2" SilentFX QuickCut Gypsum Board is intended for use on interior walls in residential, commercial or institutional applications. 5/8" SilentFX QuickCut Type X Gypsum Board is intended for use on interior walls and ceilings in residential, commercial or institutional applications. They can be used for new construction or renovations over wood or steel framing. It is typically nailed or screwed to studs spaced 16" (400 mm) or 24" (610 mm) o.c.

#### Advantages

- Features viscoelastic polymer for superior noise damping.
- SilentFX QuickCut systems improve sound attenuation with STC ratings of 50 and higher.
- High STC ratings with fewer layers of gypsum board than traditional assemblies.
- Abuse resistant per ASTM C1629.
- M2Tech technology provides additional zone of protection against moisture and mold.
- Achieves best possible score of 10 for mold resistance per ASTM D3273\*.
- Finishes like standard gypsum board.
- Regular and Type X products available.

#### Limitations

- Avoid exposure to water or excessive moisture during transportation, storage, handling, during or after installation. Good design and construction practices that prevent water and moisture exposure of building products are the most effective strategy to avoid the growth of mold.
- 1/2" (12.7 mm) SilentFX QuickCut is not recommended for ceiling applications.
- Not recommended for exterior application.

- SilentFX QuickCut Gypsum Boards are not recommended for areas which will be continuously wet or subjected to high humidity such as tub and shower enclosures behind tile, saunas, steam rooms or gang showers.
- Not recommended for continuous exposure to temperatures exceeding 125°F (52°C).
- Ceiling framing spacing should not exceed 16" (400 mm) o.c. for parallel or 24" (610 mm) o.c. for perpendicular application of 5/8" SilentFX QuickCut Type X Gypsum Board.
- Wall framing spacing should not exceed 24" (610 mm) o.c.
- Store indoors and off ground surface. Boards should be stacked flat with care taken to prevent sagging or damage to edges, ends and surfaces.
- Storing board lengthwise leaning against the framing is not recommended.
- Boards should be carried, not dragged, to place of installation to prevent damaging finished edges.
- SilentFX QuickCut boards are cut by scoring from the face side and snapping.
- In cold weather or during joint finishing applications, temperatures within the enclosure should stay in the range of 50° to 95°F (10° to 35°C) with sufficient ventilation to carry off excess moisture.

Continued on back

Job Name \_\_\_\_\_

Contractor \_\_\_\_\_

Date \_\_\_\_\_

Products Specified: \_\_\_\_\_

Submittal Approvals  
(Stamps or Signatures)

**CertainTeed**  
SAINT-GOBAIN

## Product Data

### Thicknesses:

Nominal 1/2" (12.7 mm)  
5/8" (15.9 mm) Type X

### Weights:

1/2" (12.7 mm) 2.1 psf (10.3kg/m<sup>2</sup>)  
5/8" (15.9 mm) 2.8 psf (13.7 kg/m<sup>2</sup>)

**Widths:** 4' (1220 mm)

**Lengths:** 8' (2440 mm) - 12' (3660 mm)  
Custom lengths available upon request.  
Contact the nearest Sales Office for stocked lengths available.

**Edges:** Tapered

**Packaging:** Two pieces per bundle, face-to-face and end taped.

## Technical Data

### Surface Burning Characteristics

SilentFX QuickCut Gypsum Boards have a Flame Spread rating of 0 and Smoke Developed rating of 0 when tested in accordance with ASTM E84, (UL 723, NFPA 255, and 0 / 5 ratings per CAN/ULC-S102).

### Fire Resistance

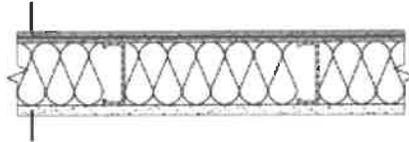
5/8" SilentFX QuickCut Type X Gypsum Board is UL/cUL Classified for Fire Resistance in accordance with ASTM E119 (UL 263, NFPA 251, CAN/ULC-S101) and may be substituted for CertainTeed Type X and M2Tech Type X Gypsum Board in multiple UL/cUL fire-rated designs.

### Abuse Resistance

ASTM C1629	Test Method	Classification Level
Surface Abrasion	D4977	2
Soft Body Impact	E695	1

## Acoustic Performance

SilentFX QuickCut 5/8" Type X



CertainTeed 5/8" Type X

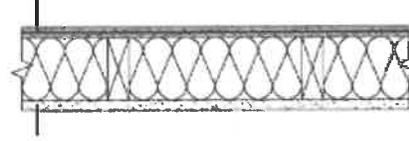
**Thickness:** 4 7/8" (124 mm)

**Fire Resistance Based Upon:**

UL/cUL Design U465

**Sound Test:** STC 55

SilentFX QuickCut 5/8" Type X



CertainTeed 5/8" Type X

**Thickness:** 5 1/4" (133 mm)

**Fire Resistance Based Upon:**

UL/cUL Design U309

**Sound Test:** STC 51

**For more Acoustic and Fire Resistance Systems, refer to CertainTeed's Gypsum Board Systems Manual.**

## Other Applicable Standards and References

- ASTM C1766, C1396
- ASTM C1629
- ASTM D3273
- CAN/CSA-A82.27
- ASTM E90, E413
- CAN/CSA-A82.31
- ASTM C840
- Gypsum Association GA-216
- Gypsum Association GA-214
- ICC International Building Code (IBC)
- ICC International Residential Code (IRC)
- National Building Code of Canada (NBCC)

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## Installation

### Decoration

SilentFX QuickCut Gypsum Board may be finished, painted, or wallpapered using conventional gypsum board techniques. The Gypsum Association publication, GA-214, "Recommended Levels of Gypsum Board Finish" should be referenced when specifying the level of finishing required for the desired final decoration.

\* The performance of SilentFX QuickCut Gypsum Boards in actual use may not accurately reproduce the results achieved in this ASTM laboratory test. Good design and construction practices that prevent water and moisture exposure of building products are the most effective strategy to avoid the growth of mold.

## Notice

The information in this document is subject to change without notice. CertainTeed assumes no responsibility for any errors that may inadvertently appear in this document.

## ASK ABOUT ALL OF OUR OTHER CERTAINTEED® PRODUCTS AND SYSTEMS:

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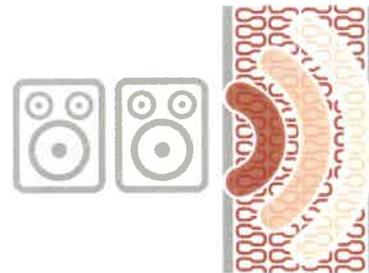


## SUPERIOR SOUND CONTROL

The insulation system used in your home critically impacts the comfort, energy efficiency, and sound control of the home. Within the walls of the most acoustically sound controlled home is BIBS® (Blow-In Blanket® system), the industry leading residential and commercial high-performance insulation system. BIBS is a proven, state-of-the-art insulation system utilizing specially manufactured fiberglass blowing wools installed in the walls, floors, attics, and cathedral ceilings behind a proprietary fabric. This forms a seamless blanket of insulation that completely fills around pipes, wires and other objects inside the cavity to maximize thermal efficiency and helps eliminate costly voids and air gaps. This process provides you with the highest effective R-values attainable on the market today.

BIBS is a proven, premium insulation that controls the transmission of sound. Controlling unwanted noise is a must, especially with newer homes featuring sophisticated, cinematic-quality, acoustical home theater systems. Many builders try to incorporate good sound control, but are often disappointed with the end results. Fortunately, to achieve the optimum level of sound control, BIBS is your solution.

Adding blown-in fiberglass insulation to walls, floors, and ceilings is a cost-effective way to improve sound control. Choosing the right system is critical, but proper installation is just as important. Installing insulation between rooms attenuates (reduces) sound transmission and is most effective for airborne transmission at medium to high frequencies (normal speaking range.) This consistent density of insulation reduces sound transmission and provides the homeowner with appreciable sound control.



---

### High-Performance Insulation System

BIBS® uses only high-quality fiber glass insulation produced by manufacturers CertainTeed, Johns Manville, and Knauf Insulation. Unlike other insulation systems that may leave voids or gaps, BIBS completely fills all spaces, reducing sound transmission through the wall cavity. Testing shows that fiberglass can add four to ten points to the STC (sound transmission class) of a wall or ceiling assembly. Fiberglass is a permanent solution; it doesn't settle or deteriorate over time, and therefore will not lose its acoustical effectiveness.

In addition to its sound controlling benefits, BIBS also offers outstanding thermal performance and high R-values, cutting utility bills and leaving you with an energy-efficient home. It does not settle or separate, corrode pipes or wires, or produce mold or mildew. It is also fire-resistant, moisture-resistant, and does not attract or act as sustenance for animals. And because BIBS uses non-combustible fiber glass, there are no chemicals or noxious odors over time.



### Installation

When BIBS is installed by a certified contractor, you have the peace of mind that the job will be completed properly. Certified Contractors are thoroughly trained to precise standards and continuing education ensures the skills of BIBS Certified installers' remain sharp. Choosing a Certified Contractor assures the performance of BIBS. Additionally, onsite testing confirms insulation density to ensure the highest level of thermal performance and sound control.



## SOUND INSULATION EFFECTIVENESS

In the test graphic below, a small wall assembly was constructed with wood studs, resilient channels, and gypsum wallboard. Penetrations were made for single and back-to-back metal electrical boxes, as shown in the graphs to the right. The wall assembly was tested in three ways - no insulation, fiberglass batt insulation, and BIBS®. The assembly was tested to measure the speech frequency (500-2000Hz) sound transmission through the wall using a sound intensity-mapping program.

### Testing Environment

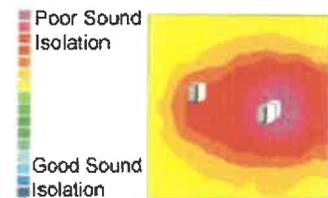
In order to simulate a field installation, instead of laboratory conditions, R-11 kraft-faced insulation was cut with up to a 1/8" gap around all three metal electrical boxes. No insulation was installed between the back-to-back electrical boxes. Then, high sound levels were generated on one side of the assembly, and sound energy was transmitted through the panel. On the quiet side of the assembly, a sound intensity probe was used to scan the surface, measuring regions of locally high and low sound intensity levels.

### Measurement

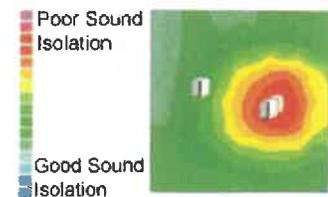
Sound intensity contour maps were generated from the experiment to graphically display the sound energy transmitted through the wall. The colors indicate local regions of high and low sound transmission.

### Results

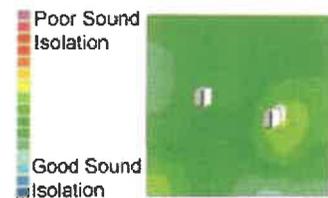
The contour maps show leakage through the back-to-back electrical box penetrations and slight leakage from the single metal electrical box penetration. The three tested assemblies demonstrate the importance of quality installation for sound control effectiveness. The small gaps in the R-11 batt insulated assembly clearly show reduced sound control effectiveness through the wall in the 500 to 2000 Hz frequency range.



Wall with penetrations and no insulation



Wall with penetrations and batt insulation



Wall with penetrations and BIBS insulation

Insulation Package	STC Wall WITHOUT Obstructions or Penetrations	STC Wall WITH Obstructions or Penetrations	TL Value	Maximum TL Reduction Due to Penetrations
No Insulation	35	37	48db	5db
BIBS	46	46	61db	3db

### Approved Use Fibers

CertainTeed InsulSafe®SP, InsulSafe®XC and Optima®  
 Johns Manville Climate Pro® and Spyder™  
 Knauf Perimeter Plus™ and Jet Stream® Max



### Building Standards

BIBS® meets the following standards:

- ◆ International Building Code
- ◆ International Residential Code
- ◆ International Energy Conservation Code

### Availability and Installation

Only trained contractors certified by BIBS® may install the system. This is the BIBS difference. It ensures a proper installation and outstanding performance. Our established network of insulation specialists extends across the United States and Canada.

### Acceptances

BIBS® has been evaluated and accepted by the following government agencies:  
 CCMC #13198R and 11790R

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# SEAN MCCARDEL, CGB, CGP

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mobile: 231-631-7111 | office: 231-933-7111 | email: spmccardel@aol.com

## WORK EXPERIENCE

**Sean McCardel Construction**      **1997 – Present**      **Traverse City, MI**

### *Founding Builder and Developer*

- Founded a commercial and private construction company that has undertaken projects throughout Michigan with a focus on building lifestyles and exceeding client expectations
- Undertakes first-class housing development, office park, luxury apartment, and commercial development projects throughout Michigan
- Manages all home development initiatives for Verndale at East Bay, and serves as the primary designer, seller, and builder for single family homes for primary, retirement and second home buyers in the Greenbuilt home community
- Incorporates Energy Star Efficiency into development projects to maximize the latest energy-saving technologies
- Developed a four-tiered strategy for all employees to uphold that promotes a focus on building a reputation of excellence through quality and service



**Michigan State University**      **1989 – 1991**      **East Lansing, MI**

### *Teaching Assistant*

- Worked under Dr. David Ralph to assist in teaching a 100 level communications course in professional public speaking
- Coached teams of students in speech writing and oral presentation, and taught best practices for analyzing common communication situations
- Developed methods for analyzing, critiquing and providing feedback to students for the purposes of improving their written and oral speeches

**Crosswinds Communities**      **1993 - 1995**      **West Bloomfield, MI**

### *Production Project Superintendent*

- Managed the production of a single-family residential development of nearly five hundred home sites
- Coordinated all construction initiatives proposed by subcontractors and facilitated the execution of approved rough construction projects
- Developed, managed and upheld quality control standards that provided guidance for the site workers and their superiors

**Michigan State University**      **1992 – 1993**      **East Lansing, MI**

### *Assistant Site Supervisor*

- Facilitated the \$62 million addition to the Michigan State University power plant
- Monitored quality control standards in key construction areas, including masonry, structural design and safety
- Served as an administrator for information dissemination throughout the construction team, and ensured concise communication between all parties involved

SEAN MCCARDEL

# SEAN MCCARDEL, CGB, CGP

Sean McCardel Construction, Inc | 755 Vienna Way | Traverse City, MI 49686  
mobile: 231-631-7111 | office: 231-933-7111 | email: spmccardel@aol.com

## ACCREDITATIONS

### **Certified Graduate Builder**

- One of the top designations developed by the National Association of Home Builders
- One of five Grand Traverse Area Home Builder Association builder members to have earned this designation

### **Certified Green Professional**

- An exclusive designation developed by the National Association of Home Builders
- Teaches building industry professionals strategies for incorporating green building principles into homes using cost-effective and affordable options

## AWARDS & ACHEIVEMENTS

### **Award Winner Homes & Award Winner Builder**

- 2008      ***Traverse City Business News***  
Rated "Top Five" residential builders in Grand Traverse County
- 2008      ***State of Michigan Department of Labor & Economic Growth***  
Energy Star Grant Award Winner
- 2007      ***Parade of Homes***  
2<sup>nd</sup> Place Homes over 2875 -- *People's Choice*
- 2007      ***Parade of Homes***  
2<sup>nd</sup> Place Homes over 2875 -- *Craftsmanship*
- 2006      ***Parade of Homes***  
2<sup>nd</sup> Place Homes over 2800 -- *Overall Home*
- 2006      ***Parade of Homes***  
2<sup>nd</sup> Place Homes over 2800 -- *Master Suite Award*
- 2006      ***Parade of Homes***  
Rookie of the Year Award

## EDUCATION

**Michigan State University**      **May 1993**      **East Lansing, MI**  
***Bachelor of Science in Building Construction Management***

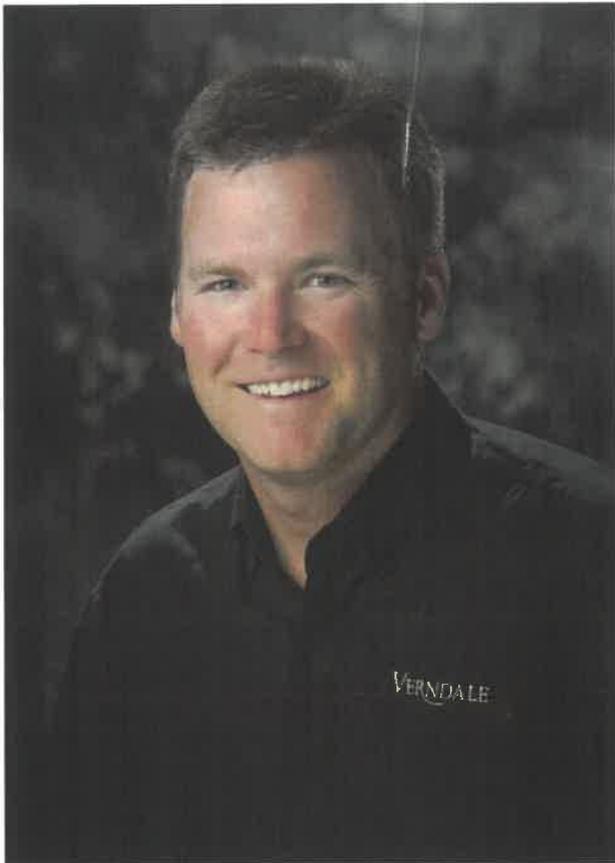
SEAN MCCARDEL

# Meet the Builder



## Sean McCardel Construction

Sean McCardel - President



Selecting a builder can be a daunting task. Let us help you make the decision with the confidence and peace of mind that comes from knowing you have selected a builder with the utmost competence and a reputation that speaks for itself.

Experienced in the design and construction of planned communities throughout Michigan, McCardel Construction offers a full complement of products to enhance our customers' lifestyle.

We design, sell and build single family homes for primary, retirement and second home buyers, and continually set the standard of excellence in homebuilding.

Our integrity and commitment to excellence will be directed without compromise toward ensuring value and satisfaction for all our customers. From the moment you first visit us, our goal is to make the home buying and building process pleasant and easy.

Our continued commitment to delivering an exceptional home as well as providing an exceptional lifestyle has earned McCardel Construction a sterling reputation.

Sean McCardel is a graduate of one of the nations top Construction Management Programs at Michigan State University, and is a member of the National Association of Home Builders. Continuing education on the latest construction technology and cutting edge designs are a life long passion.

*Find Your Way Home*



## NEWSMAKERS

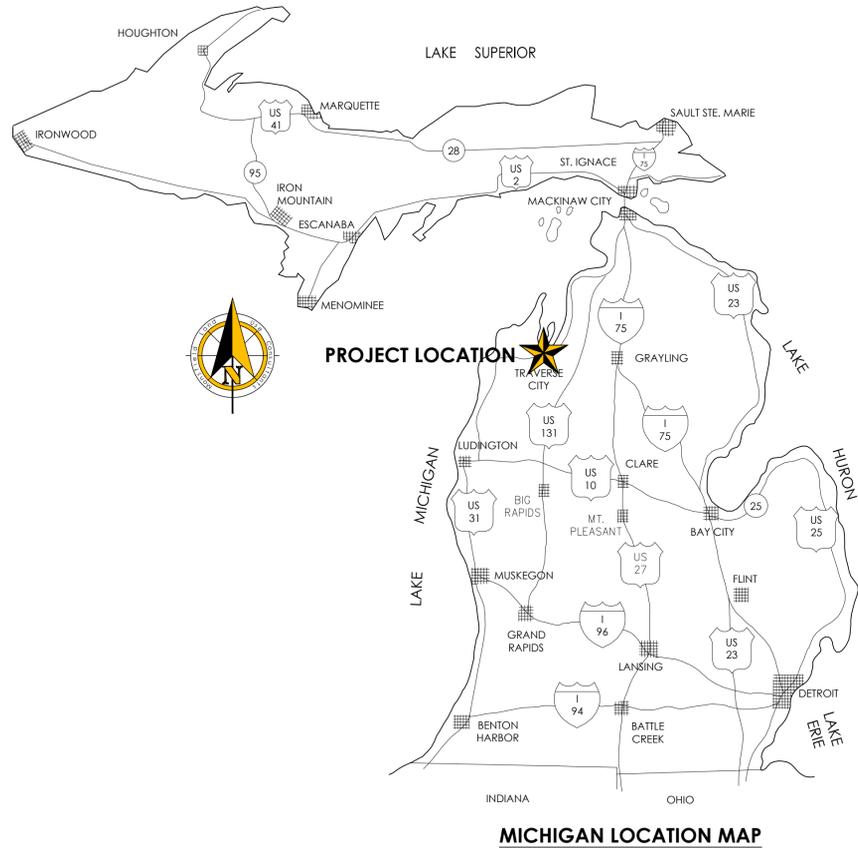


**Sean McCardel**, owner of Sean McCardel Construction, Inc. in Traverse City, has completed the educational requirements to earn his Certified Graduate Builder designation (CGB). He is one of only five Grand Traverse Area Home Builder Association builder members to have earned this designation.



## Award Winning Homes / Award Winning Builder

2006	Parade Of Homes " <i>Rookie of The Year</i> "
2006	Parade of Homes 2 <sup>nd</sup> Place Homes over 2800 SF -- <i>Master Suite Award</i>
2006	Parade of Homes 2 <sup>nd</sup> Place Homes over 2800 SF -- <i>Overall Home</i>
2007	Parade of Homes 2 <sup>nd</sup> Place Homes over 2875 -- <i>Craftsmanship</i>
2007	Parade of Homes 2 <sup>nd</sup> Place Homes over 2875 -- <i>People's Choice</i>
2007	State of Michigan Department of Labor & Economic Growth Energy Star Grant Award Winner
2008	Rated "Top Five" residential builders in Grand Traverse County by the Traverse City Business News
2010	Parade of Homes 1 <sup>st</sup> Place Development - Judges Choice
2010	Parade of Homes 1 <sup>st</sup> Place Development - Peoples Choice
2013	Parade of Homes 1 <sup>st</sup> Place – 1 <sup>st</sup> Place - Judge's Choice Award – \$300 - \$375k
2013	Parade of Homes 1 <sup>st</sup> Place – Craftsmanship Award - \$300 - \$375k
2013	Parade of Homes 1 <sup>st</sup> Place – Exterior Design Award - \$300 - \$375k
2013	Parade of Homes 1 <sup>st</sup> Place – Kitchen Award - \$300 - \$375k
2013	Parade of Homes 1 <sup>st</sup> Place – Master Suite Award - \$300 - \$375k
2015	Parade of Homes participant – Home showcased in Michigan Homes and Lifestyle Magazine's fall issue.



MICHIGAN LOCATION MAP

**PUBLIC AGENCIES AND UTILITIES**

**GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW)**

Manager: John Divozzo  
 Address: 2650 Lafronier Rd., Traverse City, MI 49686  
 Telephone: 231-995-6039

**GRAND TRAVERSE COUNTY ROAD COMMISSION**

Manager: Brad Kluczynski  
 Address: 1881 Lafronier Rd., Traverse City, MI 49686  
 Telephone: 231-922-4848

**GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL**

Supervisor: Brent Wheat  
 Address: 2650 Lafronier Rd., Traverse City, MI 49686  
 Telephone: 231-995-6042

**GARFIELD TOWNSHIP STORM WATER CONTROL ORDINANCE**

Supervisor: John Sych  
 Address: 3848 Veterans Dr., Traverse City, MI 49684  
 Telephone: 231-941-1620

**CHERRYLAND ELECTRIC COOPERATIVE (ELEC.)**

Engineer: Frank Seipker  
 Address: 5930 US-31 S., Traverse City, MI 49684  
 Telephone: 231-486-9220

**CONSUMERS ENERGY (ELEC.)**

Engineer: Chuck Walkonis  
 Address: 821 Hastings St., Traverse City, MI 49686  
 Telephone: 231-929-6228

**DTE ENERGY (GAS)**

Manager: Justin Ames  
 Address: 700 Hammond Rd., Traverse City, MI 49686  
 Telephone: 231-463-7033

**MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T.)**

Engineer: Rick Liptak, P.E.  
 Address: 2084 US-31 S., Traverse City, MI 49684  
 Telephone: 231-941-1986

**CHARTER COMMUNICATIONS (T.V.)**

Manager: Rob Nowak  
 Address: 701 S. Airport Rd., Traverse City, MI 49686  
 Telephone: 231-941-3766

**POLICE AGENCIES**

Emergencies: 911  
 Michigan State Police: 231-946-4646  
 Grand Traverse Co. Sheriff: 231-995-5001  
 Garfield Twp. Police Officer: 231-941-9222

**FIRE DEPARTMENTS**

Emergencies: 911  
 Grand Traverse Metro: 231-947-3000  
 Grand Traverse Rural: 231-943-9721  
 Garfield Twp.: 231-941-7682

**STANDARD PLAN LEGEND**

DESCRIPTION	EXISTING	PROPOSED
GROUND CONTOUR	605	613
SPOT ELEVATION	613.2	704.33
CONTOUR FROM USGS TOPOGRAPHIC MAP		
TOP OF CURB ELEVATION	+ 613.5	704.33
PAVEMENT (OR GUTTER FLOW LINE) ELEVATION	613.0	704.00
DIRECTION OF SURFACE FLOW		←
DRAINAGE HIGH POINT		HP.
DRAINAGE LOW POINT		LP.
WATER MAIN	— W — W — W —	— W — W —
SANITARY FORCE MAIN	— FM —	— FM —
SANITARY SEWER	— SAN —	— SAN —
STORM SEWER	— ST —	— ST —
GAS MAIN	— GAS —	— GAS —
OVERHEAD ELECTRIC	— OE —	— OE —
PROPERTY LINE	— — — — —	— — — — —
TREE LINE	~ ~ ~ ~ ~	~ ~ ~ ~ ~
PINE LINE	— — — — —	— — — — —
EDGE OF WETLAND	— — — — —	— — — — —
EDGE OF WATER	— — — — —	— — — — —
C/L OR DRAINAGE DITCH OR WATER LINE	— — — — —	— — — — —
SILT FENCE		~ ~ ~ ~ ~
DETENTION BASIN BERM		5'
SANITARY MANHOLE (MH)	⊙	⊙
STORM MANHOLE (MH)	⊙	⊙
CATCH BASIN (CB)	⊙	⊙
CLEAN OUT (CO)	⊙	⊙
RISER	⊙	⊙
GATE VALVE	⊕	⊕
FIRE HYDRANT ASSEMBLY	⊕	⊕
CURB STOP & BOX	⊕	⊕
POLE, POWER OR ELECTRIC	⊕	⊕
LIGHT POLE	⊕	⊕
SIGN	⊕	⊕
BENCH MARK (BM)	⊕	⊕
U/G UTILITY SIGN	⊕	⊕
GUY ANCHOR	⊕	⊕
SOIL EROSION CONTROL MEASURE (MICHIGAN UNIFIED KEYING SYSTEM) P=PERMANENT T=TEMPORARY		⊕
IRON FOUND / IRON SET	⊙	⊙
CONCRETE MONUMENT	⊙	⊙
GOVERNMENT CORNER	⊙	⊙
NAIL FOUND / NAIL SET	⊙	⊙
RECORD / MEASURED	(R)	(M)
FENCE	— — — — —	— — — — —
WOOD STAKE	⊕	⊕

**PROJECT DATA:**

OWNER & DEVELOPER: 3066 N. GARFIELD, LLC  
 ADDRESS: 310 WATER WATCH LANE  
 TRAVERSE CITY, MI 49686  
 CONTACT: JOE LOCICCHIO  
 PHONE: 248-521-9962  
 EMAIL: jlgjo@comcast.net

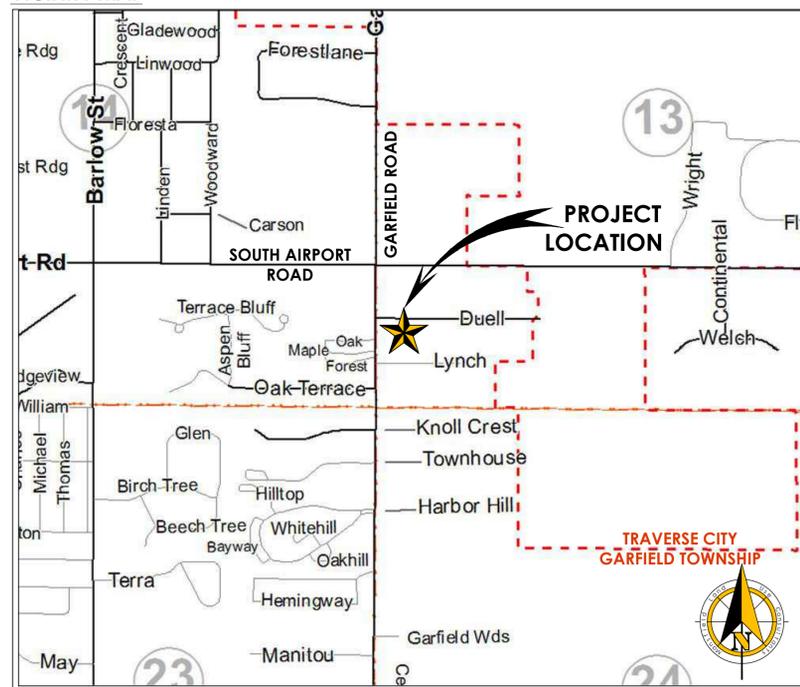
**SITE DATA:**

LOCATION: 3066 N. GARFIELD RD.  
 TAX ID: 28-05-013-050-00  
 LOT AREA: 1.37 ACRES GROSS  
 1.21 ACRES NET  
 ZONING: C-G, GENERAL COMMERCIAL  
 PROPERTY DESCRIPTION AS SURVEYED:  
 PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN MORE FULLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHWEST CORNER OF SECTION 13; THENCE N00° 08' 26"E, 608.11 FEET ALONG THE WEST LINE OF SECTION 13 TO THE POINT OF BEGINNING; THENCE N00° 08' 26"E, 150.16 FEET ALONG THE WEST LINE OF SECTION 13; THENCE S89° 30' 32"E, 33.00 FEET; THENCE N00° 08' 26"E, 35.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF DUELL ROAD; THENCE S89° 30' 32"E, 294.90 FEET ALONG THE SOUTH RIGHT-OF-WAY LINE OF DUELL ROAD; THENCE S00° 08' 26"W, 185.16 FEET; THENCE N89° 30' 32"W, 327.90 FEET TO THE POINT OF BEGINNING.  
 FRONTAGE: 294.90 L.F. PER PROPERTY LINE ALONG DUELL RD.  
 185.16 L.F. PER PROPERTY LINE ALONG GARFIELD RD.  
 CURRENT USE: FORMER LANDSCAPING COMPANY  
 NOT CURRENTLY IN USE  
 PROPOSED USE: 20 UNIT, 2-STORY APARTMENT BUILDING

**SETBACKS:**

FRONT = 40'  
 SIDE = VARIABLE  
 REAR = VARIABLE

**VICINITY MAP**



**PLAN INDEX**

- C1.0 COVER SHEET
- C1.1 NOTES
- C1.2 CIVIL DETAILS - SITE
- C2.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C3.0 SOIL EROSION & SEDIMENTATION CONTROL PLAN
- C4.0 SITE & DIMENSION PLAN
- C5.0 STORM & GRADING PLAN
- C6.0 UTILITY PLAN
- L1.0 LANDSCAPE PLAN
- EXHIBIT - LIGHTING PLAN

THE **GARFIELD**  
 GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN

830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mmaeps.com  
 info@mmaeps.com

**Mansfield**  
 Land Use Consultants

REV#	DATE	DES	DWN	CHK	DESC
01	07-01-23	dim	mmmm	dim	Original design
02	08-21-23	dim	mmmm	dim	Revise design
03	09-13-23	dim	mmmm	dim	Submittal - Preliminary review
04	10-09-23	dim	mmmm	dim	New Building Design
05	03-04-24	dim	mmmm	dim	Two Submittal
06	03-26-24	dim	mmmm	dim	Two Revisions

3066 N. GARFIELD, LLC  
 Proposed Commercial District Housing  
 COVER SHEET

PRELIMINARY

PLOT: dim

DATE: mmm/ dim/ CREATOR: 08.01.23

JOB NO.: 23181

C1.0

C:\Users\jwagner\OneDrive\Work\Projects\23181\23181.dwg (1:0 CDV) - Apr 26, 2024 1:00pm - etw

**GENERAL CONSTRUCTION NOTES:**

**1. MISS DIG**

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 811 or 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

**2. EXISTING UTILITIES**

EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND "MISS DIG" AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT IS PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**3. PROTECTING UTILITIES**

SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED, ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY.

**4. SAFETY**

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

**5. SOIL EROSION & SEDIMENTATION CONTROL**

THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. THE SOIL EROSION MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER. AT NO ADDITIONAL COST TO THE PROJECT, NO EXCAVATION WORK MAY PROCEED UNTIL THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. ALL WORK MUST BE IN ACCORDANCE WITH THE APPROVED PERMIT FROM THE GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL OFFICE.

**6. PROPERTY CORNERS**

EXISTING KNOWN PROPERTY CORNERS ARE IDENTIFIED ON THE PLANS. IF A PROPERTY CORNER IS DISTURBED DURING CONSTRUCTION IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A PROFESSIONAL LAND SURVEYOR.

**7. SURVEY DATUM**

ALL ELEVATIONS ARE BASED ON N.A.V.D., 1988, UNLESS OTHERWISE SPECIFIED.

**8. RESTORATION WORK**

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED. MULCH BLANKET SHALL BE INSTALLED IN AREAS AS DESIGNATED AND SHALL BE INCIDENTAL TO OTHER ITEMS. ALL EXCESS TOPSOIL WILL REMAIN WITHIN THE PROPERTY OWNER'S AREA. THE CONTRACTOR SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AT NO ADDITIONAL COST TO THE OWNER.

**9. REMOVAL ITEMS**

THE CONTRACTOR SHALL RESTORE ALL LAWNS, LANDSCAPE PLANTINGS, SIDEWALKS, COMMERCIAL SIGNS, ETC., AS REQUIRED, UNLESS SPECIFICALLY NOTED FOR REMOVAL ON THE PLANS. ALL SIDEWALKS, DRIVES, CULVERTS, DRAINAGE STRUCTURES, ABOVE GRADE UTILITIES, IRRIGATION SYSTEM, ETC. SHALL BE PROTECTED. ALL SUCH ITEMS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

**10. CONSTRUCTION SIGNAGE & TRAFFIC CONTROL**

LOCAL TRAFFIC AND CONSTRUCTION SIGNAGE SHALL BE MAINTAINED AT ALL TIMES TO THE SATISFACTION OF THE OWNER.

**11. DUST CONTROL**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST ON THIS PROJECT THOUGH THE USE OF WATER TRUCKS OR DUST PALLIATIVE. PAYMENT FOR DUST CONTROL SHALL BE INCLUDED IN THE LUMP SUM CONTRACT AND SHALL NOT BE PAID SEPARATELY. DUST SHALL BE CONTINUOUSLY CONTROLLED TO THE SATISFACTION OF THE OWNER.

**12. PROTECTIVE FENCE**

THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN A TEMPORARY PROTECTIVE SNOW FENCE AROUND ALL OPEN TRENCH EXCAVATIONS THAT ARE LEFT OPEN OVERNIGHT OR ANY OTHER UNSAFE AREAS ON SITE THAT REQUIRE PUBLIC PROTECTION.

**13. EXCESS MATERIALS**

ALL EXCESS MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF OF THE SITE UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER. ALL REMOVALS AND TRANSPORTATION OF THE REMOVED MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL LOCAL, STATE AND FEDERAL LAWS.

**14. SAWCUTTING PAVEMENT**

SAWCUT EXISTING PAVEMENT FULL DEPTH TO THE LIMITS OF CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. IF THE EDGE IS DAMAGED SUBSEQUENT TO SAWCUTTING, THE EDGE SHALL BE RECUT AT NO ADDITIONAL COST TO THE OWNER.

**15. DEWATERING**

ANY REQUIRED DEWATERING FOR SITE WORK, INCLUDING THE USE OF STONE OR GRAVEL FOR DEWATERING PURPOSES, WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.

**16. UTILITY SEPARATION**

MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION BETWEEN ALL WATER MAINS AND SANITARY/STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

**17. RECYCLING**

THE CONTRACTOR IS ENCOURAGED TO RECYCLE ANY MATERIALS OR PRODUCTS THAT ARE REUSABLE OR CAPABLE OF BEING RECYCLED.

**18. EXCAVATION FOR UTILITIES**

ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY, WHERE REQUIRED, SHALL INCLUDE THE USE OF TRENCH BOXES AND SHEETING DURING THE INSTALLATION TO PREVENT DAMAGE TO THE EXISTING ROADWAY AND UTILITIES. DEWATERING, IF REQUIRED, SHALL BE COMPLETED PER THE STANDARD DPW SPECIFICATIONS.

**GENERAL GRADING CONSTRUCTION NOTES:**

**1. QUALITY OF WORK**

ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT M.D.O.T. CONSTRUCTION STANDARDS AND SPECIFICATIONS.

**2. SUBGRADE PREPARATION**

THE PRESENCE OF OTHER THAN GRANULAR MATERIALS IN THE SUBGRADE SOIL SHALL REQUIRE A FULL WIDTH, TWELVE INCH, GRANULAR SUB-BASE, M.D.O.T. CLASS II OR EQUIVALENT. PREPARED SUBGRADE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND/OR TESTED PRIOR TO PLACEMENT OF GRAVEL.

**3. AGGREGATE BASE MATERIAL**

AGGREGATE BASE TO BE USED ON THE PROJECT MUST MEET SPECIFICATION FOR M.D.O.T. 22A AND MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT. AGGREGATE BASE PLACEMENT MUST COMPLY WITH SECTION 3.01 OF THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. PREPARED AGGREGATE BASE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND TESTED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACE.

**4. BITUMINOUS PAVEMENT (HMA)**

THE CONTRACTOR SHALL GIVE THE OWNER'S REPRESENTATIVE 48 HOURS NOTICE PRIOR TO PLACEMENT OF BITUMINOUS SURFACE. BITUMINOUS PAVING MUST BE PERFORMED IN ACCORDANCE WITH THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION.

**5. REMOVAL OF ORGANICS**

ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF, SHALL BE ENTIRELY REMOVED FROM WITHIN THE SITE GRADING.

**6. SITE GRADING**

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED AS SOON AS FEASIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON ALL AREAS DISTURBED BY CONSTRUCTION.

**7. FIELD CHANGES**

ANY CHANGES IN SPECIFICATIONS OR CONSTRUCTION METHODS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER, AND MUST NOT CONFLICT WITH APPROVED PERMITS.

**8. DRAINAGE**

EXISTING STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS OR STRUCTURES DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. SEE THE PROPOSED GRADING PLAN FOR DETAILS ON CONSTRUCTION ITEMS.

**9. ADJUSTMENTS**

THE CONTRACTOR SHALL ADJUST ALL UTILITY SURFACE ITEMS TO THE FINISH GRADES PRIOR TO PAVING.

**GENERAL WATER MAIN CONSTRUCTION NOTES:**

**1. STANDARDS**

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2017 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS, ADOPTED ON SEPTEMBER 26, 2017 (AS AMENDED)).

**2. DATUM**

ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

**3. DETAILS**

PIPE BEDDING, THRUST BLOCKS, HYDRANT, VALVES, VALVE MANHOLES, AND ALL APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

**4. PUBLIC EASEMENTS**

EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

**5. WATER SERVICES**

THE DOMESTIC WATER AND FIRE PROTECTION MUST BE SEPARATE SERVICES TO EACH BUILDING.

**6. UTILITY SEPARATION**

ALL WATER MAINS AND LEADS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM ALL SEWERS. MEASUREMENTS ARE FROM OUTSIDE TO OUTSIDE OF PIPE.

**7. NO DISRUPTION OF SERVICE**

THE CONTRACTOR SHALL NOT DISRUPT THE WATER MAIN SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE G.T. CO. DPW BY THE CONTRACTOR A MINIMUM OF 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING BOTTLED WATER, DISINFECTING AND TESTING THE WATER MAIN BEFORE RECONNECTING, ETC. PER THE G.T. CO. STANDARDS.

**8. SALVAGED MATERIALS**

ALL EQUIPMENT AND MATERIALS THAT ARE CURRENTLY OPERATED AND MAINTAINED BY THE G.T. CO DPW AND IS INTENDED TO BE REMOVED AND SALVAGED SHOULD BE STOCKPILED AND RETURNED TO THE G.T. CO DPW. IN THE EVENT THAT THE DPW DOES NOT WANT THE SALVAGED MATERIALS, THE CONTRACTOR SHALL PROPERLY DISPOSE THE MATERIALS.

**9. TERMINATION POINTS**

ALL TERMINATION POINTS ON THE WATER MAIN SHALL BE MARKED WITH A 4"x4" TREATED POST.

**GENERAL SANITARY SEWER CONSTRUCTION NOTES:**

**1. STANDARDS**

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2017 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS, ADOPTED ON SEPTEMBER 26, 2017 (AS AMENDED)).

**2. CONNECTIONS**

NO CONNECTION RECEIVING STORM WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWERS.

**3. DATUM**

ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

**4. DETAILS**

PIPE BEDDING, BUILDING SEWERS, DROP CONNECTIONS, BULKHEADS, MANHOLES, MANHOLE COVERS, AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

**5. PUBLIC EASEMENTS**

EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

**6. UTILITY SEPARATION**

ALL SANITARY SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS AND LEADS. MEASUREMENTS ARE FROM OUTSIDE TO OUTSIDE OF PIPE.

**7. NO DISRUPTION OF SERVICE**

THE CONTRACTOR SHALL NOT DISRUPT THE SANITARY SEWER SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE G.T. CO. DPW BY THE CONTRACTOR A MINIMUM OF 48 HOURS IN ADVANCE.

**8. SALVAGED MATERIALS**

ALL EQUIPMENT AND MATERIALS THAT ARE CURRENTLY OPERATED AND MAINTAINED BY THE G.T. CO DPW AND IS INTENDED TO BE REMOVED AND SALVAGED SHOULD BE STOCKPILED AND RETURNED TO THE G.T. CO DPW. IN THE EVENT THAT THE DPW DOES NOT WANT THE SALVAGED MATERIALS, THE CONTRACTOR SHALL PROPERLY DISPOSE THE MATERIALS.

**9. TERMINATION POINTS**

ALL TERMINATION POINTS ON THE SANITARY SEWER SHALL BE MARKED WITH A 4"x4" TREATED POST.

**GENERAL STORM SEWER CONSTRUCTION NOTES:**

**1. CONSTRUCTION STANDARDS**

ALL MATERIALS, CONSTRUCTION, METHODS, TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH THE CURRENT MDOT CONSTRUCTION STANDARDS UNLESS OTHERWISE SPECIFIED.

**2. CONNECTIONS**

NO CONNECTIONS SHALL BE MADE TO SANITARY SEWERS.

**3. STRUCTURE ADJUSTMENTS**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING CATCH BASIN AND/OR MANHOLE RIMS TO THE FINISH GRADE ELEVATIONS. THE LOCATIONS AND ELEVATIONS SHOWN ARE BASED UPON PLAN GRADES AND ARE SUBJECT TO CHANGE.

**4. UTILITY SEPARATION**

ALL STORM SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS AND LEADS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

830 Cottageview Dr., Ste. 201  
P.O. Box 4015  
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Phone: 231-946-9310  
www.mmaeps.com  
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05	03-04-24	dim	mmmm	dim	1wp. Submittal
06	03-26-24	dim	mmmm	dim	1wp. Revisions

3066 N. GARFIELD, LLC  
**Proposed Commercial District Housing**  
**NOTES**  
 Section 13, Town 27 North, Range 11 West  
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

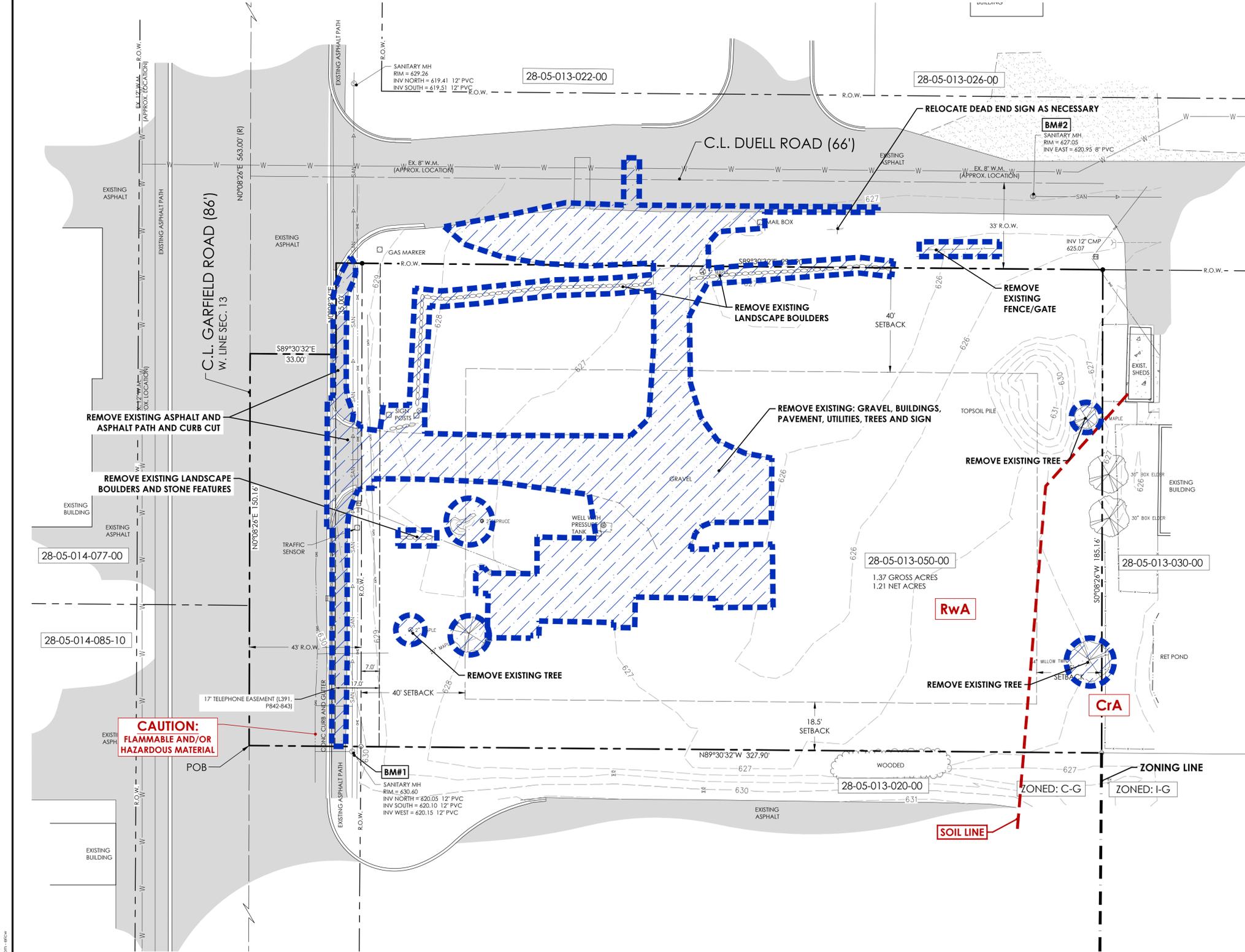
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DR: mmmm CXL: dim CREATOR: 08.01.23

COR NO.: 23181

**C1.1**





**BM#1**  
 SANITARY MH RIM  
 ELEV=630.60'(NAVD'88)  
 N=9994.373  
 E=9847.693

**BM#2**  
 SANITARY MH RIM  
 ELEV=627.05'(NAVD'88)  
 N=10060.419  
 E=10256.238

**GRAND TRAVERSE COUNTY SOILS MAP LEGEND (M1055)**

Map Unit Symbol	Map Unit Name
CrA	Crosswell-Rubicon sands, 0 to 2% slopes
	Depth to restrictive layer: More than 80 inches
	Natural Drainage Class: Moderately well drained
	Runoff Class: Negligible
	Infiltration: 5.95 to 19.98 in/hr
	Depth to Water Table: About 24 to 42 inches
RwA	Rubicon sand, 0 to 2% slopes
	Depth to restrictive layer: More than 80 inches
	Natural Drainage Class: Excessively drained
	Runoff Class: Negligible
	Infiltration: 5.95 to 19.98 in/hr
	Depth to Water Table: More than 80 inches

**SURROUNDING PARCEL INFORMATION** DATE: 2/1/2024

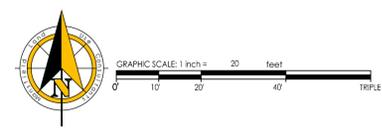
Tax ID	Owner/Address	Parcel Address	Current Zoning	Current Use
28-05-013-020-00	WASH-N-GO CAR WASH 2025 N. GENESSEE ROAD BURTON, MI 48509	3030 N. GARFIELD RD.	C-G & I-G	BUSINESS
28-05-013-022-00	DAB WAG TC LLC 4518 BIG SKY DR. STE 201 MADISON, WI 53719	975 W. SOUTH AIRPORT RD.	C-G	RETAIL
28-05-013-026-00	PAUL & VALERIE EVERTS 950 DUELL ROAD TRAVERSE CITY, MI 49686	950 DUELL ROAD	I-G	RESIDENTIAL & RETAIL
28-05-013-030-00	MELISSA RIGGS 1193 LYNN LANE TRAVERSE CITY, MI 49684	931 DUELL ROAD	I-G	RESIDENTIAL & BUSINESS
28-05-013-050-00	3066 N. GARFIELD LLC 805 BIRCHWOOD AVE. TRAVERSE CITY, MI 49686	3066 N. GARFIELD RD.	C-G	FORMER LANDSCAPE BUSINESS
28-05-014-077-00	3077 GARFIELD LLC 319 E. ROLSTON ROAD LINDEN, MI 48451	3077 N. GARFIELD RD.	C-G	BUSINESS, RETAIL
28-05-014-085-10	3011 N. GARFIELD LLC 129 E. FRONT STREET, STE 200 TRAVERSE CITY, MI 49684	3011 N. GARFIELD RD.	C-G	RESIDENTIAL MOBILE HOME PARK

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06	03-26-24	dim	mmmm	dim	1wp. Revisions

3066 N. GARFIELD, LLC  
 Proposed Commercial District Housing  
 EXISTING CONDITIONS & DEMOLITION PLAN  
 Section 13, Town 27 North, Range 11 West  
 Garfield Township, Grand Traverse County, Michigan



PRELIMINARY

PLOT: dim

DATE: 08.01.23

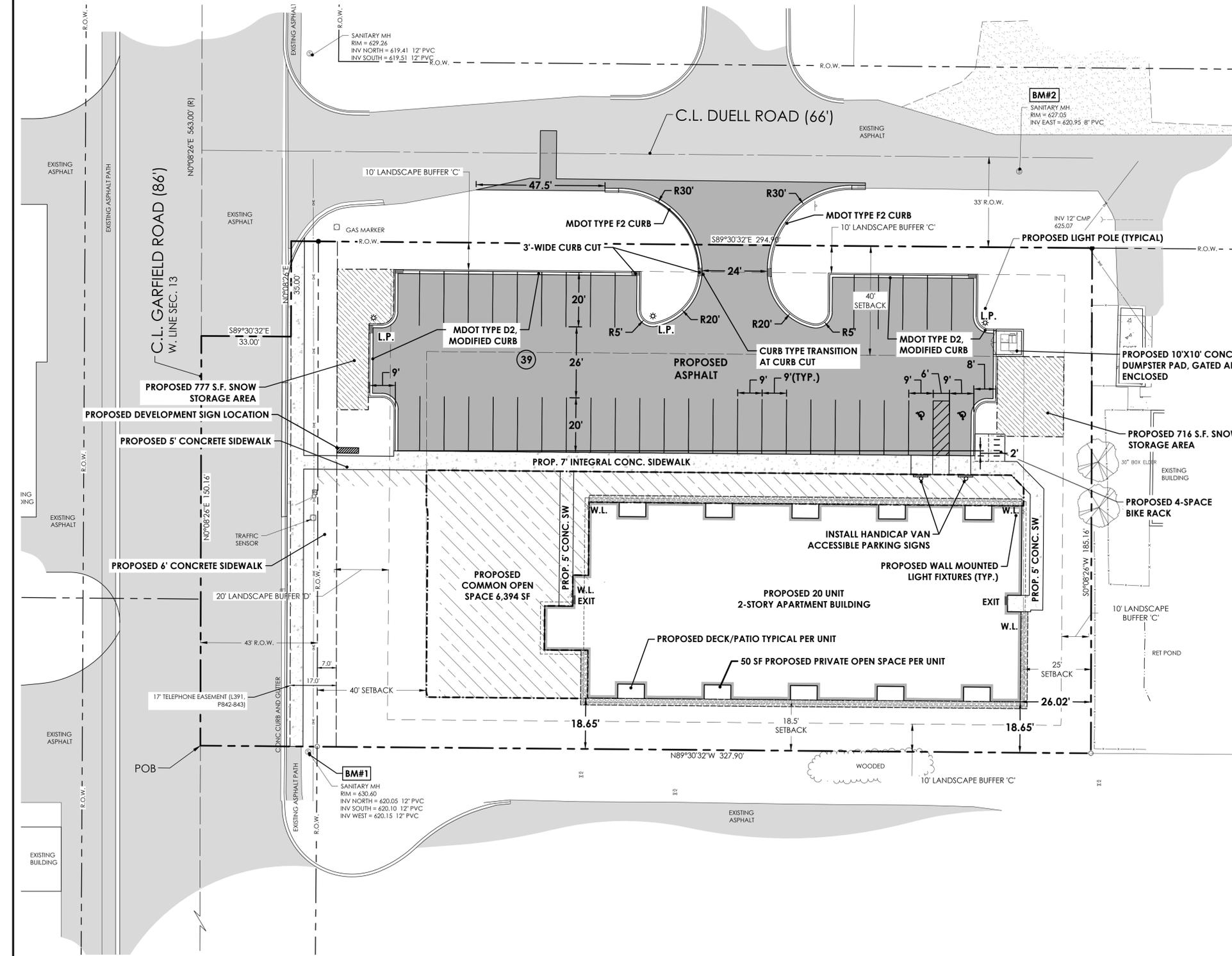
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NO. 23181

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PARCEL ZONED: C-G  
 R-3 DENSITY: 4,000 S.F. LOT AREA PER UNIT REQUIRED (15 UNITS ALLOWED) SEC. 315.E  
 2,977.8 S.F. LOT AREA PER UNIT PROPOSED (20 UNITS PROPOSED)  
 SEE SEC.725.A.(1)(c) FOR ALLOWED INCREASE IN DENSITY .

R-3 PARKING: 1.5 SPACES PER DWELLING UNIT (30 SPACES REQUIRED)  
 1.9 SPACES PER DWELLING UNIT PROPOSED (39 SPACES PROPOSED)

PER SECTION 725, OPEN SPACE REQUIREMENTS:  
 50 S.F. PRIVATE OUTDOOR SPACE PER UNIT REQUIRED/PROVIDED  
 300 S.F. PER UNIT COMMON OUTDOOR SPACE REQUIRED (6,000 S.F. REQUIRED)  
 320 S.F. PER UNIT COMMON OUTDOOR SPACE PROPOSED (6,394 S.F. PROPOSED)  
 COMMON OUTDOOR SPACE TO BE "A REAR YARD ALONG THE LONGEST BUILDING LENGTH" SEC. 725.A(2)(c). DUE TO THE SIZE/SHAPE OF THE LOT THE OPEN SPACE IS LOCATED IN PART ALONG THE FRONT OF THE BUILDING WITH THE MAJORITY LOCATED ALONG THE SIDE OF THE PROPOSED BUILDING. SEE SEC. 5.A.(1)(b) & SEC. 725.A.(2)(b)

LIGHTING: POLE MOUNTED AND BUILDING MOUNTED LIGHTING PROPOSED, AS SHOWN ON SITE PLAN, SHALL MEET FULL CUT OFF AND DARK SKY REQUIREMENTS.

- NOTES:
- 1,493 S.F. OF SNOW STORAGE REQUIRED & PROPOSED
  - PROPOSED ON SITE SIDEWALKS ARE 5' WIDE (TYP.) 7' IN FRONT OF PARKING SPACES.
  - REQUIRED & PROPOSED SIDEWALK ALONG GARFIELD ROAD IS 6' WIDE
  - SITE TO BE SERVICED BY GARFIELD TOWNSHIP SANITARY SEWER AS CURRENTLY LOCATED ALONG GARFIELD ROAD AND DUELL ROAD
  - SITE TO BE SERVICED GARFIELD TOWNSHIP WATER AS CURRENTLY LOCATED ALONG GARFIELD ROAD AND DUELL ROAD

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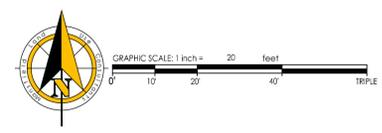
**BM#2**  
 SANITARY MH RIM  
 ELEV=627.05'(NAVD'88)  
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 E=10256.238

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06	03-26-24	dim	mm	dim	1wp. Revisions

3066 N. GARFIELD, LLC  
 Proposed Commercial District Housing  
**SITE AND DIMENSION PLAN**  
 Section 13, Town 27 North, Range 11 West  
 Garfield Township, Grand Traverse County, Michigan



PRELIMINARY

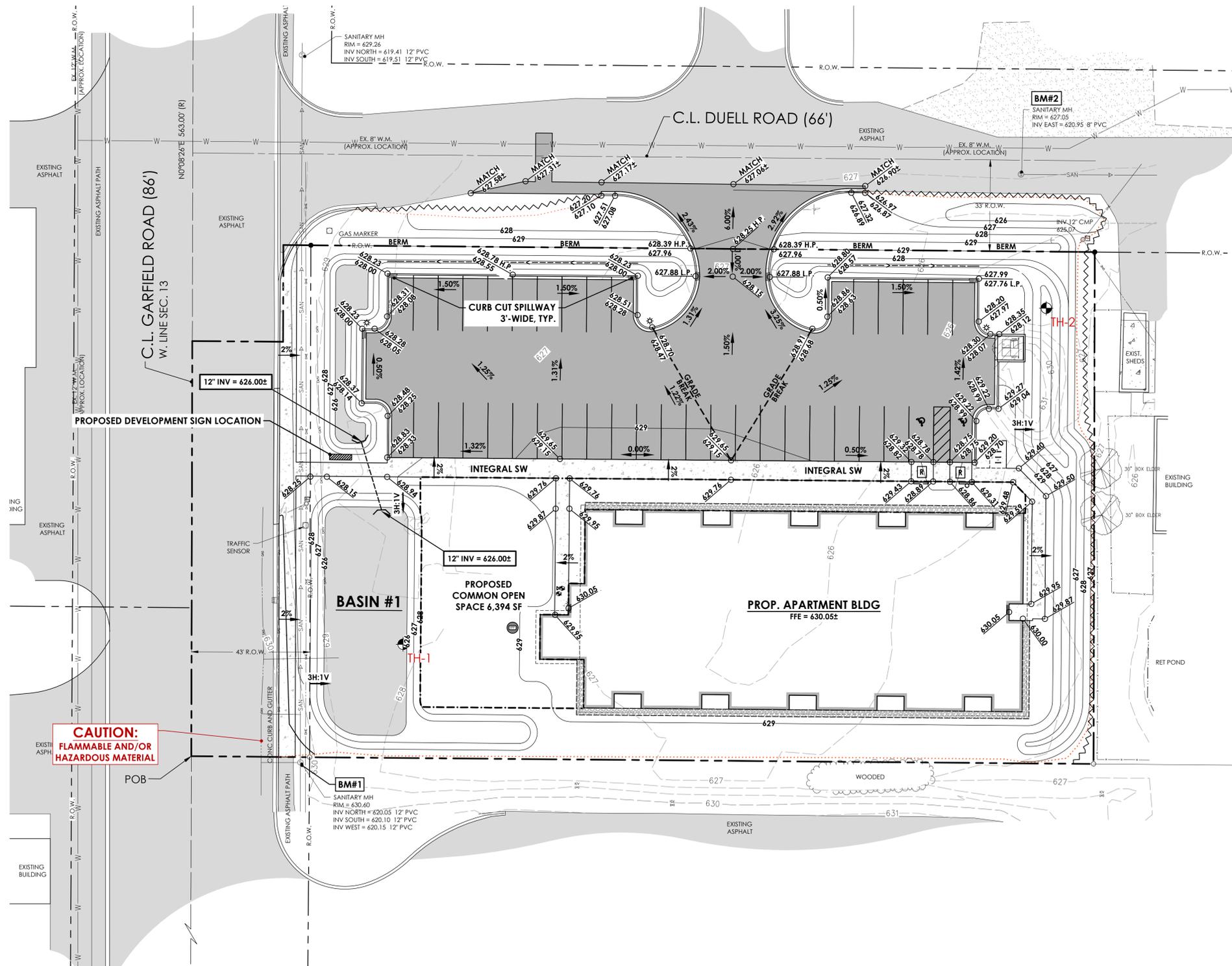
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SCH NO: 23181

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**BM#1**  
**SANITARY MH RIM**  
**ELEV=630.60'(NAVD'88)**  
**N=9994.373**  
**E=9847.693**

**BM#2**  
**SANITARY MH RIM**  
**ELEV=627.05'(NAVD'88)**  
**N=10060.419**  
**E=10256.238**

**GENERAL CONSTRUCTION NOTES - GRADING:**

- FINAL GRADING SHALL PROVIDE POSITIVE DRAINAGE ACROSS THE ENTIRE SITE. EXCEPT AT BUILDING ENTRANCES AND CONCRETE APPROACH SLABS, THE GRADE ADJACENT TO THE BUILDING FOOTPRINT SHALL BE 6" BELOW THE FIRST FLOOR ELEVATION. AT BUILDING ENTRANCES AND CONCRETE APPROACH SLABS, THE GRADE SHOULD BE 3/4" BELOW THE FIRST FLOOR ELEVATION.
- THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION REPORT DATED JULY 2021.
- RESTORATION SHALL INCLUDE FURNISHING AND PLACING 4" OF TOPSOIL AND HYDRO-SEEDING TO THE EXTENTS OF THE DISTURBED AREAS ON THE SITE. MULCH BLANKET IS REQUIRED WHERE SLOPES ARE 3:1 OR GREATER.
- THE FINAL GRADES ADJACENT TO ALL SIDEWALK APRONS SHALL MATCH THE TOP OF CONCRETE WITH NO STEP DOWN.
- THE CONSTRUCTED PARKING LOT HMA, CONCRETE SIDEWALKS AND SIDEWALK RAMPS SHALL MEET A.D.A. GUIDELINES FOR MAXIMUM SLOPE, LANDINGS, RAILINGS, DETECTABLE WARNING PLATES, ETC.
- ALL STORM SEWER PIPES 24" DIAMETER OR LESS REQUIRE RESILIENT CONNECTORS AT STRUCTURES.
- AFTER INSTALLATION OF THE PROPOSED STORM SEWER INLETS, PLACE FILTER FABRIC UNDER EACH COVER TO PREVENT SOIL AND DEBRIS FROM ENTERING THE UNDERGROUND STORM WATER STORAGE SYSTEM. MAINTAIN REGULARLY.

**DETENTION BASIN:**

DESIGN STORM =	828 100-YR
DRAINAGE AREA SIZE =	1.03 ACRES
TOP OF BERM ELEVATION =	628.00'
DESIGN OVERFLOW ELEVATION =	NONE
DESIGN 100-YR X2 WATER LEVEL =	627.00'
DESIGN BOTTOM ELEVATION =	626.00'
DESIGN MAXIMUM 50-YR DEPTH =	1.00'
DESIGN INFILTRATION RATE =	1.5 IN/HR
VOLUME PROVIDED @ 628.00' =	13,854 CFT
BASIN DRAW DOWN TIME =	8.0 HR
[72 > 12D/1; 12"(1.0 FT) / (1.5 IN/HR)]	

**INFILTRATION TESTS:**

TH-1	SAMPLE DEPTH: 1.6 - 2.5 FT;	RESULTS: >20 IN/HR
TH-2	SAMPLE DEPTH: 2.5 - 3.5 FT;	RESULTS: >20 IN/HR

**A.D.A. SIDEWALK RAMP. INCLUDE DETECTABLE WARNING PLATES AS DIRECTED BY THE OWNER.**

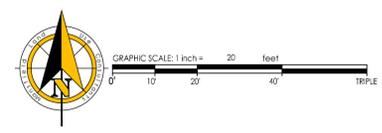
**CAUTION:**  
**FLAMMABLE AND/OR**  
**HAZARDOUS MATERIAL**

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3066 N. GARFIELD, LLC  
**Proposed Commercial District Housing**  
**STORM & GRADING PLAN**  
 Section 13, Town 27 North, Range 11 West  
 Garfield Township, Grand Traverse County, Michigan



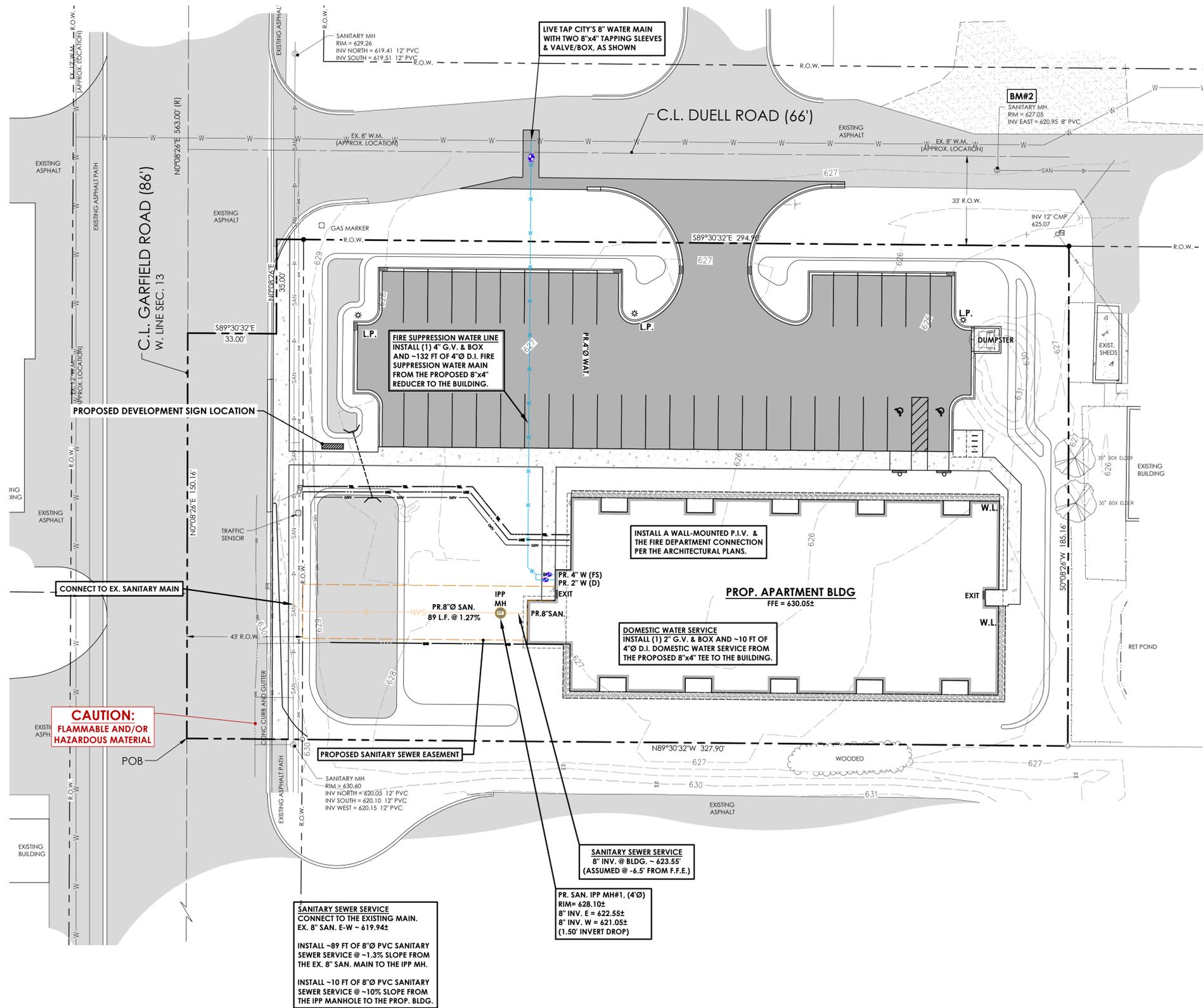
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SCH NO: 23181

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<b>BM#1</b> SANITARY MH RIM ELEV=630.60'(NAVD'88) N=9994.373 E=9847.693
<b>BM#2</b> SANITARY MH RIM ELEV=627.05'(NAVD'88) N=10060.419 E=10256.238

- GENERAL CONSTRUCTION NOTES:**
1. WATER MAINS & SERVICES: ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE CITY'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS.
  2. WATER MAINS: ALL ELEVATIONS SHALL BE BASED ON USGS OR NGVD DATUM.
  3. WATER MAINS: DETAILS OF PIPE BEDDING, THRUST BLOCKS, HYDRANT, VALVES, VALVE MANHOLES, AND ALL APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.
  4. SANITARY SERVICES: ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE CITY'S STANDARDS, SPECIFICATIONS AND DETAILS.
  5. SANITARY SERVICES: NO CONNECTION RECEIVING STORM WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SERVICES.
  6. SANITARY SERVICES: DETAILS OF PIPE BEDDING, BUILDING SEWERS, DROP CONNECTION, BULKHEADS, MANHOLES, MANHOLE COVERS, AND OTHER APPURTENANCES SHALL BE SUBMITTED IN ACCORDANCE WITH THE STANDARD DETAILS.
  7. EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY. EASEMENTS FOR SERVICES EXTEND TO 10' BEYOND THE IPP MANHOLE FOR THE SANITARY SERVICES AND TO 10' BEYOND THE P.I.V. AND CURB STOP/BOX FOR THE WATER SERVICES.
  8. THE DOMESTIC WATER AND FIRE PROTECTION SERVICES SHALL BE SEPARATE CONNECTIONS TO THE BUILDING(S).
  9. SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DETAILS OF THE UTILITY CONNECTIONS AT THE BUILDING.
  10. THE CONTRACTOR SHALL FOLLOW ALL STATE REGULATIONS FOR CONFINED SPACE ENTRY.
  11. COORDINATE WORK WITH THE CITY OF TRAVERSE CITY AND PROVIDE 48 HOURS NOTICE PRIOR TO BEGINNING CONSTRUCTION.
  12. ALL WATER MAINS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM SANITARY AND STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.
  13. THE CONTRACTOR SHALL NOT DISRUPT THE WATER MAIN AND SANITARY SEWER SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE CITY OF TRAVERSE CITY BY THE CONTRACTOR A MINIMUM OF 24 HOURS IN ADVANCE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING BOTTLED WATER, DISINFECTING AND TESTING THE WATER MAIN BEFORE RECONNECTING. DURING CONNECTION OF THE SANITARY SEWER SERVICES TO THE EXISTING MAIN, THE CONTRACTOR SHALL PROVIDE BYPASS PUMPING, IF NECESSARY, WITHOUT DISRUPTION TO SERVICE TO UPSTREAM USERS.
  14. THE SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SITE UTILITIES UP TO WITHIN 5' OF THE PROPOSED BUILDING. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITIES WITHIN 5' OF THE PROPOSED BUILDING AND INTERNALLY.
  15. SEE ARCHITECTURAL, LANDSCAPE AND ELECTRICAL PLANS FOR DETAILS ON SITE LIGHTING AND IRRIGATION, CONNECTIONS AT THE BUILDING, ETC.

**NOTE:**  
THE CONTRACTOR SHALL COORDINATE AND INSTALL PVC CONDUITS UNDER THE PROPOSED PAVEMENT FOR SITE LIGHTING, IRRIGATION, ETC. COORDINATE WITH THE OWNER, GENERAL CONTRACTOR, ELECTRICIAN & DESIGN-BUILD IRRIGATION INSTALLER FOR LOCATION, SIZE & QUANTITY, TYP. AS NEEDED.

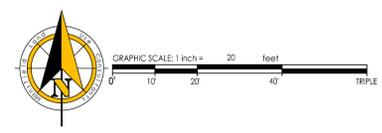
- PRIVATE UTILITIES**
- CONNECT TO THE EXISTING TELEPHONE & CATV LINES AND PROVIDE NEW SERVICES TO THE PROPOSED BUILDING, AS REQUIRED BY THE OWNER. COORDINATE WITH THE ARCHITECTURAL PLANS AND THE TELEPHONE & CATV UTILITY CO'S TO DETERMINE THE EXISTING AND PROPOSED CONNECTION POINTS, BOX LOCATIONS, ETC.
  - CONNECT TO THE EXISTING GAS LINE & PROVIDE NEW GAS SERVICE TO THE PROPOSED BUILDING. COORDINATE WITH THE GAS UTILITY PROVIDER AND ARCHITECTURAL PLANS FOR THE BUILDING CONNECTION LOCATION, DEMAND & METER(S) LOCATION(S).
  - SEE ARCHITECTURAL PLANS FOR POWER REQUIREMENTS & METER LOCATIONS. COORDINATE WITH THE POWER COMPANY TO CONNECT TO THE EXISTING POWER AND PROVIDE A NEW SERVICE TO THE PROPOSED BUILDING.

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3066 N. GARFIELD, LLC  
**Proposed Commercial District Housing**  
**UTILITY PLAN**  
Section 13, Town 27 North, Range 11 West  
Garfield Township, Grand Traverse County, Michigan



PRELIMINARY
PXL: dim
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CDL: dim
CREATED: 08.01.23
FOR NO.: 23181
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06	03-29-24	dim	mm	mm	1wp. revisions

**LANDSCAPE LEGEND**

- Maple, Sugar (Acer saccharum)
- Oak, English (Quercus robur 'Fastigiata')
- Cedar, Red (Juniperus virginiana)
- Serviceberry, Shadblow (Amelanchier canadensis)
- Viburnum, Arrowwood Blue Muffin (Viburnum dentatum)
- Juniper, Moonglow (Juniperus scopulorum 'Moonglow')
- Sedum, Autumn Joy (Sedum 'Autumn Joy')

**LANDSCAPE TYPE 'C' BUFFER (185 L.F. EAST YARD)**

REQUIRED	PROVIDED
6- LARGE TREES	6- ENGLISH OAK
6- SMALL/MEDIUM TREES	6- SERVICEBERRY
2- EVERGREEN/CONIFER	2- RED CEDAR

**PLANT LIST**

TREES	common name	botanical name	size	estimated quantity
	Cedar, Red	Juniperus virginiana	6' B&B	14
	Maple, Sugar	Acer saccharum	2" Caliper	4
	Oak, English	Quercus robur 'Fastigiata'	2" Caliper	25
	Serviceberry, Shadblow	Amelanchier canadensis	6' B&B	27
SHRUBS	common name	botanical name	size	estimated quantity
	Juniper, Moonglow	Juniperus scopulorum 'Moonglow'	6.5 gallon	25
	Viburnum, Blue Muffin Arrowwood	Viburnum Dentatum	5 gallon	20
PERENNIALS	common name	botanical name	size	estimated quantity
	Sedum, Autumn Joy	Sedum 'Autumn Joy'	1 gallon	35

Note: Plant quantities shown are estimates and may be subject to change depending upon actual site layout/install.

**LANDSCAPE TYPE 'C' BUFFER (219 L.F. NORTH YARD)**

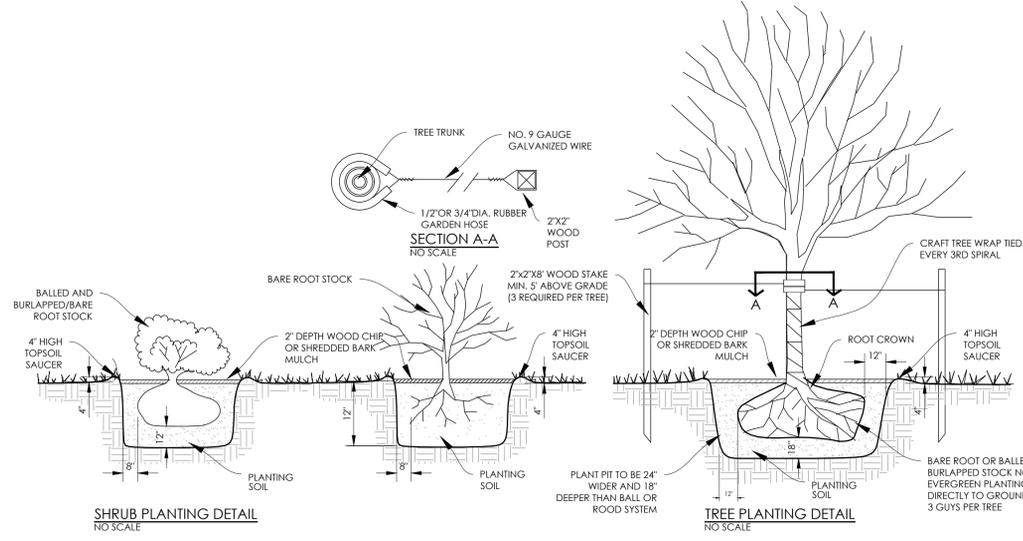
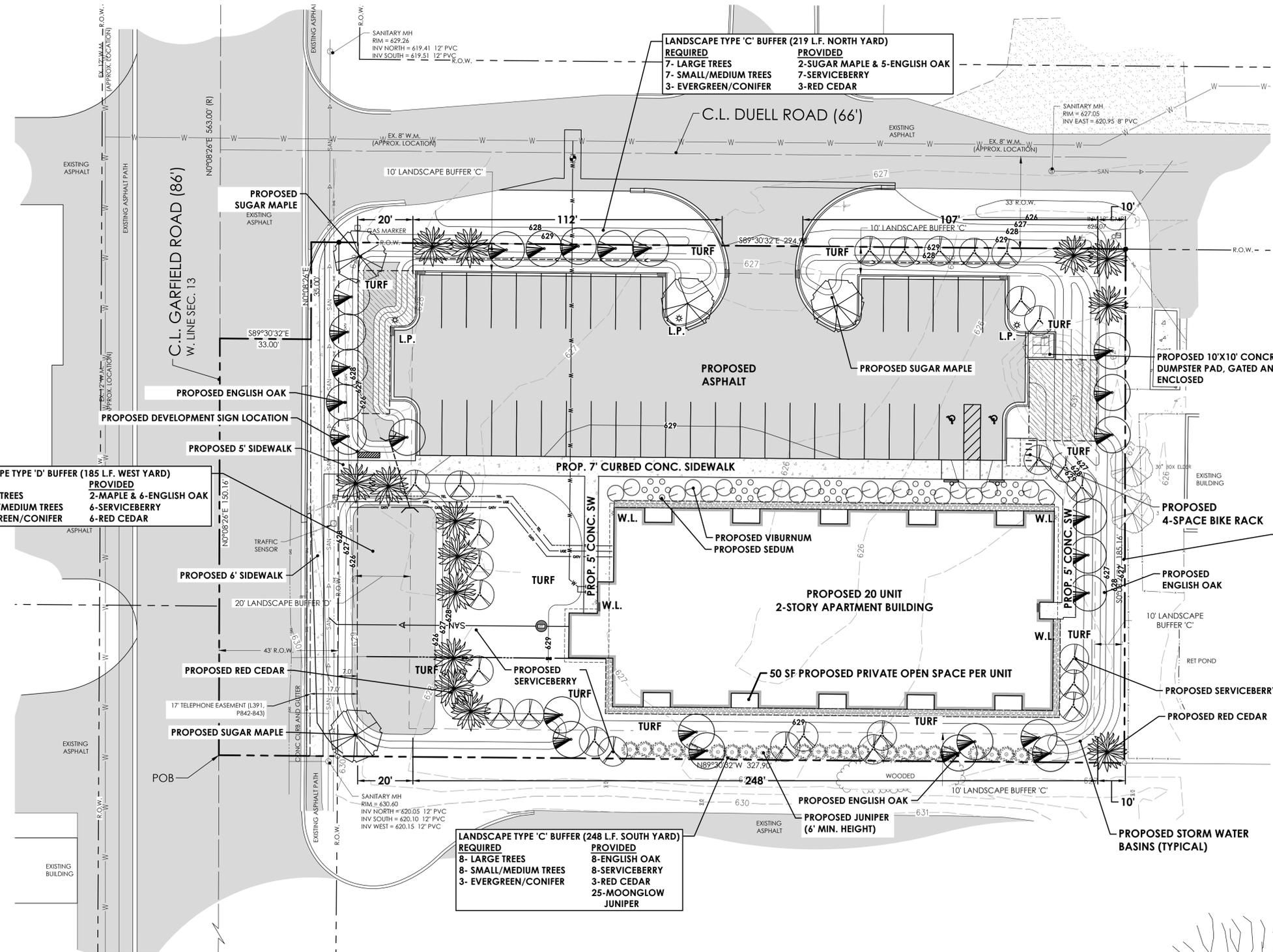
REQUIRED	PROVIDED
7- LARGE TREES	2- SUGAR MAPLE & 5- ENGLISH OAK
7- SMALL/MEDIUM TREES	7- SERVICEBERRY
3- EVERGREEN/CONIFER	3- RED CEDAR

**LANDSCAPE TYPE 'C' BUFFER (248 L.F. SOUTH YARD)**

REQUIRED	PROVIDED
8- LARGE TREES	8- ENGLISH OAK
8- SMALL/MEDIUM TREES	8- SERVICEBERRY
3- EVERGREEN/CONIFER	3- RED CEDAR
	25- MOONGLOW JUNIPER

**LANDSCAPE TYPE 'D' BUFFER (185 L.F. WEST YARD)**

REQUIRED	PROVIDED
8- LARGE TREES	2- MAPLE & 6- ENGLISH OAK
6- SMALL/MEDIUM TREES	4- SERVICEBERRY
6- EVERGREEN/CONIFER	6- RED CEDAR

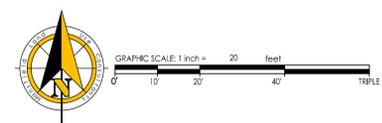


- PLANTING NOTES:**
- CLEAN UP AND REMOVE FROM THE PLANTING AREAS WEEDS AND GRASSES, INCLUDING ROOTS, AND ANY MINOR ACCUMULATED DEBRIS AND RUBBISH BEFORE COMMENCING WORK.
  - REMOVE AND DISPOSE OF ALL SOIL IN PLANTING AREAS THAT CONTAINS ANY DELETERIOUS SUBSTANCE SUCH AS OIL, PLASTER, CONCRETE, GASOLINE, PAINT, SOLVENTS, ETC., REMOVING THE SOIL TO A MINIMUM DEPTH OF SIX (6) INCHES OR TO THE LEVEL OF DRYNESS IN THE AFFECTED AREAS. THE AFFECTED SOIL SHALL BE REPLACED WITH NATIVE OR IMPORTED SOIL AS REQUIRED.
  - FINISH GRADING ALL PLANTING AREAS TO A SMOOTH AND EVEN CONDITION, MAKING CERTAIN THAT NO WATER POCKETS OR IRREGULARITIES REMAIN. REMOVE AND DISPOSE OF ALL FOREIGN MATERIALS, CLODS AND ROCKS OVER 1 INCH IN DIAMETER WITHIN 3 INCHES OF SURFACE.
  - ALL PLANT MATERIALS SHALL BE HEALTHY, WELL DEVELOPED REPRESENTATIVES OF THEIR SPECIES OF VARIETIES, FREE FROM DISFIGUREMENT WITH WELL-DEVELOPED BRANCH AND ROOT SYSTEMS, AND SHALL BE FREE FROM ALL PLANT DISEASES AND INSECT INFESTATION.
  - ALL PLANT SUBSTITUTIONS WILL BE SUBJECT TO THE OWNER'S APPROVAL.
  - EACH PLANT SHALL BE PLANTED WITH ITS PROPORTIONATE AMOUNT OF SOIL AMENDMENT AND FERTILIZER. HAND SMOOTH PLANTING AREA AFTER PLANTING TO PROVIDE AN EVEN, SMOOTH, FINAL FINISH GRADE. TO AVOID DRYING OUT, PLANTINGS SHALL BE IMMEDIATELY WATERED AFTER PLANTING UNTIL THE ENTIRE AREA IS SOAKED TO THE FULL DEPTH OF EACH HOLE UNLESS OTHERWISE NOTED ON THE DRAWING.
  - MULCH ALL PLANTING BEDS WITH 3 INCHES OF SHREDDED BARK MULCH.
  - REMOVE ALL TAGS, LABELS, NURSERY STAKES AND TIES FROM ALL PLANT MATERIAL ONLY AFTER THE APPROVAL OF THE OWNER.
  - ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. THE GUARANTEE PERIOD COMMENCES FROM THE TIME OF FINAL ACCEPTANCE BY THE OWNER. REPLACE AS SOON AS WEATHER PERMITS. ALL DEAD PLANTS NOT IN VIGOROUS CONDITION AS NOTED DURING THE MAINTENANCE PERIOD. SAID PLANTS SHALL BE MAINTAINED FOR A PERIOD OF 90 CALENDAR DAYS FROM THE REPLACEMENT DATE. PLANTS USED FOR REPLACEMENTS SHALL BE SAME KIND AND SIZE AS ORIGINALLY PLANTED. THEY SHALL BE FURNISHED, PLANTED AND FERTILIZED AS SPECIFIED AND GUARANTEED.
  - ALL DISTURBED AREAS SHALL BE TOP SOILED TO A DEPTH OF 4"; SEEDED, FERTILIZED AND MOLDED MULCH BLANKETS SHALL BE USED AS NEEDED IN AREAS OF POTENTIAL EROSION PRIOR TO ESTABLISHMENT OF LAWN AREAS.

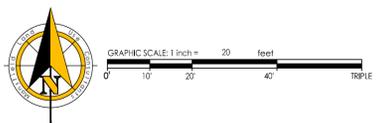
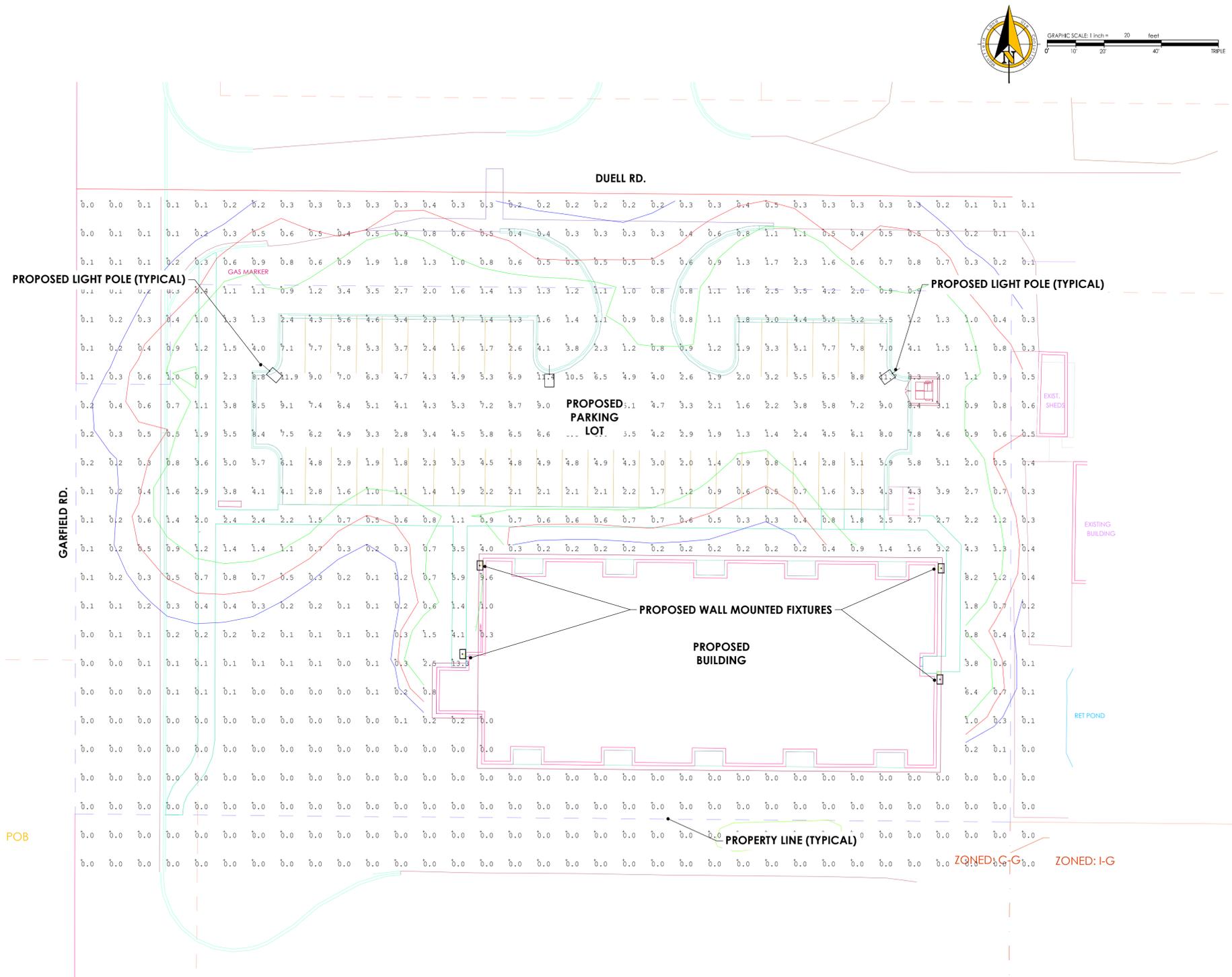
- IRRIGATION NOTES:**
- LANDSCAPING TO BE IRRIGATED. INSTALLATION TO BE PERFORMED BY A REPUTABLE IRRIGATION CONTRACTOR.

**LANDSCAPING PREPARED BY:**

PETRA H. KUEHN, RLA  
LANDSCAPE ARCHITECT  
No. 3901001386



C:\Users\mman\Documents\Temp\Map\Map\2018\18042\2181\18042\18042.dwg (MDFHC DDB18) - Nov 28, 2018 1:03pm - e:\w



Luminaire Schedule Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	4	Wall Pack	Single	N.A.	0.808	WST LED P2 30K VF MVOLT
	3	Light Pole	Single	N.A.	0.808	DSX2 LED P7 30K T3M MVOLT

- NOTES:**
- This lighting plan is for illustrative and zoning approval purposes only, is not an electrical design plan, and is not for construction.
  - Light fixture type, specifications, and locations based on assumed new fixture locations and information provided by property owner. Mansfield Land Use Consultants makes no guarantees to the accuracy of illustrated data. Refer to electrical design plans for all design, specification, and construction purposes.
  - See relevant architectural and electrical project plans for additional detail related to site lighting, fixture types, fixture specifications, and fixture locations.
  - Lithonia Lighting WST LED Wall Sconce photometric data used for proposed wall mounted fixtures with an assumed mounting height of 8'.
  - Lithonia Lighting D-Series Size 2 photometric data used for proposed parking lot pole fixtures with an assumed mounting height of 20'.
  - All fixtures are full cut-off and comply with Township Zoning Ordinance standards.
  - All fixtures have a lamp color temperature of 3000K or less.

**DISPLAY NOTES:**  
 GRID POINTS ARE LABELED WITH SPECIFIC FOOT CANDLE MEASUREMENT AT EACH POINT

**ISOLINE VALUES:**  
 RED - 0.5 F.C.  
 GREEN - 1.0 F.C.  
 BLUE - 0.25 F.C.

### D-Series Size 2 LED Area Luminaire

**Specifications**  
 EPA: 1.1 ft<sup>2</sup> @ 10' (3.0 m)  
 Length: 40" (1016 mm)  
 Width: 15" (381 mm)  
 Height 1: 7-1/4" (184 mm)  
 Height 2: 3.5"  
 Weight: 36lbs

**Introduction**  
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

**Ordering Information**      **EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBX2**

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX2 LED	Forward optics P1 P5 <sup>1</sup> P2 P6 P3 P7 <sup>1</sup> P4 P8 <sup>1</sup> Rotated optics P10 <sup>1</sup> P13 <sup>1,2</sup> P11 <sup>1</sup> P14 <sup>1,2</sup> P12 <sup>1</sup>	30K 3000K 40K 4000K 50K 5000K	T15 Type I Short (Automotive) T25 Type II Short T2M Type II Medium T3M Type III Short T4M Type IV Medium T7M Forward Throw Medium	TSVS Type V Very Short TSS Type V Short T2S Type V Medium T3S Type V Wide RLC Backlight control LECO Left corner cutoff TAM Type IV Medium TFM Forward Throw Medium	MVOLT <sup>1</sup> XXVLT CZ774-480V <sup>1</sup> 120 <sup>1</sup> 208 <sup>1</sup> 240 <sup>1</sup> 277 <sup>1</sup> 347 <sup>1</sup> 480 <sup>1</sup>	Shipped included SPA Square pole mounting WPA Wall bracket <sup>1</sup> SRUMBA Square pole universal mounting adapter <sup>1</sup> RUMBA Round pole universal mounting adapter <sup>1</sup> Shipped separately KMA8 DDBX2 Must arm mounting bracket adapter (specify finish) <sup>1</sup>

Control options	Other options	Finish options
<b>Shipped installed</b> NEMO Night off generation 2 enabled <sup>1</sup> PIRN Network, Bi-level motion/ambient sensor <sup>1</sup> PER NEMA twist-lock receptacle only (no controls) <sup>1</sup> PERS Fire-wire receptacle only (no controls) <sup>1,2</sup> PER7 Seven-wire receptacle only (no controls) <sup>1,2</sup> DMG 0-10V dimming extend out back of housing for external control (no controls) <sup>1</sup> DS Dual switching <sup>1</sup>	PIRN Bi-level motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" <sup>1</sup> PIRN1CIV High/Low motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" <sup>1</sup> FAO Field Adjustable Output <sup>1</sup>	<b>Shipped installed</b> HS House-side shade <sup>1</sup> SF Single face (120, 277, 347V) <sup>1</sup> DF Double face (208, 240, 480V) <sup>1</sup> LRO Left rotated optics <sup>1</sup> RRO Right rotated optics <sup>1</sup> HA 50% ambient operation <sup>1</sup> BAA Buy America's Act Compliant <b>Shipped separately</b> BS Bird spikes <sup>1</sup> EGS External glare shield

LITHONIA LIGHTING COMMERCIAL OUTDOOR  
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com  
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### WST LED Architectural Wall Sconce

**Specifications**  
 Luminaire  
 Height: 8-1/2" (21.59 cm)  
 Width: 17" (43.18 cm)  
 Depth: 10-3/16" (27.17 mm)  
 Weight: 20 lbs (9.1 kg)

**Introduction**  
 The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-polluted light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

**Ordering Information**      **EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD**

Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 2700K 30K 3000K 40K 4000K 50K 5000K	VF Visual comfort forward throw VW Visual comfort wide	MVOLT <sup>1</sup> 120 <sup>1</sup> 208 <sup>1</sup> 240 <sup>1</sup>	377 <sup>1</sup> 347 <sup>1</sup> 480 <sup>1</sup>

Options	Shipped included
NLTAR2 PIR in/EGT AIR Wireless enabled motion/ambient sensor for 9'-15' mounting heights <sup>1,2</sup>	DDBX2 Dark bronze
NLTAR2 PIRN in/EGT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights <sup>1,2</sup>	DDBL2 Black
PE Photorelectric cell, button type <sup>1</sup>	DNAKD Natural aluminum
PER NEMA twist-lock receptacle only (controls ordered separate) <sup>1</sup>	DWBWD White
PERS Fire-wire receptacle only (controls ordered separate) <sup>1</sup>	DS5SD Sandstone
PER7 Seven-wire receptacle only (controls ordered separate) <sup>1</sup>	EXSTD Textured dark bronze
PIR Motion/Ambient Light Sensor, 8'-15' mounting height <sup>1</sup>	DRLBD Textured black
PIR1CIV Motion/Ambient sensor, 8'-15' mounting height, ambient sensor enabled at 16" <sup>1</sup>	DRLND Textured natural aluminum
PIRN 180° motion/ambient light sensor, 15-30' mounting height <sup>1</sup>	DWBWD Textured white
PIRN1CIV Motion/Ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" <sup>1</sup>	DS5TD Textured sandstone
DF Double face (208, 240, 480V) <sup>1</sup>	
DS Dual switching <sup>1</sup>	
DMG 0-10V dimming extend out back of housing for external control (control ordered separately) <sup>1</sup>	
ETWH Emergency battery backup, Non-CEC compliant (7W) <sup>1</sup>	

LITHONIA LIGHTING COMMERCIAL OUTDOOR  
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 800-705-SERV (7378) • www.lithonia.com  
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830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mmaeps.com  
 info@mmaeps.com

# Mansfield

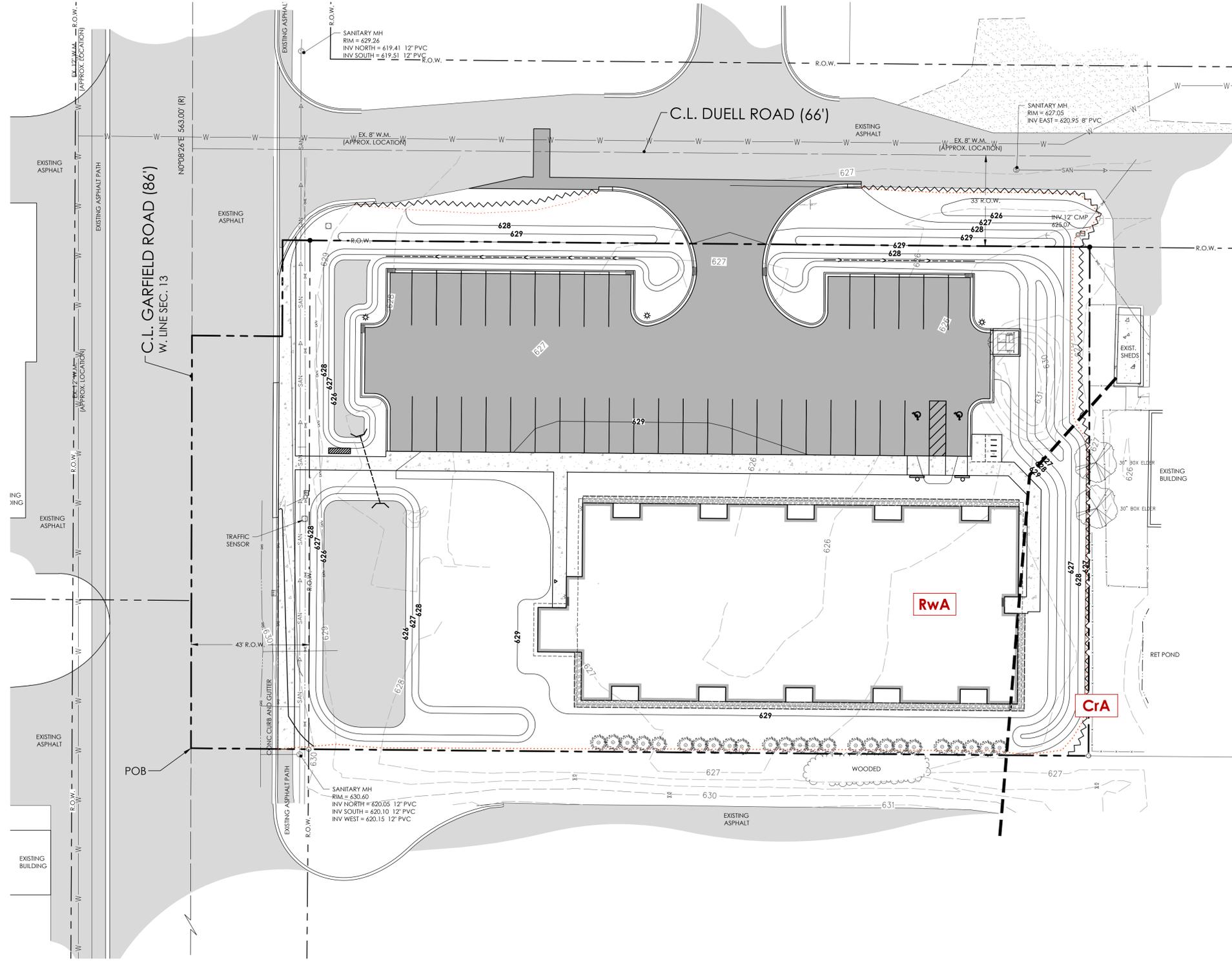
Land Use Consultants

REV	DATE	DIS	DRN	CHK	DESC
01	07-01-23				Original design
02	08-21-23				Revised design
03	09-13-23				Revised design - Preliminary review
04	10-09-23				Submitted - Preliminary review
05	03-04-24				New Submittal
06	03-26-24				1wp, Revisions

## Proposed Commercial District Housing LIGHTING PLAN EXHIBIT

3066 N. GARFIELD, LLC  
 Section 13, Town 27 North, Range 11 West  
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY  
 PLAN: dlm  
 DATE: 08.01.23  
 SHEET: 23181  
 EXHIBIT



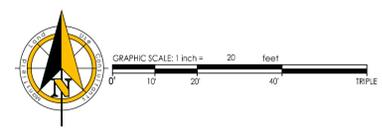
**BM#1**  
**SANITARY MH RIM**  
**ELEV=630.60'(NAVD'88)**  
**N=9994.373**  
**E=9847.693**

830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mmaeps.com  
 info@mmaeps.com

**Mansfield**  
 Land Use Consultants

REV#	DATE	DIS	DRN	CHK	DESC
01	07-01-23	dim	mmmm	dim	Original design
02	08-21-23	dim	mmmm	dim	Revise design
03	09-13-23	dim	mmmm	dim	Submittal - Preliminary review
04	10-09-23	dim	mmmm	dim	New Building Design
05	03-04-24	dim	mmmm	dim	1wp. Submittal
06	03-26-24	dim	mmmm	dim	1wp. Revisions

3066 N. GARFIELD, LLC  
**Proposed Commercial District Housing**  
**DRAINAGE EXHIBIT**  
 Section 13, Town 27 North, Range 11 West  
 Garfield Township, Grand Traverse County, Michigan

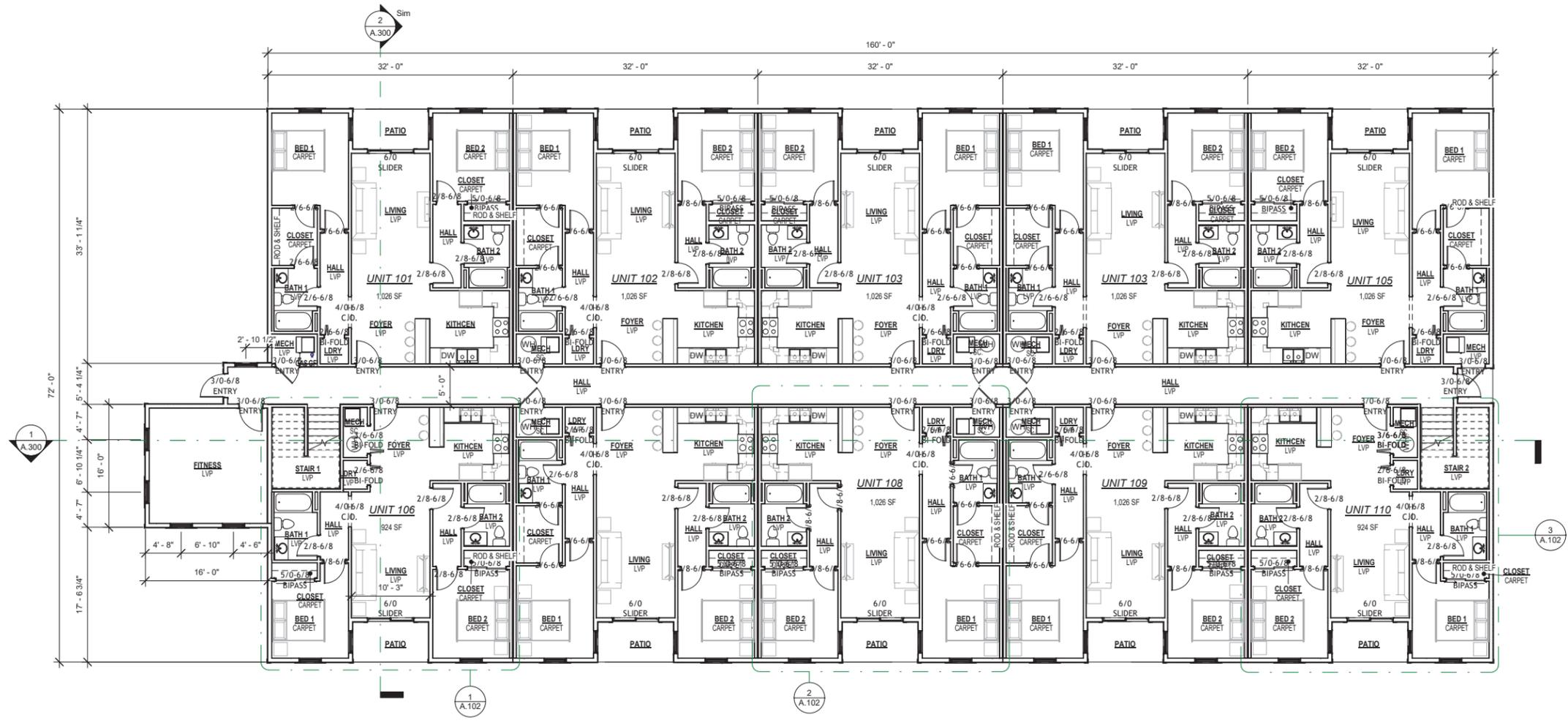


**PRELIMINARY**  
 PXC: dim  
 DR: mmmm, CDD: dim, CREATD: 08.01.23  
 JOB NO.: **23181**  
**EXHIBIT**



FIRST FLOOR PLAN

Garfield Apartments  
 3306 N. Garfield rd., Traverse City, MI 49986



FIRST FLR PLAN  
 Scale: 1/8" = 1'-0"

WALL TYPES - FLOOR/CEILING ROOF/CEILING TYPES

- (W1)** ONE HOUR FIRE RATED EXTERIOR WALL PER WP-1244 NGRC.  
 -SIDING AS DESIGNATED ON AIR/MOISTURE BARRIER  
 -7/16" STRUCTURAL OSB SHEATHING  
 -2X6 WOOD STUDS @ 16" O.C.  
 -R-21 FIBERGLASS BATT INSULATION  
 -5/8" GYP. BOARD TYPE "X" INTERIOR ON 6 MIL VAPOR BARRIER
- (W2)** ONE HOUR FIRE RATED EXTERIOR WALL PER WP-1244 NGRC.  
 -FACE BRICK WALL OR WAINSCOTTING.  
 -1" MIN. AIR SPACE  
 -AIR/MOISTURE BARRIER  
 -7/16" STRUCTURAL OSB SHEATHING  
 -2X6 WOOD STUDS @ 16" O.C.  
 -R-21 FIBERGLASS BATT INSULATION  
 -5/8" GYP. BOARD TYPE "X" INTERIOR ON 6 MIL VAPOR BARRIER
- (W3)** ONE HOUR FIRE RATED INTERIOR WALL PER GA FILE NO. WP-2650, STC 50  
 -5/8" GYP. BOARD TYPE "X" EACH SIDE  
 -2X6 WOOD STUDS @ 16" O.C.  
 -5" SOUND ATTENUATION BATTS IN STUD SPACES
- (W4)** ONE HOUR FIRE RATED INTERIOR DWELLING UNIT SEPARATION WALL PER GA-WP 3646:  
 FIRST WALL ONE HR. FIRE RATED: STC 60  
 -5/8" GYP. BOARD TYPE "X" EACH SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 (12" O.C. @ FIRST LEVEL)  
 -3" SOUND ATTENUATION BATTS IN STUD SPACES.  
 SECOND WALL: NON RATED.  
 -5/8" GYP. BOARD APPLIED TO UNIT INTERIOR SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 (12" O.C. @ FIRST LEVEL)  
 -3" SOUND ATTENUATION BATTS IN STUD SPACES  
 STUD WALLS 2" APART, 9" WIDTH FROM FACE OF STUDS
- (W5)** 2X4 INTERIOR WALL:  
 -5/8" GYP. BOARD EACH SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 -3" SOUND ATTENUATION BATTS IN STUD SPACES
- (W6)** 2X6 INTERIOR WALL:  
 -5/8" GYP. BOARD EACH SIDE  
 -2X6 WOOD STUDS @ 16" O.C.  
 -5" SOUND ATTENUATION BATTS IN STUD SPACES
- (W7)** ONE HOUR FIRE RATED INTERIOR WALL PER GA FILE NO. WP 3646  
 -5/8" GYP. BOARD TYPE "X" EACH SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 -3 1/2" SOUND ATTENUATION BATTS IN STUD SPACES
- (FC-1)** FLOOR ASSEMBLY: 1 HR. FIRE RATED ASSEMBLY PER GA FILE NO. FC 5528, STC 55-62  
 -1 1/2" GYPSUM CEMENTITIOUS TOPPING  
 -3/4" TAG O.S.B. SUBFLOOR  
 -1" DEEP PRE-ENGINEERED WOOD FLOOR TRUSSES @ 1'-4" O.C.  
 -3 1/2" FIBERGLASS BATT INSULATION IN TRUSS SPACES  
 -5/8" GYP. BOARD TYPE "X" CEILING ON 1/2" RC-1 CHANNELS @ 1'-0" O.C.
- (FC-1a)** FLOOR ASSEMBLY: 1 HR. FIRE RATED ASSEMBLY PER GA FILE NO. FC 5109  
 SIMILAR ASSEMBLY FROM ABOVE EXCEPT 2X10 WOOD FLOOR JOISTS @ 1'-4" O.C.
- (FC-2)** STAIR FLOOR/CEILING ASSEMBLY:  
 -3" LIGHT WEIGHT CONCRETE FLOOR DECK ON 30# BUILDING FELT.  
 -3/4" EXTERIOR GRADE TAG O.S.B. SUBFLOOR  
 -2X10/2X12 WOOD FLOOR JOISTS @ 1'-4" O.C.  
 -3 1/2" FIBERGLASS BATT INSULATION IN JOIST SPACES  
 -5/8" GYP. BOARD CEILING
- (RC-1)** ONE HOUR FIRE RATED ROOF/CEILING ASSEMBLY PER GA FILE NO. RC 2803:  
 -ONE LAYER 5/8" GYP. BD. TYPE "X" CEILING  
 -1/2" RC-1 FURRING CHANNELS @ 1'-0" O.C.  
 -PRE-ENG. WOOD ROOF TRUSSES @ 2'-0" O.C. SUPPORTING 1/2" O.S.B. ROOF SHEATHING.  
 -ASPHALT SHINGLES ON 30# BLDG. FELT.
- (RC-2)** ONE HOUR FIRE RATED ROOF/CEILING ASSEMBLY TEST REPORT AER.09038  
 -ONE LAYER 5/8" GYP. BD. TYPE "X" CEILING  
 -2 1/2" C-H STUDS @ 24" O.C.  
 -1" HORIZ. SHAFT GYPSUM LINER PANEL TYPE "X"  
 -PRE-ENG. WOOD ROOF TRUSSES @ 2'-0" O.C. SUPPORTING 1/2" O.S.B. ROOF SHEATHING  
 -ASPHALT SHINGLES ON 30# BLDG. FELT.

REV.	DATE	DESCRIPTION

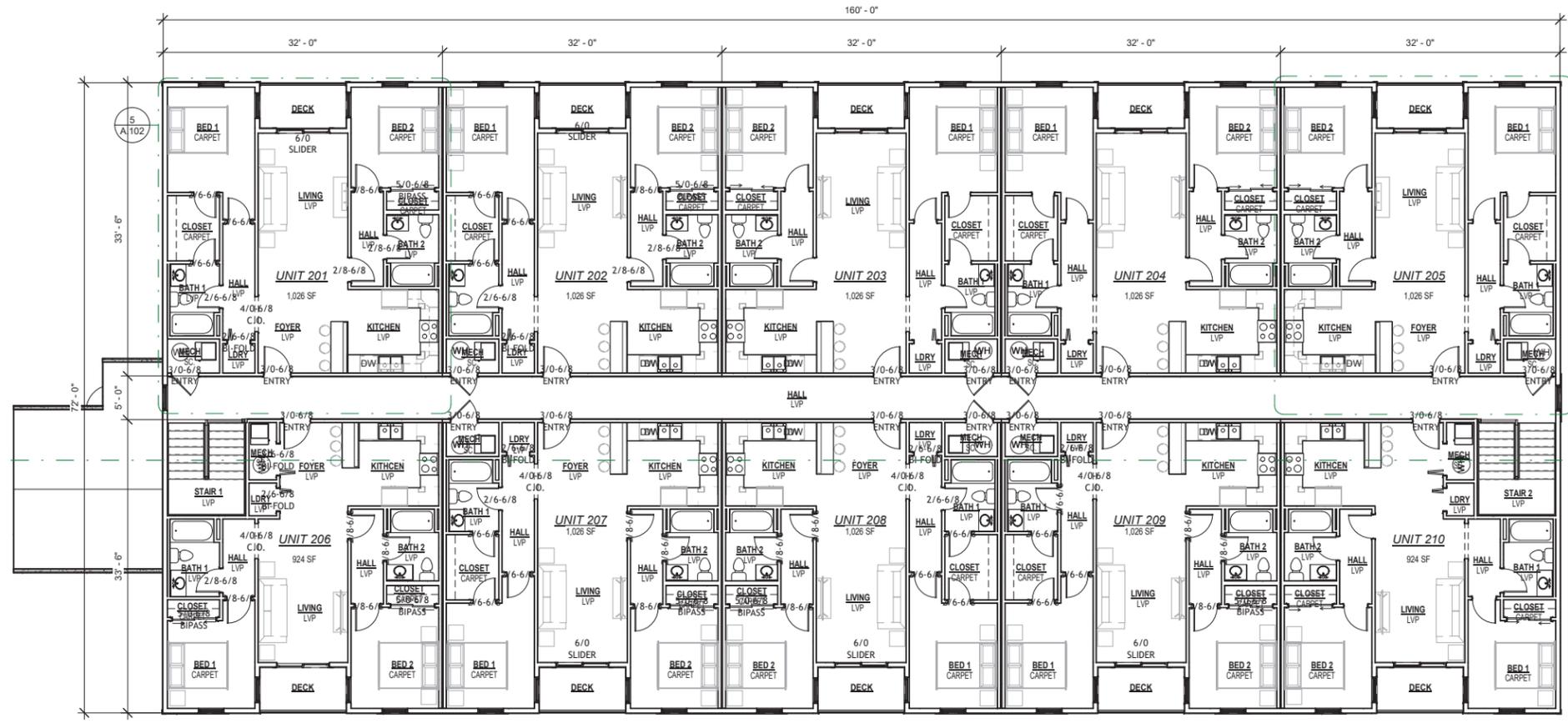
ISSUED FOR:	REVIEW
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	3/4/24
JOB NUMBER:	21155

SHEET #:  
**A.100**



REV.	DATE	DESCRIPTION

ISSUED FOR: REVIEW  
 DRAWN BY: NDW  
 CHECKED BY: DHW  
 DATE: 3/4/24  
 JOB NUMBER: 21155



**SECOND FLR**  
 Scale: 1/8" = 1'-0"

**WALL TYPES - FLOOR/CEILING ROOF/CEILING TYPES**

- (W1)** ONE HOUR FIRE RATED EXTERIOR WALL PER WP-1244 NGRC:  
 SIDING AS DESIGNATED ON AIR MOISTURE BARRIER  
 -7/16" STRUCTURAL OSB SHEATHING  
 -2X6 WOOD STUDS @ 16" O.C.  
 -R-21 FIBERGLASS BATT INSULATION  
 -5/8" GYP. BOARD TYPE "X" INTERIOR ON 6 MIL VAPOR BARRIER
- (W2)** ONE HOUR FIRE RATED EXTERIOR WALL PER WP-1244 NGRC:  
 FACE BRICK WALL OR WAINSCOTTING.  
 -1" MIN. AIR SPACE  
 -AIR/ MOISTURE BARRIER  
 -7/16" STRUCTURAL OSB SHEATHING  
 -2X6 WOOD STUDS @ 16" O.C.  
 -R-21 FIBERGLASS BATT INSULATION  
 -5/8" GYP. BOARD TYPE "X" INTERIOR ON 6 MIL VAPOR BARRIER
- (W3)** ONE HOUR FIRE RATED INTERIOR WALL PER GA FILE NO. WP 3660, STC 50  
 -5/8" GYP. BOARD TYPE "X" EACH SIDE  
 -2X6 WOOD STUDS @ 16" O.C.  
 -5" SOUND ATTENUATION BATTS IN STUD SPACES
- (W4)** ONE HOUR FIRE RATED INTERIOR DWELLING UNIT SEPARATION WALL PER GA-WP 3646:  
 FIRST WALL ONE HR. FIRE RATED- STC 60  
 -5/8" GYP. BOARD TYPE "X" EACH SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 (12" O.C. @ FIRST LEVEL).  
 -3" SOUND ATTENUATION BATTS IN STUD SPACES.  
 SECOND WALL- NON RATED.  
 -5/8" GYP. BOARD APPLIED TO UNIT INTERIOR SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 (12" O.C. @ FIRST LEVEL)  
 -3" SOUND ATTENUATION BATTS IN STUD SPACES  
 STUD WALLS 2" APART, 9" WIDTH FROM FACE OF STUDS
- (W5)** 2X4 INTERIOR WALL:  
 -5/8" GYP. BOARD EACH SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 -3" SOUND ATTENUATION BATTS IN STUD SPACES
- (W6)** 2X6 INTERIOR WALL:  
 -5/8" GYP. BOARD EACH SIDE  
 -2X6 WOOD STUDS @ 16" O.C.  
 -5" SOUND ATTENUATION BATTS IN STUD SPACES
- (W7)** ONE HOUR FIRE RATED INTERIOR WALL PER GA FILE NO. WP 3646  
 -5/8" GYP. BOARD TYPE "X" EACH SIDE  
 -2X4 WOOD STUDS @ 16" O.C.  
 -3 1/2" SOUND ATTENUATION BATTS IN STUD SPACES
- (FC-1)** FLOOR ASSEMBLY: 1 HR. FIRE RATED ASSEMBLY PER GA FILE NO. FC 5528, STC 59- 62  
 -1 1/2" GYPSUM CEMENTITIOUS TOPPING  
 -3/4" T&G O.S.B. SUBFLOOR  
 -1'-6" DEEP PRE-ENGINEERED WOOD FLOOR TRUSSES @ 1'-4" O.C.  
 -3 1/2" FIBERGLASS BATT INSULATION IN TRUSS SPACES  
 -5/8" GYP. BOARD TYPE "X" CEILING ON 1/2" RC-1 CHANNELS @ 1'-4" O.C.
- (FC-1a)** FLOOR ASSEMBLY: 1 HR. FIRE RATED ASSEMBLY PER GA FILE NO. FC 5108  
 SIMILAR ASSEMBLY FROM ABOVE EXCEPT 2X10 WOOD FLOOR JOISTS @ 1'-4" O.C.
- (FC-2)** STAIR FLOOR/CEILING ASSEMBLY:  
 -3" LIGHT WEIGHT CONCRETE FLOOR DECK ON 30# BUILDING FELT.  
 -3/4" EXTERIOR GRADE T&G O.S.B. SUBFLOOR  
 -2X10' 2X12 WOOD FLOOR JOISTS @ 1'-4" O.C.  
 -3 1/2" FIBERGLASS BATT INSULATION IN JOIST SPACES  
 -5/8" GYP. BOARD CEILING
- (RC-1)** ONE HOUR FIRE RATED ROOF/ CEILING ASSEMBLY PER GA FILE NO. RC 2803:  
 -ONE LAYER 5/8" GYP. BD. TYPE "X" CEILING  
 -12" RC-1 FURRING CHANNELS @ 1'-0" O.C.  
 -PRE-ENG. WOOD ROOF TRUSSES @ 2'-0" O.C. SUPPORTING 1/2" O.S.B. ROOF SHEATHING.  
 -ASPHALT SHINGLES ON 30# BLDG. FELT.
- (RC-2)** ONE HOUR FIRE RATED ROOF/ CEILING ASSEMBLY TEST REPORT AER-09038:  
 -ONE LAYER 5/8" GYP. BD. TYPE "X" CEILING  
 -2 1/2" C-H STUDS @ 24" O.C.  
 -1" HORIZ. SHAFT GYPSUM LINER PANEL TYPE "X"  
 -PRE-ENG. WOOD ROOF TRUSSES @ 2'-0" O.C. SUPPORTING 1/2" O.S.B. ROOF SHEATHING.  
 -ASPHALT SHINGLES ON 30# BLDG. FELT.

3/4/2024 11:16:54 AM AutoCAD 2024 1/8" = 1'-0" Project: 202407 Garfield Apartments\_innovind.rvt



 <b>Charter Township of Garfield</b> <b>Planning Department Report No. 2024-25</b>			
Prepared:	April 3, 2024	Pages:	4
Meeting:	April 10, 2024 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Gauthier Site – Conceptual Review		
Applicant:	Will Bartlett, 2105 N US-31 South, LLC		
Agent:	Bob Verschaeve, Gosling Czubak		
Owner:	Kevin Endres, as agent for the James E. & Phyllis A. Gauthier Trust		

**BACKGROUND:**

The applicant is seeking feedback on a proposed multi-family dwelling project at 2105 N US 31 South, on the west side of US 31 at McRae Hill Road, across from Hartman Road. The site is owned by the Gauthier Trust and is about 18 acres, though the applicant notes there are only about 6 acres of upland buildable area running through the middle of the site.

The site was rezoned in 2022 from a split zoning of A-Agricultural and C-H Highway Commercial to R-3 Multiple Family Residential. The applicant proposes a 154-unit apartment project featuring a mix of studio, one-bedroom, and two-bedroom apartments, with an average unit size of about 675 square feet.

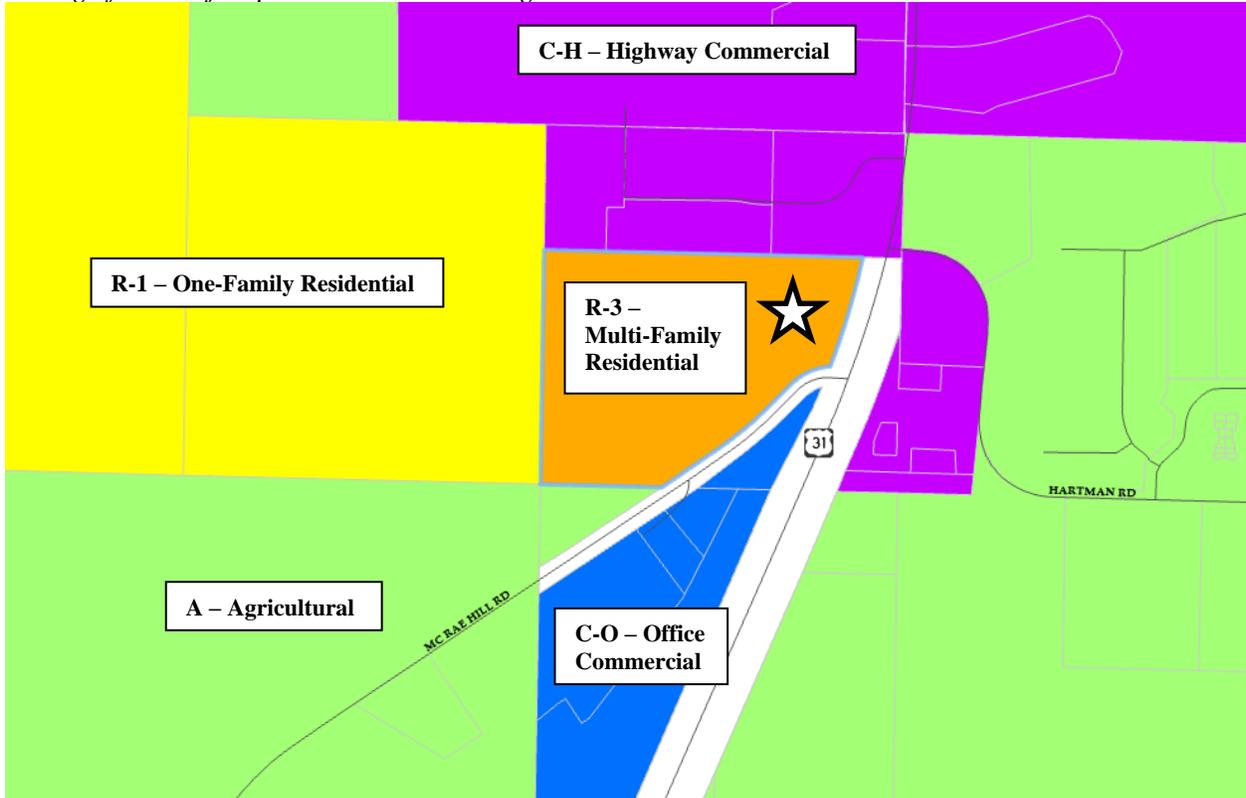
*Zoomed-out aerial photo of subject property (highlighted in blue):*



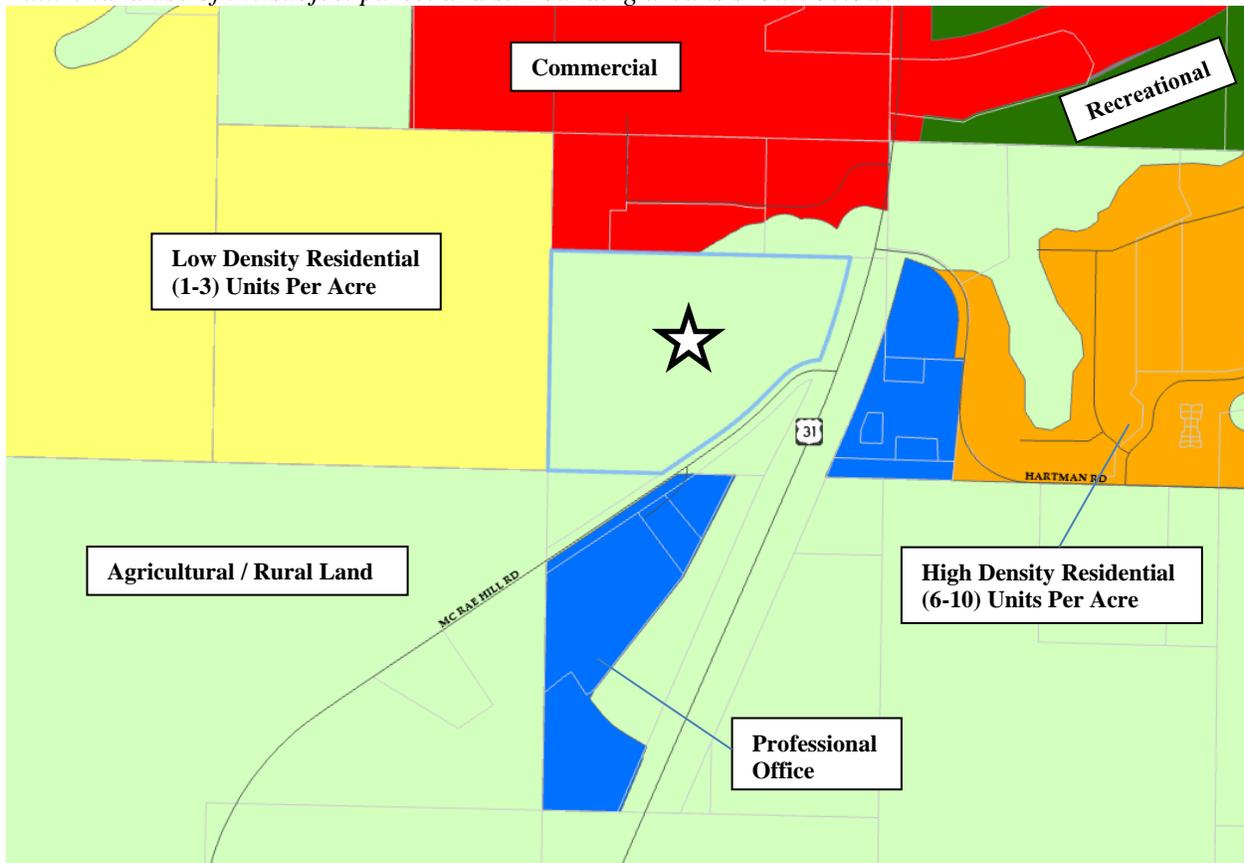
*Zoomed-in aerial photo of subject property (highlighted in blue):*



*Zoning of the subject parcel and surrounding area is shown below:*



Future land use of the subject parcel and surrounding area is shown below:



**STAFF COMMENTS:**

The applicant is proposing a multi-family dwelling apartment development. The site is zoned R-3 Multi-Family Residential after previously having a split zoning of A-Agricultural within the back portion of the site and C-H Highway Commercial within the front portion.

The site has a Future Land Use designation of Agricultural / Rural Land but was rezoned to R-3 based on a review which started in fall 2021 and led to the rezoning of the property in April 2022. During this review, Staff noted several factors to consider for the rezoning of the site such as its location on the US 31 corridor, environmental conditions, access, and the impact of different uses. The Planning Commission ultimately adopted Findings of Fact at their March 9, 2022 meeting after considering all the criteria for approving a Zoning Map Amendment. The Township Board approved the rezoning at their April 12, 2022 meeting.

The applicant has presented a project concept to the Township Board including a discussion on the potential of using Brownfield tax increment financing (TIF), via the Grand Traverse County Brownfield Authority, for a portion of the financing on the project. New laws were enacted in Michigan in 2023 allowing for new funding tools to be made available to municipalities for housing projects, including using Brownfield TIF for housing. The applicant and Township Board will continue to discuss the possibility of Brownfield TIF as a funding tool for this project.

The applicant proposes 154 dwelling units on an approximately 18-acre site. This would result in a density of about 8.5 units per acre. Only about one third of the site is buildable, so the proposed units would be clustered in the middle of the site with the remainder being kept as open space.

Parking requirements for multi-family dwellings / apartments include a minimum of 1.5 spaces per dwelling unit and a maximum of 2.0 spaces per dwelling unit. With 154 dwelling units, these standards result in a minimum of 231 spaces and a maximum of 308 spaces with 255 spaces shown as provided.

The site plan shows an area with amenities between Building 1 and Building 2 including a picnic pavilion, fire pit, grills, and tables.

The applicant has provided a conceptual site development plan showing the proposed layout of the project. If a full Special Use Permit application is submitted, additional details will need to be provided to meet all standards of the Zoning Ordinance, including details on the wetlands and streams on the site and adherence to the wetland (Section 534) and stream (Section 535) setbacks in the Zoning Ordinance. All agencies with jurisdiction will need to review the application for compliance with their standards.

**ACTION REQUESTED:**

The conceptual review is intended to provide an opportunity for dialogue between Planning Commission members and the applicant. No formal action is requested.

**Attachments:**

1. Conceptual Review Application, dated April 2, 2024
2. Gauthier Site Narrative, received April 1, 2024
3. Conceptual Site Development Plan, received April 2, 2024



# Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE  
TRAVERSE CITY, MICHIGAN 49684  
PH: (231) 941-1620 • FAX: (231) 941-1588

## CONCEPTUAL REVIEW (CRV) APPLICATION

### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

### ACTION REQUESTED

At the discretion of the applicant, the conceptual review before the Planning Commission may take place following public notice of the meeting. Opportunity for public comment shall be provided during the conceptual review process when public notice has been provided.

- Conceptual Review with no public notice
- Conceptual Review with direct mail notice only
- Conceptual Review with full public notice

### PROJECT / DEVELOPMENT NAME

2105 N US-31 South, LLC

### APPLICANT INFORMATION

Name:	2105 N US-31 South, LLC
Address:	6352 Mission Pt; Traverse City, MI 49686
Phone Number:	(414) 870-8882
Email:	will@keelcap.com

### AGENT INFORMATION

Name:	Bob Verschaeve, Gosling Czubak
Address:	1280 Business Park Dr; Traverse City, MI 49686
Phone Number:	(231) 933-5102
Email:	rmverschaeve@goslingczubak.com

OWNER INFORMATION

Name:	Kevin Endres, as agent for the James E. & Phyllis A. Gauthier Trust
Address:	2105 N US-31 South; Garfield Twp, MI 49684
Phone Number:	(231) 929-2955
Email:	kendres@threewest.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	Will Bartlett
Agent:	Bob Verschaeve
Owner:	Kevin Endres

LOCATION OF THE PROPOSED PROJECT

Property Address:	2105 N US-31 South; Garfield Twp, MI 49684		
Property Identification Number:	05-021-054-00		
Legal Description:	GA 281 A ALL THAT PART SE1/4 SW 1/4 LYING WLY US 31 & NLY OLD		
Zoning District:	R-3		
Master Plan Future Land Use Designation:	High-Density Residential per 3/27/24 Master Plan draft		
Area of Property (acres or square feet):	18.98 acres		
Existing Use(s):	Commercial		
Proposed Use(s):	High-Density Residential		

REQUIRED SUBMITTAL ITEMS

A complete application for a Conceptual Review consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Sketch Plan:

- Ten complete stapled 11"x17" paper sets
- One digital set (PDF only)

Written Supporting Information (if applicable):

- Ten paper copies of Written Supporting Information
- One digital copy of Written Supporting Information (PDF only)

Digital items to be delivered via email or USB flash drive

## SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

## SUPPORTING INFORMATION AND SKETCH PLAN

In providing written and/or sketch plan information to the Planning Commission for the purposes of a conceptual review, submittal of the following information, when known, is encouraged:

1. The boundaries of the development site.
2. The total number of acres in the project.
3. The number of acres to be developed by each type of use.
4. The number of residential units.
5. The number and/or square feet and type of nonresidential uses.
6. A description of the proposal in terms of its relationship and intended connections to surrounding land uses, development projects, public lands, and existing and future street networks.
7. The general topography of the site and its relationship to adjoining land.
8. A general description of the natural resources and natural features of the site and, where known, an indication of which will be preserved and which will be removed.
9. The number of acres to be preserved as open or recreational space, and its general location.
10. Variations from ordinance regulations that are being sought and the reasons to support the requested changes.
11. The public facilities intended to serve the planned unit development, such as sewage disposal, water supply, storm water systems, etc.

## OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

## REVIEW PROCESS

1. The intent of the conceptual review process is to provide an opportunity for an informal dialogue between an applicant and the Planning Commission to discuss a potential development project. Upon submittal of this application, Staff will forward the application to the Planning Commission for review.
2. The Planning Commission shall conduct a conceptual plan review to identify potential issues and concerns that should be addressed prior to formal review of any application requiring Planning Commission review and approval.
3. Conceptual plan review shall not constitute an approval of the application, nor shall statements by the Planning Commission, Township Staff and/or Township consultants be construed as a position regarding the merits of the application.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:    
Colleen Smith (Apr 2, 2024 16:06 EDT) Ernest Gauthier (Apr 2, 2024 12:10 CDT)

Applicant Signature: \_\_\_\_\_

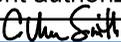
Agent Signature: \_\_\_\_\_

Date: \_\_\_\_\_

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We \_\_\_\_\_ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:    
Colleen Smith (Apr 2, 2024 16:06 EDT) Ernest Gauthier (Apr 2, 2024 12:10 CDT)

Date: \_\_\_\_\_

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

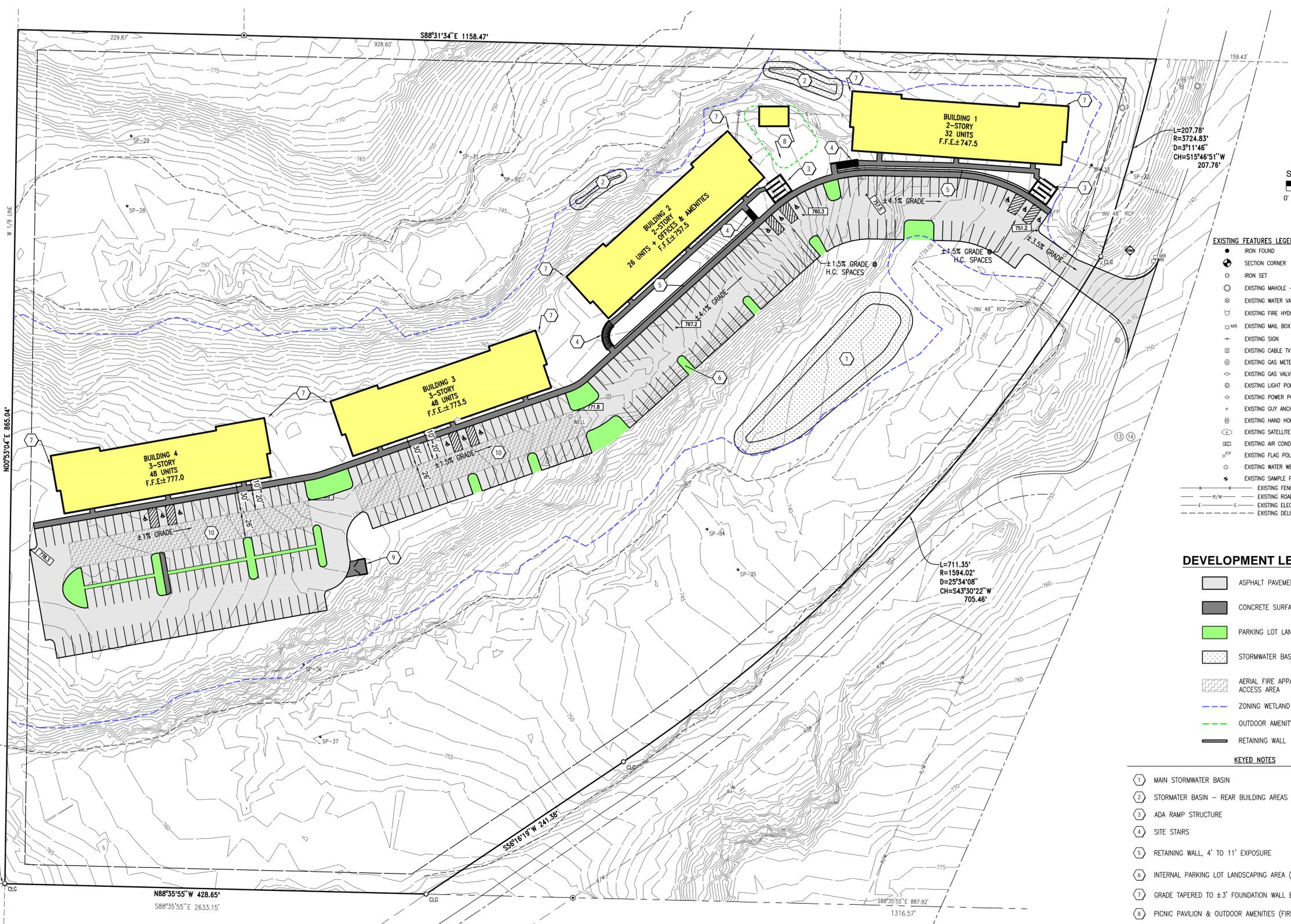
Owner Signature:    
Colleen Smith (Apr 2, 2024 16:06 EDT) Ernest Gauthier (Apr 2, 2024 12:10 CDT)

Date: \_\_\_\_\_

Applicant Signature: \_\_\_\_\_

Date: \_\_\_\_\_





- EXISTING FEATURES LEGEND**
- IRON FOUND
  - ⊕ SECTION CORNER
  - IRON SET
  - EXISTING MAHOLE - NOTED
  - ⊕ EXISTING WATER VALVE
  - ⊕ EXISTING FIRE HYDRANT
  - ⊕ EXISTING MAIL BOX
  - ⊕ EXISTING SIGN
  - ⊕ EXISTING CABLE TV PEDESTAL
  - ⊕ EXISTING GAS METER
  - ⊕ EXISTING GAS VALVE
  - ⊕ EXISTING LIGHT POLE
  - ⊕ EXISTING POWER POLE
  - ⊕ EXISTING GUY ANCHOR
  - ⊕ EXISTING HAND HOLE
  - ⊕ EXISTING SATELLITE DISH
  - ⊕ EXISTING AIR CONDITIONING UNIT
  - ⊕ EXISTING FLAG POLE
  - ⊕ EXISTING WATER WELL
  - ⊕ EXISTING SAMPLE POINT
  - EXISTING FENCE
  - EXISTING ROAD RIGHT-OF-WAY
  - EXISTING ELECTRIC - OVERHEAD
  - EXISTING DELINEATED WETLANDS

- DEVELOPMENT LEGEND**
- ASPHALT PAVEMENT
  - CONCRETE SURFACE
  - PARKING LOT LANDSCAPING
  - STORMWATER BASIN
  - AERIAL FIRE APPARATUS ACCESS AREA
  - ZONING WETLAND SETBACK
  - OUTDOOR AMENITY AREA
  - RETAINING WALL
- KEYED NOTES**
- 1 MAIN STORMWATER BASIN
  - 2 STORMWATER BASIN - REAR BUILDING AREAS
  - 3 ADA RAMP STRUCTURE
  - 4 SITE STAIRS
  - 5 RETAINING WALL, 4' TO 11' EXPOSURE
  - 6 INTERNAL PARKING LOT LANDSCAPING AREA (TYP)
  - 7 GRADE TAPERED TO ± 3' FOUNDATION WALL EXPOSURE
  - 8 PICNIC PAVILION & OUTDOOR AMENITIES (FIRE PIT, GRILLS, TABLES, ETC.)
  - 9 TRASH ENCLOSURE
  - 10 AERIAL APPARATUS ACCESS ROAD

**PARKING SUMMARY**

PARKING CALCULATIONS	
MINIMUM SPACES BY USE:	1.5 per Dwelling Unit
MAXIMUM SPACES BY USE:	2.0 per Dwelling Unit
NUMBER OR UNITS:	154
TOTAL SPACES REQUIRED:	231
MAXIMUM SPACES ALLOWED:	308
TOTAL PROVIDED:	255
REQUIRED ACCESSIBLE SPACES:	7
PROVIDED ACCESSIBLE SPACES:	12
LANDSCAPING REQUIREMENTS	
INTERIOR LANDSCAPING REQ'D:	10 Sft per Parking Space
INTERIOR LANDSCAPING REQ'D:	2,550 SFT
INTERIOR LANDSCAPING PROVIDED:	5,965 SFT

- REQUIRED WHEN VERTICAL DISTANCE TO EAVE EXCEEDS 30 FEET
- SHALL HAVE MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET
- LOCATED WITHIN MINIMUM OF 15 FEET AND MAXIMUM OF 30 FEET, AND
- POSITIONED PARALLEL TO ONE ENTIRE SIDE OF BUILDING

- SURVEY NOTES:**
1. BEARING BASIS IS MICHIGAN STATE PLANE COORDINATES, CENTRAL ZONE, NAD83(2011), INTERNATIONAL FEET, GRID
  2. ZONE X - OUTSIDE OF THE 0.2% ANNUAL FLOOD CHANCE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) 260550225C EFFECTIVE AUGUST 28, 2018.
  3. CONTOURS DERIVED FROM USGS LIDAR ONLINE SOURCE WITH AN APPROXIMATE ACCURACY OF 1 TO 2'. DATA PROVIDED AT REQUEST OF CLIENT AND IS FOR GENERAL PLANNING PURPOSES ONLY.

No.	Date	Revision	By

**CONCEPTUAL SITE DEVELOPMENT PLAN**  
 2105 N. US-31 SOUTH  
 KEEL CAPITAL, LLC

Date Issued: #####  
 Date Surveyed: #####  
 Designed By: RMV  
 Drawn By: #####  
 Checked By: #####  
 Scale: AS NOTED  
 Original sheet size is 24x36

Location:  
 PART OF THE SE 1/4 OF THE SW 1/4  
 SECTION 23, T27N, R11W  
 GARFIELD TOWNSHIP  
 GRAND TRAVERSE COUNTY  
 MICHIGAN

Project Number:  
 240130

Sheet:  
 1