CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING

Wednesday, August 9, 2023 at 7:00 pm Garfield Township Hall 3848 Veterans Drive Traverse City, MI 49684 Ph: (231) 941-1620

AGENDA

ORDER OF BUSINESS

Call meeting to order
Pledge of Allegiance
Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. Review and Approval of the Agenda – Conflict of Interest

3. Minutes – July 26, 2023

4. Correspondence

5. Reports

- a. Township Board
- b. Planning Commissioners
 - i. Zoning Board of Appeals
 - ii. Parks and Recreation Commission
 - iii. Joint Planning Commission
- c. Staff Report
 - i. PD 2023-92 Planning Department Monthly Report August 2023
 - ii. Master Plan Announcement

6. <u>Unfinished Business</u>

- a. PD 2023-94 Village at Garfield Special Use Permit Findings of Fact
- b. PD 2023-95 716 Boon Street Special Use Permit Findings of Fact
- c. PD 2023-96 Bish's RV Site Plan Review and Access Review

7. New Business

- a. PD 2023-97 Durga R-3 Rezoning Introduction
- b. PD 2023-98 Portable Storage Solutions Special Use Permit Introduction
- c. PD 2023-99 Cherryland Center Planned Shopping Center Sign Review

8. Public Comment

9. Other Business

a. PD 2023-100 - 3566 N US 31 South - Withdrawal

10. Items for Next Agenda - August 23, 2023

- a. Master Plan Update Future Land Use and Master Street Plan
- b. Zoning Ordinance R-2 and R-3 Zoning Districts Potential Changes

11. Adjournment

Joe Robertson, Secretary Garfield Township Planning Commission 3848 Veterans Drive Traverse City, MI 49684

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING July 26, 2023

<u>Call Meeting to Order</u>: Due to the Chair's absence, Vice Chair McManus called the July 26, 2023 Planning Commission meeting to order at 7:00 pm at the Garfield Township Hall.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Molly Agostinelli, Pat Cline, Joe McManus, Chris DeGood, Joe Robertson, and

Robert Fudge

Absent and Excused: John Racine

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:01)

None

2. Review and Approval of the Agenda – Conflict of Interest (7:01)

Agostinelli moved and Fudge seconded to approve the agenda as presented.

Yeas: Agostinelli, Fudge, McManus, DeGood, Robertson, Cline

Nays: None

4. Minutes (7:02)

a. July 12, 2023 Regular Meeting

Fudge moved and Robertson seconded to approve the July 12, 2023 Regular Meeting minutes as amended.

Yeas: Fudge, Robertson, McManus, Cline, DeGood, Agostinelli

Nays: None

4. Correspondence (7:03)

There was no correspondence.

5. Reports (7:04)

Township Board Report

Agostinelli had no report.

Planning Commissioners

i. Zoning Board of Appeals

Fudge had no report.

ii. Parks and Recreation Commission

DeGood had no report.

iii. Joint Planning Commission

McManus stated that a special meeting of the Joint Planning Commission is scheduled for August for a public hearing on a text amendment to the Commons Development Regulations. The amendment would allow for restoration of the main entrance to Building 50 by adjusting building height requirements in the sub-district that includes Building 50.

Staff Report

Sych discussed the site plan for 3566 S. US 31 North near Franke Road that was approved by the Planning Commission in 2022. The purchase agreement between the applicant and owner was terminated. Should this plan not go forward, Staff requested that the applicant submit a request rescind the site plan approval. Such rescindment would be presented to the Planning Commission, as the approving authority, for consideration. At this time, no action by the Planning Commission is necessary.

6. <u>Unfinished Business</u> (7:14)

a. PD 2023- 87 Zoning Ordinance – R-2 and R-3 Zoning Districts Potential Changes

The R-2 One and Two Family Residential and R-3 Multiple Family Residential zoning districts provide for duplexes and apartments, respectively. Their purpose statements support greater densities than the R-1 One Family Residential zoning district and are applied in areas planned and designated for those higher densities. However, the dimensional requirements in the two districts often limit the ability for duplexes and apartments to be built. Staff drafted some potential changes to the districts which would allow for units on smaller lots. Lot widths could be adjusted for greater density in these zoning districts. Sych reminded commissioners that this change would not affect the R-1 district. Commissioners agreed that the draft changes were acceptable and directed staff to move forward with the draft changes.

b. 2023-88 Master Plan Update – Pop-Up Event Recap - Nodes, Districts and Corridors (7:30)

Hannon stated that Staff held a public engagement pop-up event at the Silver Lake Recreation Area. He said that Staff talked with 23 people, but only five were from Garfield Township. Comments from residents included opinions about property maintenance, development, housing, renewable energy, transportation, and a new shade canopy at the dog park. Going forward, events may be held at a location with more activity and more township residents. Sych discussed reaching out to schools to do a survey with high school students. He sees it as an opportunity to gain another perspective. Commissioners suggested other locations such as assisted living communities, high school football games, or differing retail locations.

7. New Business

2023-89 - Master Plan Update - Nodes, Districts and Corridors (7:54) Sych pointed out the attached map in commissioner packets which illustrates nodes and districts in the Township. Sych and Hannon reviewed the proposed districts with commissioners and gave the definition of a district. Districts proposed for the Master Plan included the Barlow/Garfield area, the Boardman Valley Area, Buffalo Ridge, Garfield Center, LaFranier Hill, McRae Hill, Northwest Garfield, Rennie Hill, Rennie Plains, Silver Lake, and Spring Hill. Commissioners discussed each district and gave suggestions for development ideas and improvements in each district. Nodes were identified as Ashland Park, Brookside Commons, Cedar Run Campus, Copper Ridge, Eyde Property, Green Hill, and Logans Landing. Potential for developments and connections exist in many of these areas. Residential units above commercial uses were discussed for some of these nodes and traffic was also a concern. Water and sewer extensions may need to occur before more development is established. Commissioners gave feedback and ideas for these nodes and Staff suggested some mixed-use for these areas. Hannon talked about the definition of corridors which included Cass Road, Hartman/Hammond, US 31, and South Airport Road. Access management and branding of districts and nodes were discussed.

8. Public Comment (9:02)

None

9. Other Business (9:02)

McManus asked about a closed thoroughfare on the new Meijer site plan. DeGood inquired about a wetland buffer along US 31 being mowed.

10. <u>Items for Next Agenda – August 9, 2023 (9:09)</u>

- a. Village at Garfield Special Use Permit Findings of Fact
- b. 716 Boon Street Special Use Permit Findings of Fact
- c. Bish's RV Site Plan Review and Access Review
- d. Durga R-3 Rezoning Introduction
- e. Portable Storage Solutions Special Use Permit Introduction
- f. Cherryland Center Planned Shopping Center Sign Review

11. Adjournment

Fudge moved to adjourn the meeting at 9:11pm.

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684

Planning Michigan 2023 | Grand Traverse Resort | October 4-6, 2023

Join Michigan Association of Planning (MAP) for its Annual Planning Michigan Conference at Grand Traverse Resort in Acme.

The MAP Conference Committee is making session selections, and mobile tours are being planned.

See attached schedule.

Keynote speakers lined up:

- Doug Griffiths, 13 Ways to Kill Your Community
- Don Elliot, Clarion, will speak about the APA Equity in Zoning Policy and crafting a more equitable Zoning Ordinance
- Margo Hill, nationally recognized tribal leader, planner and attorney

Schedule

Wednesday, October 4, 2023

10:00 a.m. - 11:00 a.m. How to Use AI in Your Planning Practices | 1 CM

10:00 a.m. - 12:15 p.m.

MSU Extension Citizen Planner Session 1: Understanding the Planning and Zoning Context (Lunch provided)

11:00 a.m.

Lunch on your own

12:30 p.m. - 2:00 p.m.

2023 Legal and Legislative Update | .5 CM + 1 LAW

12:45 p.m. - 3:15 p.m.

MSU Extension Citizen Planner Session 2: Planning for the Future of Your Community

1:00 p.m. - 2:00 p.m.

Fox Run Manufactured Housing Community | 1 CM RESILIENCY

Next Step Project Management | 1 CM

2:30 p.m. - 3:30 p.m.

Have you met BESS? Battery Energy Storage Systems and How to Zone for Them |1 CM RESILIENCY Implementing Missing Middle Housing for Attainable Workforce Housing | 1 CM RESILIENCY Short Term Rental Case Study| 1 CM LAW

Tribal Planning: Staying Relevant | 1 CM

3:30 p.m. - 4:30 p.m.

General Session: Understanding Tribal Sovereignty and Collaboration with Tribal Governments | 1 CM EQUITY

Margo Hill, JD, Director of the Eastern Washington University Tribal Planning Program

4:30 p.m. - 5:45 p.m.

McKenna Symposium - 13 Ways to Kill Your Community | 1 CM

Doug Griffith, Author

5:45 p.m. - 6:30 p.m.

Exhibitor Reception - All attendees invited

6:30 p.m. - 7:30 p.m.

Awards Presentation - All attendees invited

8:00 p.m. - 9:30 p.m.

EPP Trivia Night

Thursday, October 5, 2023

8:30 a.m. - 9:30 a.m. | 1 CM

General Session: Smaller Cities in a Shrinking World: Learning to Thrive Without Growth Alan Mallach, Author, *Smaller Cities in a Shrinking World* (book signing following)

9:45 a.m. - 12:15 p.m.

MSU Extension Citizen Planner Session 3: Implementing the Plan with Zoning

9:45 a.m. - 11:00 a.m.

Local Zoning Analysis Key to Housing Affordability| .25 CM + 1 CM RESILIENCY
Making Space for Urban Trees | .25 CM + 1 CM RESILIENCY
Public Private Partnerships for Transforming Commercial Corridors | 1.25 CM
What Planners Need to Know About Challenges to Siting Renewable Energy in Michigan | .25 CM + 1
CM RESILIENCY

11:15 a.m. - 12:30 p.m.

Broadband Planning: An Overview, Case Studies, and the Regional Approach | .25 CM + 1 CM RESILIENCY

Everyday Ethics: A Planner's Guide | .25 CM + 1 CM ETHICS

Giga and Mega projects, Community Planning and Zoning Approaches | 1.25 CM

MAP Housing Policy Workshop | .25 CM + 1 CM RESILIENCY

12:30 p.m. - 2:00 p.m.

Keynote Luncheon | APA Equity in Zoning Policy Guide: An Overview and Into Action | 1 CM EQUITY Donald L. Elliott, JD, FAICP, Clarion Associates

2:15 p.m. - 3:30 p.m.

Campus Planning for Net Zero Water | .25 CM + 1 CM RESILIENCY

Equity in Zoning: How to Implement the APA Policy Guide in Your Community | .25 CM + 1 CM EQUITY Facilitating Change in a Sensitive Community: How to Boil the Frog | 1.25 CM

What's your Land Division Prowess: 'Splitting Headache' or 'Divide and Conquer'? | .25 CM + 1 CM LAW

2:30 p.m. - 5:00 p.m.

MSU Extension Citizen Planner Session 4: Making Zoning Decisions

4:00 p.m. - 5:30 p.m.

Annual Meeting

General Session - Ready or Not: Preparing for Change in Rural Michigan | 1 CM

Sarah Lucas, AICP, Director, Office of Rural Development

Shuttle Service to Downtown Traverse City

6:00 p.m. – Midnight (the last shuttle to Grand Traverse Resort departs from Traverse City at 11:30 p.m.)

Sponsored Receptions

5:30 p.m. - 7:30 p.m. McKenna

6:30 p.m. - 8:30 p.m. Giffels Webster

8:00 p.m. - 10:00 pm. Atwell

Friday, October 6

8:30 a.m. - 9:45 a.m.

Tools and Tactics for Sustainable Small Harbors | .25 CM + 1 CM RESILIENCY
Trident, The Whole Community Approach | .25 CM + 1 CM LAW
Truly Unified Development Codes - Regional Planning to Pattern Zones | 1.25 CM
Two to Tango: The Critical Role of Public Planners in Michigan's Economic Development | 1.25 CM

8:30 a.m. - 11:00 a.m.

MSU Extension Citizen Planner 5: Using Innovative Planning and Zoning

10:00 a.m. - 11:15 a.m.

A County Planning Renaissance: The Barry County "Live Better" Plan | 1.25 CM Are You Ready for AICP? Housing an Aging Population | .25 CM + 1 CM RESILIENCY

11:15 a.m. - 1:45 p.m.

MSU Extension Citizen Planner Session 6: Successfully Fulfilling Your Role (Light lunch provided)

Charter Township of Garfield Planning Department Report No. 2023-92					
Prepared:	August 1, 2023	Pages: 2			
Meeting:	August 8, 2023 Township Board	Attachments:			
Subject:	Planning Department Monthly Report – A	August 2023			

PURPOSE:

Staff provides a monthly report to the Township Board on activities of the Planning Department and the Planning Commission. The presentation of this report also provides a venue for the Township Board to have a dialog with staff about any of the activities or planning-related issues facing the Township.

DEVELOPMENTS:

The Planning Commission is currently conducting the following development review activity:

Birmley Meadows - Site Condominium

- Location: North of existing Birmley Hills Estates subdivision, south of Birmley Road
- Development Description: Proposed 26-lot single-family residential site condominium.
- Status: For consideration of approval at the 8/8/2023 Township Board meeting.

Professional Photography Studio at 716 Boon Street - Special Use Permit

- Location: 716 Boon Street, between Woodmere Avenue and Barlow Street
- Development Description: Proposed professional photography studio in existing multi-tenant building.
- *Status*: For consideration of approval at the 8/9/2023 Planning Commission meeting.

Village at Garfield - Special Use Permit

- Location: 2051 North Garfield Road, north of Hammond Road
- Development Description: Proposed 80-unit apartment complex.
- Status: For consideration of approval at the 8/9/2023 Planning Commission meeting.

Bish's RV - Site Plan Review and Access Review

- Location: 705 N US-31 South at Meadowlane Drive
- Development Description: Proposed business expansion and additional access drive.
- Status: For review at the 8/9/2023 Planning Commission meeting.

Portable Storage Solutions – Special Use Permit Review

- Location: 2550 Cass Road, north of Hartman Road
- Development Description: Proposed shipping container sales operation.
- *Status*: Introduction at the 8/9/2023 Planning Commission meeting.

Durga Rezoning – Zoning Map Amendment

- Location: 2624 Hartman Road, west of Cass Road
- Development Description: Rezoning from R-R Rural Residential to R-3 Multi-Family Residential
- *Status*: Introduction at the 8/9/2023 Planning Commission meeting.

Cherryland Center Sign Proposal - Sign Review

- Location: 1712 S. Garfield Avenue, north of South Airport Road
- Development Description: Proposed freestanding sign for Cherryland Center on Garfield Avenue
- *Status*: Review at the 8/9/2023 Planning Commission meeting.

Oleson's Food Store - Planned Unit Development Amendment

- Location: 3850 North Long Lake Road, at intersection of North Long Lake and Cedar Run Roads
- Development Description: Proposed amendment to permit six apartments.
- Status: Approved at the 7/11/2023 Township Board meeting.

Ridge45 - Phase I-IV Multi-Family Housing - Special Use Permit Amendment

- Location: Northwest corner of LaFranier and Hammond Roads
- Development Description: Developer is seeking to combine previously approved Ridge45 Phases I-III (400 units) with a revised new plan for Ridge45 Phase IV (196 units) for a total of 596 multi-family housing units. The two existing Special Use Permits will be combined into one Special Use Permit for the entire site, covering all four phases.
- *Status*: Approved at the 7/12/2023 Planning Commission meeting.

PLANNING:

Other Planning Department activities include the following:

- For their July study session, the Planning Commission reviewed locations for Districts, Nodes, and Corridors. Identifying districts, nodes, and corridors allows for specific future needs to be identified by area such as future land uses, future street extensions or connections, water or sewer extensions, non-motorized connections, and more. These designations will support the Future Land Use map. Staff also facilitated a "pop-up community engagement" event on July 15, 2023 at Silver Lake Recreation Area. For the August study session, the Planning Commission will review draft development principles and objectives for Nodes, Corridors, and Districts and start reviewing the Future Land Use map.
- Information, including draft text, about the planning process underway for the Master Plan may be found here: https://www.garfield-twp.com/masterplan.asp.
- Staff facilitated a meeting of the developers for Ridge45 and the BATA/Traverse City Housing Commission project to construct a pedestrian crosswalk on LaFranier Road between the two developments.

STAFF:

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Charter Township of Garfield Planning Department Report No. 2023-94					
Prepared:	August 2, 2023	Pages: 9			
Meeting:	August 9, 2023 Planning Commission	Attachments:			
Subject:	Village at Garfield Special Use Permit-Finding	s of Fact			
File No.	SUP-2023-03	Parcel No. 05-023-042-60			
Applicant:	Brian Stadler/Outlook Development, LLC				
Agent: Andrew Purvis, P.E./Gosling Czubak Engineering Services, Inc.					
Owner:	Brian Stadler/Hammond LDHA LP				

BRIEF OVERVIEW:

• Location: West side of North Garfield Road, north of Hammond Road

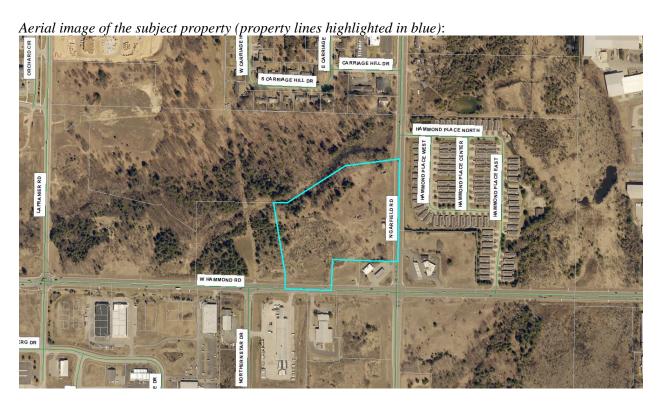
• Parcel area: 14.69 acres

• Existing land use: Undeveloped land

• Existing zoning: R-3 Multi Family Residential

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit for a proposed 80-unit multi-family housing development. Multiple family dwellings are permitted via Special Use Permit in the R-3 Multi Family Residential District.



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- 1) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Density

With 80 units, the proposed density is 6 units per acre, which exceeds the minimum lot area density of 4,000 square feet per multi-family unit.

Buildings/Structures

The proposed buildings and structures are as follows:

Building/Structure Type	Number of Units	Number of Buildings/ Structures	Square Feet Each	Total Number of Units	Total Square Feet
2-story apartment building	16 each	5	10,510	80	52,550
Community building/office	n/a	1	4,000	n/a	4,000
Pavilion	n/a	1	1,271	n/a	1,271
			Total	80	57,820

- Building elevations have been provided that illustrate building height and façade. Maximum building height in the R-3 District is 3 stories or 40 feet. As presented, proposed buildings meet all height requirements.
- Maximum lot coverage or the part of percent of the lot occupied by a building, including accessory buildings is 35%. Proposed lot coverage is 9%.
- Amenities proposed include a community building, pavilion, two tot lots, and sidewalks.

Setbacks

The front setback is 25 feet in the R-3 District. Side and rear yards in the R-3 District shall be 20 feet. The proposed buildings and structures meet setback requirements.

Ingress and Egress

The site plan shows ingress and egress via a single driveway entrance off Garfield Road. The Grand Traverse County Road Commission has provided conceptual approval of the proposed driveway location. No access to Hammond Road is proposed.

Traffic Impact Report

Pursuant to Section 618, a traffic impact report shall be required for any major development, special use permit, or site plan under the following described conditions:

- (1) A proposed rezoning that could generate 150 or more directional trips during the peak hour or at least 1,000 more trips per day than the most intensive use that could be developed under existing zoning;
- (2) A proposed development that will generate 150 or more directional trips during the peak hour or at least 500 trips per day; or
- (3) A proposed development for a 5-acre or larger site; or
- (4) Upon determination by the Director of Planning, or by the Planning Commission, that a report is necessary to determine needed road improvements or to determine that unsafe or hazardous conditions will not be created by the development as proposed.

The requirements for a traffic impact report may be waived in whole or in part by the Director of Planning, or by the Planning Commission, upon a determination that such report is not necessary to determine needed road improvements or that no unsafe or hazardous conditions will be created by the development as proposed.

The proposed development exceeds 5 acres and is a development expected to generate more than 500 trips per day. An 80-unit apartment complex can expect to generate roughly 560 trips on a weekday. Based on its access, location, and conceptual review approval received by the Road Commission, Staff recommends waiving the traffic impact report requirement.

Parking and Drives

Parking areas for multiple family dwellings have a minimum parking requirement of 1.5 spaces per dwelling unit to a maximum of 2.0 spaces per dwelling unit. A minimum of 120 parking spaces is required and a maximum of 160 parking spaces are permitted. 160 parking spaces are proposed.

Wherever off-street parking is required, a minimum of two bicycle parking spaces are required. For parking areas with greater than twenty-five (25) motor vehicle spaces, bicycle parking shall be provided on a basis of two spaces per twenty-five motor vehicle parking spaces. 13 bicycle parking spaces are required. The site plan proposes 16 bicycle parking spaces.

Sidewalks

Pursuant to Section 522, the following sidewalks and bike paths are proposed:

- 6-foot-wide concrete sidewalks within the site and along Garfield Road.
- A 10-foot-wide asphalt bike path is proposed for the frontage on Hammond Road.
- A 6-foot-wide concrete sidewalk between the Hammond Road bike path and the multi-family residential buildings on site will be installed with other internal sidewalks.

Wetlands/Environmental Assessment

Wetlands are located along the north side of the development. A 25-foot buffer has been provided as required by the Township. A delineation of the wetlands verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE) needs to be provided.

The applicant has prepared a Phase I and Phase II Environmental Site Assessment (ESA) for the site. Based on AKT Peerless' June 15, 2022, Phase I ESA, the following environmental concerns were identified in connection with the subject property:

- The northeastern portion of the subject property and the northern adjoining property historically operated as an orchard.
- The presence of multiple stored automobiles and automotive repair on the subject property from at least 1974 to at least 1998.
- Two empty unlabeled 55-gallon drums, automotive tires, general refuse, soil mounds, and concrete debris.

Based on the results of AKT Peerless' October 15, 2022, Phase II ESA, no evidence of the presence of contamination was identified. Therefore, no further environmental assessment is currently recommended.

A Soils Report for the site was prepared by Snyder & Staley Engineering, PLC in 2022. The Soils Report concludes that, "We do not anticipate any significant geotechnical problems associated with constructing shallow spread footing foundations for the proposed building as described herein."

Landscaping - Buffers

Based on Section 531 of the Zoning Ordinance, a Type "C" Buffer is required along all boundaries of the subject site. Type "C" Buffer includes ground cover as specified in Section 530.J, plus 3 large trees, 3 medium or small trees, and 1 evergreen or coniferous per 100 linear feet of greenspace area, and a minimum width of 10 feet. Landscape buffer requirements have been met and are addressed as follows:

Greenspace (Length)	Amount Required	Amount Provided
East (726 ft. along Garfield Road)	22 large trees	22 large trees
	22 med/small trees	22 med/small trees
	8 evergreens	8 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
East (159 ft. along vacant property)	4 large trees	4 large trees
	5 med/small trees	5 med/small trees
	2 evergreens	2 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
South (495 ft. along commercial	15 large trees	15 large trees
and vacant property)	15 med/small trees	15 med/small trees
	5 evergreens	5 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
South (342 ft. along Hammond	11 large trees	11 large trees
Road)	11 med/small trees	11 med/small trees
	4 evergreens	4 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
West (576 ft. along vacant	18 large trees	18 large trees
property)	18 med/small trees	18 med/small trees
	6 evergreens	6 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
North (966 ft. along vacant	29 large trees	29 large trees
property)	29 med/small trees	29 med/small trees
	10 evergreens	10 evergreens
	10 ft. min width	Greater than 10 ft. min width shown

Landscaping – Parking Areas

Landscaped parking area requirements have been met and are addressed as follows:

Standard	Required	Provided
All parking areas with two (2) or more parking aisles shall	For 160 spaces,	1,845 square feet
require interior landscaped areas of at least ten (10) square	1,600 square feet	
feet for each parking space.		
Each interior landscape area shall include one (1) or more	For 1,600 square feet,	16 trees
canopy trees per 100 square feet of interior landscaping	16 trees	
area.		

Lighting

A photometric site plan has been provided. All lighting requirements have been met and are described by the following:

Zoning Ordinance Lighting Standard	Proposed
A. Applicability – All outdoor lighting shall be installed in conformance	None of these exceptions are
with the provisions of this section. Certain light fixtures exempt from	expected to apply to this site, so all
this section include decorative lighting, public streetlights, emergency	lighting for this site is subject to the
lights, nonconforming existing lights, neon, and flag lighting.	requirements of this section.
B. Shielding and Filtration – Lighting fixtures shall provide glare free	The fixtures as proposed meet this
area beyond the property line and light shall be confined to the lot from	requirement.
which it originates. All fixtures shall have full cut-off and shall not	_
direct light upwards. Light sources shall be located, and light poles	
shall be coated, to minimize glare.	
C. Illumination – Average illumination levels shall not exceed 3.0 foot-	The fixtures as proposed meet this
candles for the main parking area, 2.0 foot-candles for the peripheral	requirement.
parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-	
candles directly below the lighting fixture. Illumination shall also not	
exceed 1.0 foot-candles adjoining another nonresidential zoning district	
along a local street or property line. Average lighting values ranging	
from 0.5 to 1.5 foot-candles are recommended.	
D. Color Temperature – All proposed lamps shall emit light measuring	The fixtures as proposed meet this
3,500 K or warmer on the Kelvin scale.	requirement.
E. Prohibitions – Prohibitions include mercury-vapor or metal halide	None of these prohibitions apply to
fixture and lamps, laser source lights, searchlights, or any light that does	this site.
not meet shielding and illumination standards.	
F. Pole Height – All pole-mounted lighting shall not exceed the	Fixtures are proposed to be mounted
maximum permitted height of the zoning district.	at 23 feet in height which conform to
	the maximum permitted height of 40
	feet in the R-3 district.

Snow Storage

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Proposed snow storage areas have been identified and meet the minimum requirements.

Dumpster Enclosures

Two centralized dumpster enclosures are proposed. Details of the construction of the enclosures have been provided and meet Zoning Ordinance requirements.

Other Reviews

The application is subject to additional reviews, including but not limited to the Township Engineer, Grand Traverse County Road Commission, and Metro Fire. Sewer and water utility improvements and stormwater improvements will be reviewed by the Township Engineer.

FINDINGS OF FACT:

At its July 12, 2023 meeting, the Planning Commission unanimously passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration.

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The Master Plan identifies the site as High Density Residential on the Future Land Use map.
- The site is zoned R-3 Multi Family Residential. Multi-family housing is permitted via Special Use Permit in the R-3 Multi Family Residential district.
- The site will be able to meet all regulations of the R-3 zoning district.
- (2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The site is adjacent to other compatible multi-family housing in the approved BATA/Traverse City Housing Commission planned unit development. There is a significant buffer between the proposed project and Carriage Hill, an existing single family residential neighborhood to the north.
- There are wetlands located on the site. The applicant has obtained a delineation and a natural buffer as required has been provided. Verification of the wetland delineation from the Michigan Department of Environment, Great Lakes, and Energy is required.
- (3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

The Planning Commission may find this standard to be **MET** for the following reasons:

- No nuisances or hazards are expected to be generated.
- The proposed lighting and photometric plan address all lighting requirements of the Ordinance.
- (4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The placement of the building and the parking have been made in a way that will minimize any impact on adjacent properties. Plus, there is a significant amount of natural buffer to the north and west.
- Setback and landscaping requirements have been met.
- (5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The Planning Commission may find this standard to be **MET** for the following reasons:

- There are wetlands located on the site. The applicant has obtained a delineation and a natural buffer as required has been provided. Verification of the wetland delineation from the Michigan Department of Environment, Great Lakes, and Energy is required.
- The proposed development will provide landscaping as part of the site design to contribute positively to the general character of the neighborhood.
- (6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

The Planning Commission may find this standard to be **MET** for the following reasons:

- Municipal water and sewer facilities currently serve the area and will adequately serve the subject site.
- The applicant proposes to manage storm water onsite with two retention basins. The storm water management system will be reviewed by the Township Engineer.
- Significant additional demand for schools, police, or fire protection is not anticipated.
- (7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The proposed use will not be detrimental to public health, safety, morals, or general welfare. The proposed use is compatible with nearby uses and is not expected to generate any nuisances.
- (8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The public interest and welfare are well-served by the proposed use, which is allowed via special use permit in the R-3 district.
- A public hearing was held on July 12, 2023.
- (9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

The Planning Commission may find this standard to be **MET** for the following reasons:

- Ingress and egress for the site will be provided from Garfield Road. There will be no access from Hammond Road. The Grand Traverse County Road Commission has conducted its conceptual review and has determined the proposed driveway is acceptable.
- (10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

The Planning Commission may find this standard to be **MET** for the following reasons:

- The site design will allow for safe vehicular traffic throughout the site.
- Pedestrians will be accommodated with a new 6-foot-wide concrete sidewalk along Garfield Road and a new 10-foot-wide asphalt bike path along Hammond Road. A 6-foot-wide concrete sidewalk between the Hammond Road bike path and the multi-family residential buildings on site will be installed with other internal sidewalks.
- (11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The Planning Commission may find this standard to be **MET** for the following reasons:

• The proposed use is permitted via a special land use permit in the R-3 district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

ACTION REQUESTED:

The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for applications SUP-2023-03, as presented in Planning Department Report 2023-94 and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

MOTION THAT applications SUP-2023-03 BE APPROVED, subject to the following conditions (1-7 as indicated in Planning Department Report 2023-94):

- 1. Verification of the wetland delineation from the Michigan Department of Environment, Great Lakes, and Energy is required.
- 2. Waive the requirement for a traffic impact report.
- 3. Final engineering review and approval by the Township Engineer is required including all infrastructure and stormwater.
- 4. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
- 5. All proposed landscaping and site amenities shall be installed prior to the issuance of a Certificate of Occupancy.

- 6. The applicant shall provide two (2) full-size plan sets, one (1) 11x17" plan set, and one electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.
- 7. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Director of Planning within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

Attachments:

- 1. Application and Narrative dated June 6, 2023
- 2. Site Plan Set dated July 26, 2023



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTIO	N REQUESTED				
V	New Special Use Permit				
	Major Amendment				
	Minor Amendment				
	Administrative Amend	dment			
PROJE	ECT / DEVELOPMENT	NAME			
	The Village at Garfiel	d			
APPLI	CANT INFORMATION				
	Name:	Brian Stadler, Outlook Development Company			
	Address:	4835 TOWNE CENTRE ROAD SUITE 203, SAG	INAW, MI 48604		
	Phone Number:	989.233.4656			
	Email:	brian@wolgast.com			
AGEN ⁻	T INFORMATION				
	Name:	Andrew J. Purvis, PE, Gosling Czubak Engineeri	ng Sciences, Inc.		
	Address:	1280 Business Park Drive, Traverse City, MI 496	86		
	Phone Number:	231.946.9191			
	Email:	ajpurvis@goslingczubak.com			
OWNE	R INFORMATION				
	Name:	Brian Stadler, Hammond LDHA LP			
	Address:	7551 Geddes Road, Saginaw, MI 48609			
	Phone Number:	989.233.4656			
	Email:	brian@wolgast.com			

	CT PERSON select one person to b	e contact p	erson for all correspondence and questions:	
	Applicant:	Brian Stad	ler, brian@wolgast.com	
	Agent:	Andrew Pu	urvis, ajpurvis@goslingczubak.com	
	Owner:	Brian Stad	ler, brian@wolgast.com	
PROPE	RTY INFORMATION			
	Property Address:	2051 N Ga	rfield, Traverse City, MI 49686	
	Property Identification	fication Number: 05-023-042-01		
	Legal Description:	Provided on Site Plans		
	Zoning District:		R-3	
	Master Plan Future L	and Use De	esignation: High Density Residential (6-10)	
	Area of Property (acr		44 CO A C (Creen)	
	Existing Use(s):	Vacant Lar		
	_ ,,,,		ily Residential (MSHDA Housing Project)	
	Proposed Use(s):	iviuiti-i airii	ny Nesidentiai (MondA Flodsing Froject)	
PROJE	CT TIMELINE			
-	Estimated Start Date: 02/01/2024			
	Estimated Completion Date: 08/01/25			

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

One original signed application

One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

✓ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

	Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
V	Two complete bound 24"x36" paper sets
V	One digital set (PDF only)

Written	Information:
	Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
	One digital copy of the Approval Criteria (PDF only)
	Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
	One digital copy of the Impact Assessment (PDF only)
Digital i	tems to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:ecial use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

X	The method to be used to control any increase in effluent discharge to the air or any increase in noise level					
	emanating from the site. Consideration of any nuisance that would be created within the site or external to the site					
	whether by reason of dust, noise, fumes vibration, smoke or lights.					
X	An indication of how the proposed use conforms with existing and potential development patterns and any					
	adverse effects.					
X	The proposed density in units per acre for residential devel	lopments.				
x	Name(s) and address(es) of person(s) responsible for prepared	paration of statement.				
K	Description of measures to control soil erosion and sedime	entation during grading	g and cons	struction operatio	ns	
	and until a permanent ground cover is established. Recommendations for such measures may be obtained from					
	the County Soil Erosion and Sedimentation office.					
X	Type, direction, and intensity of outside lighting.					
X	General description of deed restrictions, if any.					
ADDIT	TIONAL INFORMATION					
If appli	icable, provide the following further information:			Not		
	Maria Carrier Complete	<u>Yes</u>	No	<u>Applicable</u>		
	nitary Sewer Service	X				
1. Do	pes project require extension of public sewer line?		<u> </u>			
1511 151410	If yes, has a Utility Agreement been prepared?		X			
2. Wi	ill a community wastewater system be installed?					
	If yes, has a Utility Agreement been prepared?					
	If yes, provide construction plans and specifications		ाज			
3. Wi	ill on-site disposal be used?		X			
5 144	If yes, is it depicted on plan?					
Comma Diam Diam	ater Service	X				
1. Do	pes project require extension of public water main?		×			
0 14/	If yes, has a Utility Agreement been prepared?		<u>~</u>			
2. W	ill a community water supply be installed?	_	П	П		
	If yes, has a Utility Agreement been prepared? If yes, provide construction plans and specifications	_	_	_		
C Bu	blic utility easements required?	×				
0. <u>Fu</u>	If yes, show on plan.		· 	(4)		
D Sto	ormwater Review/Soil Erosion					
-	bil Erosion Plans approved by Soil Erosion Office?					
1. 00	If so, attach approval letter.					
	If no, are alternate measures shown?					
2 Sto	ormwater Plans approved by Township Engineer?					
2, 50	If so, attach approval letter.					
	If no, are alternate measures shown?					
	Note: Alternate measures must be designed and sealed by	y a registered Engine	er.			

 2. 3. 	Roads and Circulation Are interior public streets proposed? If yes, has Road Commission approved (attack Will public streets connect to adjoining properties of Are private roads or interior drives proposed? Will private drives connect to adjoining properties so	or future streets?			
4. 5.	Has the Road Commission or MDOT approved cur		×		
٥.	If yes, attach approved permit.	GTCRC Review in		Н	_
	ii yes, attacii approved permit.	GTCRC Review in	process		
<u>OT</u>	HER INFORMATION				
If t	nere is any other information that you think may	be useful in the review	w of this app	lication, p	lease attach it to this
app	lication or explain it on a separate page.				
 REVIEW PROCESS Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing. Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use. If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order. 					
	RMISSION TO ENTER SUBJECT PROPERTY rmission is hereby granted to Garfield Township sta	off and Planning Comm	issioners to e	nter the pr	emises subject to this

nis application for the purposes of making inspections associated with this application, during normal and reasonable working

hours.		
⊀ Owner Signature:	BIL &	
Applicant Signature:	bush	
Agent Signature:	NA	
Date:	6/6/23	

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

K	I/We	authorize to make this application on my/our behalf		
	and to provide any of my	our personal information necessary for the processing of this application. Moreover, this shall be		
	your good and sufficient a	authorization for so doing.		
4	Owner Signature:			
×	Date:			
- 50				
	<u>AFFIDAVIT</u>			
The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the appliant and all of the information submitted in this application, including any supplemental information, is in all respects true.				
	application and any perm	nit associated with this document.		
1				
×	Owner Signature:	bu de		
7	▲ Date:	8/6/231		
	Applicant Signature:	BUST		
	Date:	6/6/23		

	SD	ASP/ SDP	
A. E	Basic Information		
1.	Applicant's name, address, telephone number and signature		
2.	Property owner's name, address, telephone number and signature		
3.	Proof of property ownership		
4.	Whether there are any options or liens on the property		
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
7.	A vicinity map showing the area and road network surrounding the property		
8.	Name, address and phone number of the preparer of the site plan		
9.	Project title or name of the proposed development		
	Statement of proposed use of land, project completion schedule, any proposed development phasing		
	Land uses and zoning classification on the subject parcel and adjoining parcels		
11.	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as	PURE S	
12.	their name, address and telephone number		
Б (0.1	
	Site Plan Information North arrow, scale, and date of original submittal and last revision		
1.		NICES COLD	
2.	Boundary dimensions of natural features Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%),		
3.			
	beach, drainage, and similar features		
4.	Proposed alterations to topography and other natural features		H
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	No. of Concession, Name of Street, or other party of the Concession, Name of Street, or other pa	
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing		
	structures	A STATE OF	-
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, salts as federal government authorities.		
_	state or federal government authorities		
9.	Proposed finish floor and grade line elevations of any structures *Required only for habitable construction within the floodplain on site diagrams and administrative site plans.	□*	
10	*Required only for nabitable construction within the noodplain on site diagrams and administrative site plants.		
10.	Existing and proposed driveways, including parking areas	HAVEST	
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		
12.	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		
13	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks	N 400 - 20	
14	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features		
14.	within and adjacent to the site		
15	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
15.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
	Location of water supply lines and/or wells		
1000000	Location of sanitary sewer lines and/or sanitary sewer disposal systems	Control Victor	
19.	Location, specifications, and access to a water supply in the event of a fire emergency		
-	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
23.	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
24.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences,		
	walls, trash receptacle screening, and other screening features with cross sections shown	Mich S	
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		
26.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		
07	Observes as wedifications required for any applicable regulatory agencies' approvals		
27.	Changes or modifications required for any applicable regulatory agencies' approvals		

The Village at Garfield: Project Narrative Description

The Village at Garfield (the Project) will be an affordable housing development which will be located on Garfield Road just north of the intersection of Hammond Road in Garfield Township, Michigan. Garfield Road is a public street which will offer direct access to the proposed development site with two access points to satisfy fire codes. No access is planned on Hammond Road due to traffic concerns that are shared by the Township. The parcel the Project resides on was recently rezoned to R-3 (High Density Residential, 6 - 10 units per acre). The Project is proposed at less than 6 units per acre.

The Project will utilize the existing public water and sewer infrastructure by extensions into the site. The Project will support nearby services and employment opportunities. The development team is working with the Township and Grand Traverse County Department of Public Works (DPW) to ensure the public water and sewer systems are designed to meet their requirements.

The development team is working with the Township and Grand Traverse County Road Commission (GTCRC) to ensure that access to the Project satisfies the GTCRC's planned improvements to the Hammond and Garfield Road intersection.

According to the Phase I and II Environmental Site Assessments (ESA) completed by AKT Peerless (AKT) the Project site contained an orchard from sometime prior to 1938 until sometime prior to 1964. A Phase II ESA was conducted by AKT to determine if contamination from the historic orchard use of the site and storage of multiple automobiles was found on the site. AKT concluded that no targeted compounds were present in the assessed areas above the applicable Michigan Department of Environmental, Great Lakes, and Energy (EGLE) Residential Cleanup Criteria (RCC).

The site layout and grading plan has been prepared by Gosling Czubak Engineering Sciences Inc (GCES) to meet applicable Township and MSHDA requirements. The grading plan preserves the land within the Township's required wetland setbacks. The Project's storm water control measures have been designed in accordance with the Township's Ordinance #49. The drainage plan takes advantage of the site's sandy soils and lack of groundwater table on-site using infiltration/retention basins with high water overflows to the on-site wetlands.

The new development will consist of 80 apartment units with a mix of two- and three-bedroom units. The buildings will be designed as two-story, wood frame structures with brick and fiber cement siding. Design features will include energy efficient windows and doors, high R-value insulation, along with many family friendly features including central heated and air-conditioned living areas, ceiling fans, dishwasher, and microwave appliances. High quality construction techniques and energy efficient materials will result in a product that meets sustainable building standards. Additionally, all other MSHDA Architectural and building sustainability requirements will be met. or exceeded. Development amenities will include on-site professional management, a community building/room, on-site laundry, fully equipped playground, and an outdoor covered gathering area.

Our development team has developed and operates similar properties in Michigan and other states. All our properties enjoy high occupancy levels due to superior facility design and excellent property management performance. The Grand Traverse County area has a significant lack of affordable housing stock and has a growing need for additional affordable housing. Occupancy levels for existing housing in the area are near 100% and most affordable housing has significant waiting lists.

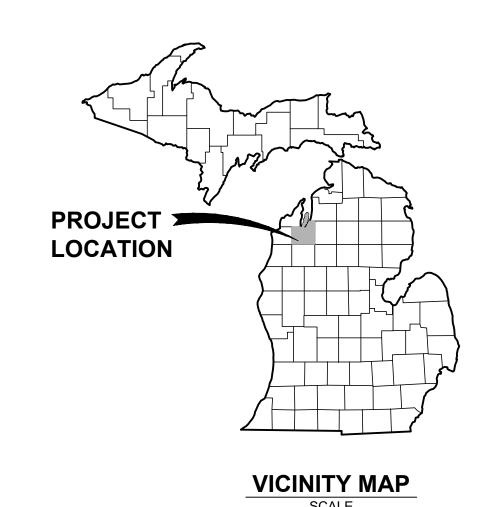
We appreciate the Township's support of this project through the rezoning process and the granting of the Pilot and entering the MSA Agreement to make the project possible. We especially appreciate the professionalism of the staff as we try to make this project a reality to serve the community.

SITE PLANS

FOR

THE VILLAGE AT GARFIELD

GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN



OWNER

HAMMOND LDHA LP 7551 GEDDES ROAD,

ARCHITECT

ARCHITETTURA INC. FRANK POLLACIA, AIA, NCARB 808 18TH STREET PLANO, TEXAS 75074 TEL. 972-509-0088 pollacia@architettura-inc.com

DEVELOPER / APPLICANT

OUTLOOK DEVELOPMENT LLC BRIAN STADLER 4835 TOWNE CENTRE ROAD SUITE 203,

SURVEYOR

BOB MITCHELL & ASSOCIATES JESSE MITCHELL, P.S. 404 WEST MAIN STREET PO BOX 306 KINGSLEY, MI 49649

ENGINEER

GOSLING CZUBAK ENGINEERING SCIENCES, INC. 1280 BUSINESS PARK DRIVE TRAVERSE CITY, MICHIGAN, 49686-8607 231.946.9191 - 800.968.1062 www.goslingczubak.com info@goslingczubak.com

UTILITY CONTACTS

NAME OF OWNER

TYPE OF UTILITY

TELEPHONE

DTE ENERGY GAS CO. GAS LARRY BOURKE **ENGINEERING & CONSTRUCTION PLANNING** 231-592-3244

lawrence.bourke@dteenergy.com

ELECTRIC CONSUMER'S ENERGY BLAKE WILSON 231-499-9792

CHARTER COMMUNICATIONS CABLE TV

ASHLEY M. MARCOLETTE ashley.marcolette@ccisystems.com

BLAKE.WILSON@cmsenergy.com

AT&T C. ANIKA ESTES **DESIGN SPECIALIST** CE3239@ATT.COM

GRAND TRAVERSE COUNTY SEWER & WATER **DEPARTMENT OF PUBLIC WORKS**

LINDA McCLEARY 231-995-6077 mccleary@gtcountymi.gov Know what's below. Call before you dig.

: CDP Acme Twp 7----**PROJECT** LOCATION

LOCATION MAP NOT TO SCALE

SHEET INDEX SHEET TITLE GENERAL NOTES ALTA NSPS LAND TITLE SURVEY (BY OTHERS) ALTA NSPS LAND TITLE SURVEY (BY OTHERS) EXISTING CONDITIONS & DEMOLITION PLAN OVERALL SITE PLAN EMERGENCY ACCESS PLAN OVERALL GRADING & DRAINAGE PLAN SOIL EROSION & SEDIMENTATION CONTROL PLAN WATER & SEWER PLAN WATER & SEWER PROFILES LANDSCAPE PLAN SITE DETAILS STANDARD WATER MAIN DETAILS STANDARD SANITARY SEWER DETAILS PRELIMINARY SITE LIGHTING PLAN (BY OTHERS) LIGHTING SCHEDULES (BY OTHERS) LIGHTING CUT SHEETS (BY OTHERS) FIRST FLOOR PLAN BLDG I (BY OTHERS) ELEVATIONS BLDG TYPE I (BY OTHERS) 1ST FLOOR LEASING OFFICE (BY OTHERS) LEASING OFFICE ELEVATIONS (BY OTHERS) LEASING OFFICE ELEVATIONS (BY OTHERS) DOUBLE DUMPSTER ENCLOSURE DETAILS (BY OTHERS) PAVILION DETAILS (BY OTHERS)

FINDINGS & FACTS SUBMITTAL SET 2 07/26/2023 No. Date

2022410001 Sheet

Issue Date 05/10/2023 Project No.

C000

<u>CIVIL CONSTRUCTION NOTES:</u>

- 1. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CHARTER TOWNSHIP OF GARFIELD AND MSHDA STANDARDS, ORDINANCES AND REGULATIONS, AND ALL OTHER AGENCIES HAVING JURISDICTION AND UTILITY PROVIDER REQUIREMENTS ARE MET.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING IMPROVEMENTS OR UNDERGROUND FACILITIES THAT ARE
- 3. THE CONTRACTOR SHALL LEAVE AN EMERGENCY PHONE NUMBER WITH THE POLICE AND FIRE DEPARTMENTS AND KEEP THEM INFORMED OF CONSTRUCTION ACTIVITIES AND OF ANY DETOURS.
- 4. CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS AT THE SITE FOR THE PUBLIC WORKS, AMBULANCE, POLICE, FIRE DEPARTMENT, AND UTILITY LOCATE COMPANIES AT ALL TIMES.
- 5. THE CONTRACTOR SHALL CONDUCT THEIR WORK SO AS NOT TO INTERFERE WITH OR HINDER THE PROGRESS OF THE COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.
- 6. THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED IN THE PROJECT, SHALL ASSUME LIABILITY, FINANCIAL OR OTHERWISE, IN CONNECTION WITH THEIR CONTRACT AND SHALL PROTECT AND HOLD HARMLESS THE ENGINEER AND THE ENGINEER'S REPRESENTATIVES FROM ANY AND ALL DAMAGES OR CLAIMS THAT MAY ARISE BECAUSE OF INCONVENIENCE, DELAYS, OR LOSS EXPERIENCED BECAUSE OF THE PRESENCE AND OPERATIONS OF OTHER CONTRACTORS OR CONSULTANTS WORKING ADJACENT TO OR WITHIN THE LIMITS OF THE PROJECT.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY DURING CONSTRUCTION. DAMAGED PROPERTY SHALL BE RETURNED TO THE EXISTING CONDITIONS AT A MINIMUM.
- PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARDS AND SPECIFICATIONS AND AS DIRECTED BY MDOT AND THE TOWNSHIP. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AROUND THE SITE AT ALL TIMES. ALL DETOURS/LANE CLOSURES MUST BE HANDLED USING TRAFFIC CONTROL DEVICES CONFORMING TO THE
- MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND MUST BE APPROVED BY MDOT AND THE TOWNSHIP. 9. ADEQUATE TEMPORARY OFF STREET PARKING FOR CONSTRUCTION WORKERS SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION, WHEREBY MUD FROM CONSTRUCTION AND/OR WORKER'S VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- 10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND UTILITIES, AND REPORT ALL FINDINGS AND DISCREPANCIES TO THE ENGINEER.

PAVEMENT, SUB-GRADE, AND TRAFFIC CONTROL NOTES:

- 1. MATERIALS AND CONSTRUCTION TECHNIQUES SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE LATEST EDITION OF THE STANDARD
- SPECIFICATIONS FOR CONSTRUCTION PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT). ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CHARTER TOWNSHIP OF GARFIELD REQUIREMENTS AND THE REQUIREMENTS PRESENTED IN THE CURRENT BUILDING CODE. COMPACTION TESTING OF THE SUB-GRADE WILL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE
- ENTRANCE WORK AND UTILITY WORK SHALL BE COORDINATED WITH THE TOWNSHIP AND MDOT PRIOR TO CONSTRUCTION PROCEEDING.
- ALL TRAFFIC CONTROL (INCLUDING, BUT NOT LIMITED TO WORK ZONE, TEMPORARY, OR PERMANENT) SHALL BE FURNISHED, INSTALLED, MAINTAINED,
- RELOCATED, AND/OR REMOVED ACCORDING TO THE LATEST EDITION OF THE MDOT STANDARD SPECIFICATIONS. CONTRACTOR TO REMOVE ALL EXISTING ITEMS (CONCRETE WALK, POSTS, PAVEMENT, SHRUBS, LIGHT POLES AND BASES, ETC.) THAT INTERFERE WITH
- NEW CONSTRUCTION, COST TO BE INCLUDED IN BID ESTIMATE FOR THE CONTRACT. 6. THE CONTRACTOR MUST SUBMIT A MAINTENANCE OF TRAFFIC PLAN AT LEAST FIVE (5) WORKING DAYS PRIOR TO RESTRICTION OR CLOSURE OF ANY

GRADING. EARTHWORK, AND BACKFILL NOTES:

- 1. FILL AREAS IN PAVEMENT AND BUILDING AREAS SHALL BE PLACED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698). THE UPPER 9 INCHES OF NATIVE SUBGRADE IN FILL AREAS AND DETENTION BASIN FILL AREAS SHALL BE RECOMPACTED
- TO AT LEAST 95% OF THE MATERIAL'S STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698). COMPACTION TESTS ARE REQUIRED FOR EACH FILL LIFT. NO LIFT TO EXCEED 12 INCHES IN DEPTH. CONTRACTOR IS RESPONSIBLE FOR ALL
- PROCTOR AND COMPACTION TEST ON MATERIALS 3. ALL DUST SHALL BE CONTROLLED BY WATERING WHEN NECESSARY.
- THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING. 5. THE SUB-GRADE OF ALL FOUNDATION AREAS SHALL BE OBSERVED BY AN EXPERIENCED LICENSED GEOTECHNICAL ENGINEER OR THEIR FIELD
- REPRESENTATIVE PRIOR TO THE PLACEMENT OF ANY CONCRETE OR FILL MATERIAL. 6. ALL GRADES SHALL BE TO WITHIN +/- 1 INCH OF THOSE SHOWN ON THE GRADING PLAN WHILE MAINTAINING POSITIVE DRAINAGE.

CHARTER TOWNSHIP OF GARFIELD & MDOT CONSTRUCTION NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE VILLAGE AND/OR MDOT AT LEAST 48 HOURS PRIOR TO POURING CONCRETE, INSTALLING STORM SEWER, INSTALLING WATER LINE SERVICE AND SANITARY SEWER SERVICE, OR OTHERWISE PROVIDING SUCH
- ADVANCE NOTICE AS MAY BE REQUIRED BY THESE JURISDICTIONS. ALL WORK, MATERIALS, AND INSTALLATION SHALL NOT BE DEEMED SATISFACTORY UNTIL SUCH TIME AS ALL APPROVALS ARE OBTAINED
- FROM THE JURISDICTIONAL AUTHORITY. THE CONTRACTOR SHALL PROCEED AT THEIR OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL
- NECESSARY PERMITS FOR THE WORK TO BE COMPLETED. CONTRACTOR SHALL BE REQUIRED TO REMOVE AND REPLACE ANY SIGNS THAT NEED TO BE MOVED TO COMPLETE THE WORK. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT
- THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES.
- ANY SIDEWALKS, CURB AND GUTTER, OR STREET ROADWAY PAVEMENT DAMAGED IN THE COURSE OF CONSTRUCTION ACTIVITY ON
- ADJACENT PRIVATE PROPERTY MUST BE REPLACED IN KIND. ALL DISTURBED AREAS WITHIN VILLAGE OF KINGSLEY, GRAND TRAVERSE COUNTY, AND MDOT RIGHT-OF-WAY SHALL BE RESTORED PER THEIR REQUIREMENTS.

SANITARY SEWER NOTES:

- 1. SANITARY SEWER SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS SPECIFICATIONS OF THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW).
- SANITARY SEWER LEADS SHALL BE SCHEDULE 40 POLYVINYL CHLORIDE (PVC) WITH SOLVENT WELDED JOINTS AS DEFINED IN ASTM D - 2672 OR EXTRA STRENGTH SOLID WALL, SDR 23.5 ABS AS DEFINED IN ASTM D-1788. SEWER WYE FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE, UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
- FOUNDATION DRAINS, IF INSTALLED, SHALL NOT CONNECT TO THE SANITARY SEWER. SIX (6) INCH WYE FITTINGS WITH SIX (6) INCH LATERALS SHALL BE CONSTRUCTED FROM THE SANITARY SEWER MAIN TO THE BUILDING LINE AT THE ELEVATION INDICATED. EACH LATERAL SHALL EXTEND AT A 45 DEGREE ANGLE TO THE SEWER MAIN AND EXTEND UPWARD TO APPROXIMATELY ONE (1) FOOT FROM THE SANITARY MAIN FLOWLINE TO THE LATERAL FLOWLINE. LATERALS SHALL BE EXTENDED AT 1% AND TERMINATED THREE (3) FEET ABOVE GRADE.

WATERMAIN NOTES:

- 1. ALL WATER MAIN CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- WATER MAIN SERVICES SHALL HAVE A MINIMUM COVER 72" FROM FINISHED GRADE TO TOP OF PIPE.
- ALL DOMESTIC WATER SERVICE LINES 2" AND SMALLER SHALL BE FLEXIBLE TYPE "K" COPPER. ALL WORK PERFORMED ON ANY WATER LINES AND/OR APPURTENANCES THAT ARE OWNED OR ANTICIPATED TO BE OWNED BY THE CHARTER TOWNSHIP OF GARFIELD BE COMPLETED UNDER THE DIRECTION OF THE VILLAGE AND THE ENGINEER, ADHERING TO AN ACCEPTABLE PLAN APPROVED BY CHARTER TOWNSHIP OF GARFIELD. A MINIMUM 24 HOURS NOTICE SHALL BE GIVEN TO THE WATER COMPANY BY THE CONTRACTOR PRIOR TO THE START OF WATER LINE WORK. ONE SET OF APPROVED PLANS SHALL BE ON THE JOB SITE DURING CONSTRUCTION. WATER LINE CONSTRUCTION WILL NOT BE PERMITTED TO START UNTIL ALL APPROVALS ARE RECEIVED. THERE SHALL BE NO DEVIATION FROM THE APPROVED PLANS WITHOUT WRITTEN APPROVAL FROM THE WATER

SOIL EROSION & SEDIMENTATION NOTES:

- 1. ALL SOIL AND EROSION MEASURES SHALL CONFORM TO AND BE IN COMPLIANCE WITH CHARTER TOWNSHIP OF GARFIELD, GRAND
- TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT. 2. ALL WATER POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THESE PLANS ARE DIAGRAMMATIC. THE
- CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS THAT ARE APPROPRIATE FOR EACH PHASE OF CONSTRUCTION. 3. ALL SOIL AND EROSION CONTROL MEASURES SHALL CONFORM TO CHARTER TOWNSHIP OF GARFIELD, GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
- 4. ALL PERIMETER SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING. 5. EROSION CONTROL MEASURES SHOULD BE CONSIDERED ALONG THE FACE OF EACH SLOPE. EROSION CONTROL MEASURES TYPICALLY EMPLOYED WOULD INCLUDE, SILT FENCES, INLET PROTECTION, DITCH CHECKS AND TIMELY SEEDING OR SODDING.
- 6. ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. . AFTER A RAINFALL EVENT, ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL BMP'S.
- 8. GRADED AREAS AROUND THE PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING
- 9. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE PRECAUTION TO ENSURE THAT SEDIMENTATION DAMAGE WILL NOT OCCUR. THE CONTRACTOR SHALL RESTRICT THE AMOUNT OF LAND AREA GRADED AT ANY ONE TIME TO A MINIMUM. IT IS RECOMMENDED
- DURING AND AFTER GRADING, THAT A TEMPORARY VEGETATIVE COVER BE ESTABLISHED TO PROTECT THE BARE SOIL SURFACE. 10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- 11. THE ENGINEER RESERVES THE RIGHT TO MAKE CHANGES OR MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLAN AS

12. TEMPORARY EROSION PROTECTION IS REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.

- 13. AREAS SHALL BE MAINTAINED IN SUCH A STATE FOR FIRE ACCESS AT ALL TIMES (INCLUDING ACCESS TO NEIGHBORING PROPERTIES). 14. NO OBSTRUCTION OR DISTURBANCE OF NATURAL DRAINAGE COURSES OR EXISTING STORM DRAIN INLETS SHALL OCCUR, UNLESS ADEQUATE TEMPORARY/PERMANENT DRAINAGE FACILITIES HAVE BEEN APPROVED AND INSTALLED TO CARRY SURFACE WATER TO THE
- NEAREST PRACTICAL STREET, STORM DRAIN, OR NATURAL WATERCOURSE. 15. THE CONTRACTOR SHALL CONDUCT THEIR OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF WILL BE CONTAINED WITHIN THE
- PROJECT OR CHANNELED INTO THE STORM DRAINAGE SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE ALLOWED TO DIVERT TO ANOTHER RUNOFF AREA. 16. ANY EROSION AND SEDIMENT CONTROL PLAN CONTAINED IN THE PROJECT PLANS SHOULD BE CONSIDERED A GENERAL GUIDELINE TO BE UTILIZED FOR EROSION CONTROL PREVENTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EROSION AND DISPLACED SEDIMENT DOES NOT MIGRATE OFF SITE. IF UNEXPECTED EROSION OR SEDIMENTATION OCCURS, OR IF THE EROSION PLAN STRUCTURES BECOME DAMAGED, THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEASURES TO REPAIR, REPLACE, OR INSTALL
- EROSION CONTROL STRUCTURES TO ENSURE OFF-SITE DAMAGE DOES NOT OCCUR. ANY SEDIMENT OR EROSION DAMAGE WHICH OCCURS OFF-SITE SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. 17. CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITIES TO THE SITE AND ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT LIMITED
- MUD, AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT. 18. FILL AREAS, WHILE BEING BROUGHT UP TO GRADE AND DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED BY VARIOUS MEASURES TO ELIMINATE EROSION AND THE SILTATION OF DOWNSTREAM FACILITIES AND ADJACENT AREAS. THESE MEASURES MAY INCLUDE, BUT SHALL NOT BE LIMITED TO: TEMPORARY DOWNDRAINS, EITHER IN THE FORM OF PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS; GRADED BERMS AROUND AREAS TO ELIMINATE EROSION OF FILL SLOPES BE SURFACE RUNOFF; CONFINED PONDING AREAS TO DESILT RUNOFF; TEMPORARY CHECK DAMS IN THE TOE SLOPE DITCHES TO DESILT RUNOFF; PROTECTION SUCH AS SAND BAGS AROUND INLETS WHICH HAVE NOT BEEN BROUGHT UP TO GRADE: AND EARTH BERMS AND APPROPRIATE GRADING TO DIRECT DRAINAGE AWAY FROM THE EDGE OF THE TOP OF SLOPES SHALL BE CONSTRUCTED AND

TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER,

- MAINTAINED ON FILL AREAS WHERE EARTHWORK OPERATIONS AREA NOT IN PROGRESS. 19. CLEARING AND GRUBBING SHOULD BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES WILL BE REQUIRED TO PROTECT AREAS THAT HAVE BEEN CLEARED AND GRUBBED PRIOR TO GRADING OPERATIONS. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO: GRADED DITCHES; BRUSH BARRIERS; AND SILT FENCES. CARE SHALL BE
- EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING. 20. PAVED SURFACES WITH ACCUMULATED MATERIALS SHALL BE WASHED AND SWEPT WITH MECHANICAL EQUIPMENT AFTER PAVEMENT IS
- CONSTRUCTED, BUT PRIOR TO FINAL ACCEPTANCE. 21. THE CONTRACTOR SHALL PLACE FILTER FABRIC AROUND ALL INLETS. BARRIERS AROUND INLETS IN STREETS OR PAVED AREAS SHALL BE REMOVED PRIOR TO FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS.
- 22. TOWNSHIP APPROVAL OF THESE PLANS DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE ENGINEER FOR APPROVAL.

STORM & DRAINAGE NOTES:

- STORM AND DRAINAGE SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MDOT STANDARD
- SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION. STORMWATER AND ALL OTHER UNPOLLUTED DRAINAGE SHALL BE DISCHARGED INTO SUCH SEWERS AS ARE
- SPECIFICALLY DESIGNED AS STORM SEWER OR TO A NATURAL OUTLET. 3. ALL STORM SEWER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
- 4. ALL STORM SEWER STRUCTURES AND BEDDING REQUIRED FOR STORM SEWER PIPE SHALL BE CONSTRUCTED IN
- ACCORDANCE WITH GARFIELD TOWNSHIP STANDARDS, LASTEST EDITION. ALL TRENCHES UNDER AREAS TO BE PAVED AND UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED AND PLACED
- IN ACCORDANCE WITH GARFIELD TOWNSHIP STANDARDS. ALL TRENCH BACKFILL UNDER PAVEMENT WITHIN PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL. TRENCH
- BACKFILL UNDER PAVED AREAS AND OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL IN LIEU OF EARTH BACKFILL COMPACTED TO 90% OF THE MODIFIED ASSHTO T-180 COMPACTION TEST ASTM D-1557
- JETTING IS NOT AN ACCEPTABLE METHOD OF ACHIEVING BACKFILL BACKFILL COMPACTION. ALL BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTOR MAXIMUM DRY
- MINIMUM COVER OVER PVC PIPE SHALL BE ONE FOOT FROM THE TOP OF RIGID ROADWAY SURFACES OR THE BOTTOM OF FLEXIBLE ROADWAY SURFACES. AT SHALLOW DEPTHS OF COVER (1 FOOT TO 3 FOOT), CLASS 1 OR CLASS II MATERIAL PER ASTM D2321 WITH A MINIMUM OF 95% PROCTOR DENSITY.

- 1. ALL WORK SHALL BE IN CONFORMANCE WITH THE CURRENT VERSION OF THE LOCAL ACCESSIBILITY CODE (BOTH TOWNSHIP AND STATE), MSHDA AND WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA).
- ALL RAMPS SHALL NOT BE EXCEED A RUNNING SLOPE OF 1:12 OR 8.33%.
- RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 OR 5.00% AND 1:12 OR 8.33% AND SHALL HAVE A MINIMUM CLEAR WIDTH OF 3 FEET AND A MAXIMUM CROSS-SLOPE OF 1:50 OR 2.00%. RAMPS EXCEEDING 30 INCHES OF VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2.00% MAXIMUM SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN DIRECTION OF TRAVEL OF 60 INCHES. BOTTOM LANDINGS SHALL HAVE A MINIMUM LENGTH OF 60 INCHES IN THE DIRECTION OF TRAVEL. LANDINGS SHALL BE AT LEAST THE WIDTH AS THE WIDEST RAMP RUN LEADING TO THE LANDING. LANDINGS AT RAMP DIRECTION CHANGES SHALL HAVE A MINIMUM
- WIDTH AND LENGTH OF 60 INCHES. 4. THE MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2.00%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES
- SHALL HAVE A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS. ALL ACCESSIBLE ROUTES OF TRAVEL SHALL HAVE A MINIMUM OF THREE (3) FOOT CLEAR WIDTH FOR ACCESSIBLE CONFORMANCE, UNLESS OTHERWISE NOTED PER THE PLANS.
- TRUNCATED DOMES AS DETECTABLE WARNINGS MAY BE REQUIRED ON WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN THE WALKWAY AND VEHICULAR WAY.

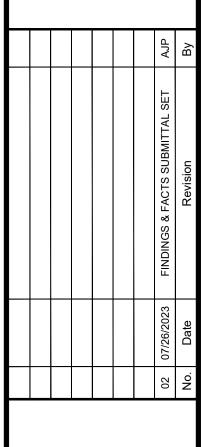


Gosling Czuba

1280 Business Park Dr Traverse City, Michigar 231-946-9191 phone info@goslingczubak.com www.goslingczubak.com

engineering sciences, in

CIVIL ENGINEERING **ENVIRONMENTAL SERVICES** GEOTECHNICAL **CONSTRUCTION SERVICES** DRILLING LANDSCAPE ARCHITECTURE



ŽÕĢ AGE

Date Issued: Date Surveyed: Designed By: Drawn By: Checked By: AS NOTE

Original sheet size is 24x36 PART OF SECTION 23 T27N, R11W GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY,

MICHIGAN oject Number

2022410001

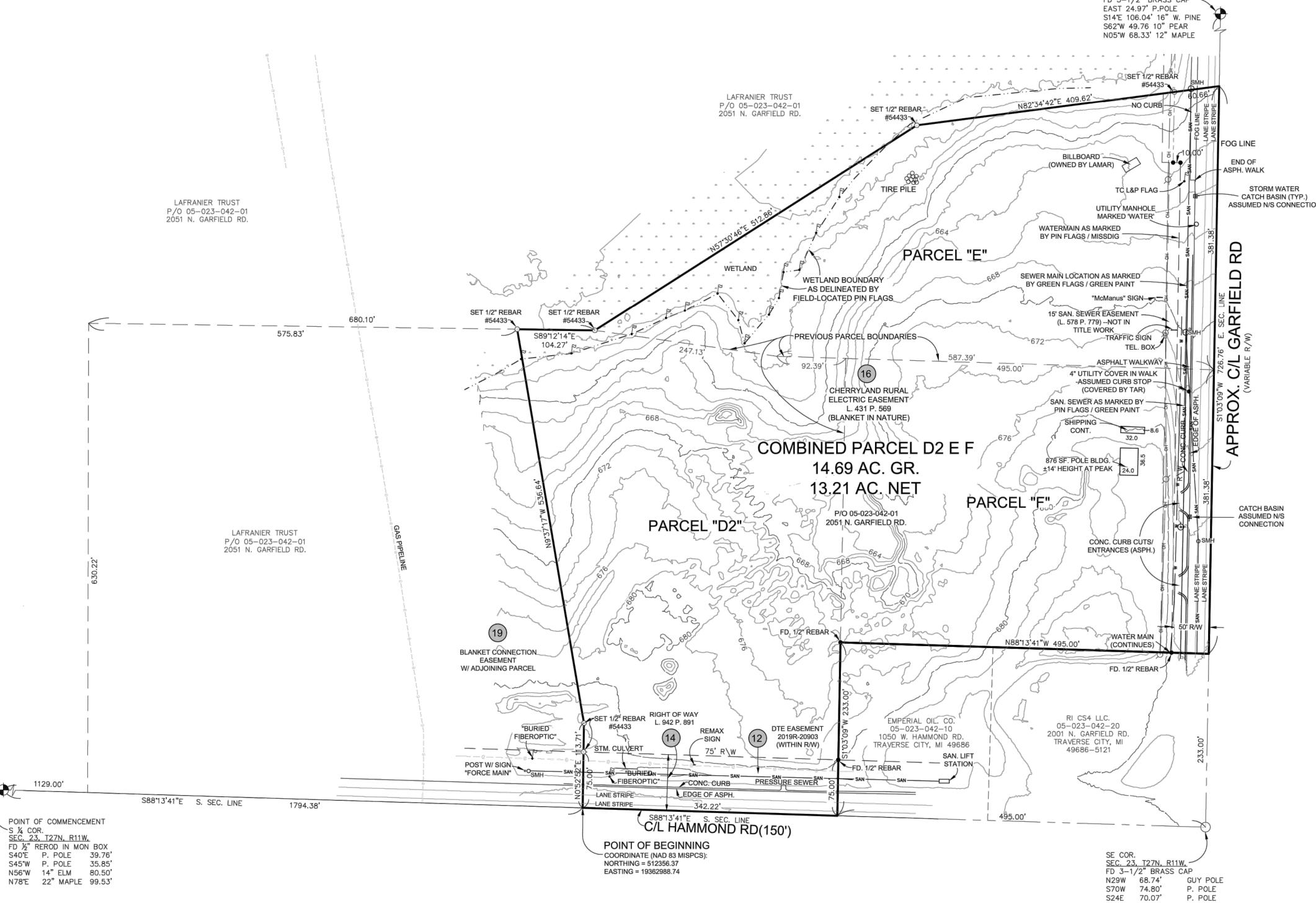
ALTA / NSPS LAND TITLE SURVEY

SECTION 23, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN

EAST 1/4 COR.

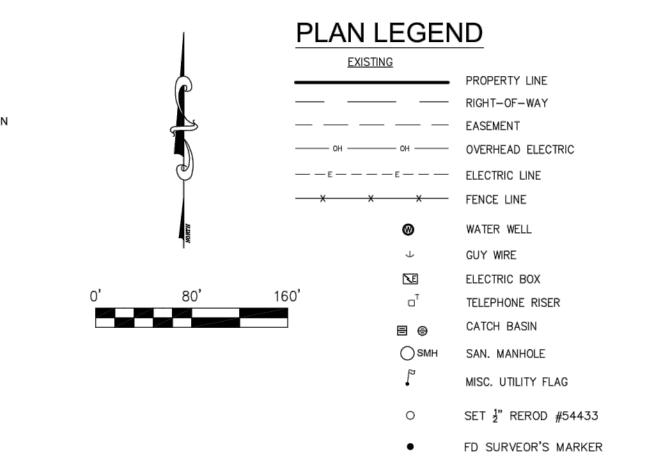
N28E 102.08'

6" SPRUCE





VICINITY MAP (NOT TO SCALE)



LEGAL DESCRIPTION

First American Title Insurance Company Commitment Number: STS-6000 REV NO. 1

Commitment Date: April 20, 2022 (No time of day published) (AS FURNISHED):

Land in Garfield Township , County of Grand Traverse, State of Michigan, described as:

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1794.38 feet, to the Point of Beginning; thence North 00°52'52" East, 113.71 feet; thence North 09°37'17" West, 536.64 feet; thence South 89°12'14" East, 104.27 feet; thence South 81°54'14" East, 247.13 feet; thence South 88°13'49" East, 92.39 feet; thence South 01°03'09" West 614.36 feet, to the South line of said Section; thence North 88°13'41" West, along said South section line, 342.22 feet, to the Point of Beginning.

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1129.00 feet; thence North 00°07'20" East, 630.22 feet; thence South 89°12'14" East, 680.10 feet, to the Point of Beginning; thence North 57°30'46" East, 512.86 feet; thence North 82°34'42" East, 409.62 feet, to the East line of said section; thence South 01°03'09" West, along said East Section line, 381.38 feet; thence North 88°13'49" West, 587.39 feet; thence North 81°54'14" West, 247.13 feet, to the Point of Beginning

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East. along the South line of said Section 23, 2136.60 feet; thence North 01°03'09" East, 233.00 feet, to the Point of Beginning; thence North 01°03'09" East, 381.36 feet; thence South 88°13'49" East, 495.00 feet, to the East line of said Section; thence South 01°03'09" West, along said East Section line, 381.38 feet; thence North 88°13'41" West, 495.00 feet, to the Point

Combined Parcel "D-2 E F" (Combined For Zoning Purposes):

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1794.38 feet, to the Point of Beginning; thence North 00°52'52" East, 113.71 feet; thence North 09°37'17" West, 536.64 feet; thence South 89°12'14" East, 104.27 feet; thence North 57°30'46" East, 512.86 feet; thence North 82°34'42" East, 409.62 feet, to the East line of said section; thence South 01°03'09" West, along said East section line, 762.76 feet; thence North 88°13'41" West, 495.00 feet; thence South 01°03'09" West, 233.00 feet, to the South line of said section; thence North 88°13'41" West, along said South section line, 342.22 feet, to the Point of Beginning. Said parcel contains 14.69 acres, more or less.

Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of infrastructure.

SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.

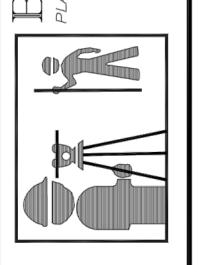
To (i) Outlook Development, LLC, A Michigan LLC; (ii) MSHDA; (iii) FIRST AMERICAN TITLE

The field work was completed on II-I-2021 thru 9-26-2022.

Date of Plat or Map: __<u>9/26/2022</u>___

JESSE E. MITCHELL Registration No. 4001054433





20210403 ALTA M DATE DRAWN:

TELD CHECK: EVIEWED BY: J. E. MITCHE

PROJECT MANAGER: JESSE E. MITCHEL

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during

SURVEYOR CERTIFICATION

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items I-II, I3., I4, 16-21, of Table A thereof.

JESSE

MITCHELL

License No.

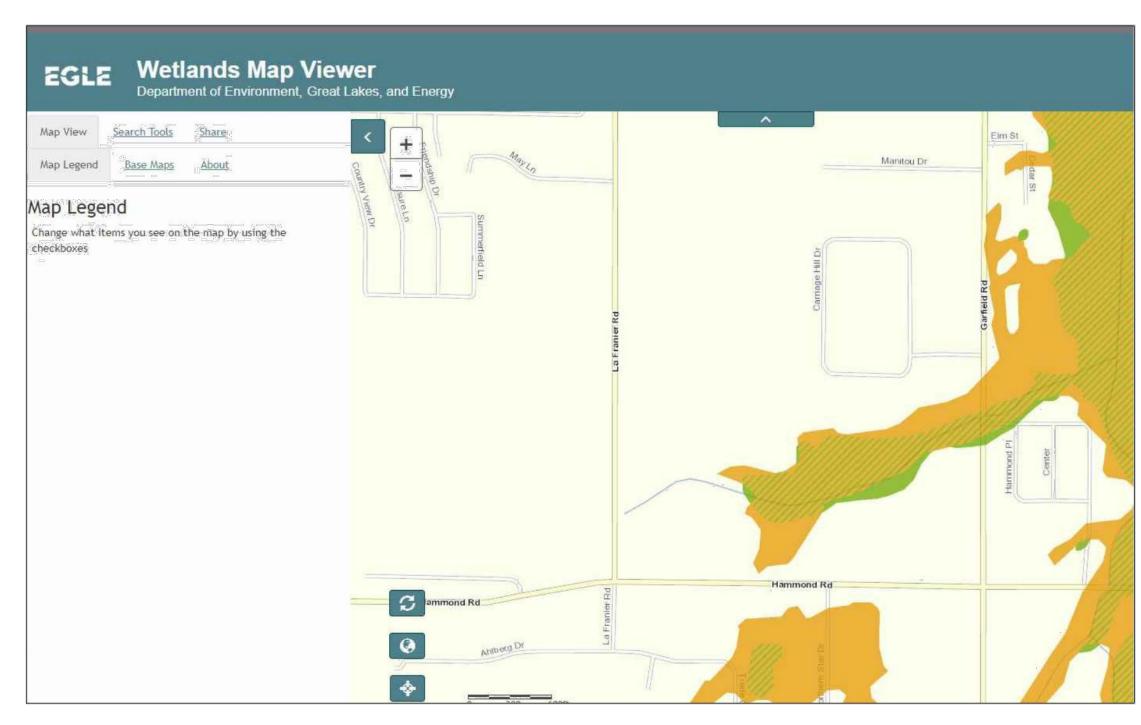
4001054433

EMAIL: jesse@mapcivilsurvey.com

20210403

SHEET 1 OF 2

GRAND



EGLE WIP COVERAGE MAP

TABLE A OPTIONAL SURVEY RESPONSIBILITIES

- As pertaining to Item 1 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, monumentation at all major land corners are as shown on the survey.
- As pertaining to Item 2 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the address of the subject parcel is as shown on the survey.
- As pertaining to Item 3 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A
 requirements, the subject parcel DOES NOT fall within a special flood hazard zone according to the Flood Insurance Rate Map published by the Federal Emergency Management Agency (FEMA) for the Garfield Township, State of Michigan, Grand Traverse County, Community Panel Number — 26055C0228C, an Effective Date of August 28, 2018. As noted in said document, the scaled location of the subject property is in "OTHER AREAS" Zone.
- As pertaining to Item 4 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the gross land area of of the subject parcel is 14.69 acres, as shown on the survey.
- As pertaining to Item 5 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the Vertical relief is shown. Contours shown on Survey are result of IIDAR data. Spot elevations were measured at 100' intervals to verify IIDAR data accuracy.
- As pertaining to Item 6 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, a zoning report or letter was not provided by the client; the subject parcel was zoned "Agricultural" prior to 2022. An application for zoning map amendment was accepted and approved by Garfield Township in 2022, rezoning the parcel to R3 (Multi-family).
- As pertaining to Items 7.(a) of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, the exterior dimensions of all buildings are shown on this survey; (b) the square footage is shown on survey for pole building; (c) the measured height of pole building is shown on Survey.
- As pertaining to Item 8., of Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements substantial features observed in the process of conducting the fieldwork are shown on this Survery.
- As pertaining to Item 9., of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A
- requirements, parking space type and striping is non-applicable, as none exist on subject parcel. · As pertaining to Item 10 of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A
- requirements, no party walls exist with respect to adjoining properties and is non-applicable for this Survey. As pertaining to Item 11, of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A
- requirements the location of utilities on or serving the surveyed property was determined by visible evidence, by evidence of MISS DIG paint markings, and labeled pin flags.
- As pertaining to Item 13 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the names of adjoining owners are shown on Survey according to current tax records.
- As pertaining to Item 14 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the distance(s) to the nearest intersecting street (Hammond Rd. & Garfield Rd.), are shown on
- As pertaining to Item 16 of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, evidence of earthwork along the Northern boundary as indicated by half-buried silt fence was observed. Historic activity on site appears to show borrow-pits, as well as areas filled, as evidenced by dump truck mounds.
- As pertaining to Item 17 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, no proposed changes to the right-of-way of either Hammond Rd, or Garfield Rd, were observed, nor were any recent construction or repairs to features within the right-of-ways.
- As pertaining to Item 18 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, offsite easements have been included in this survey and are as—shown on map.
- As pertaining to Item 19 of the Minimum Standard Detail requirements for ALTA/NSPS_Land Title Surveys Table A requirements, the surveyor maintains Professional Liability Insurance in the amount of \$1,000,000.
- As pertaining to an additional Item 20, of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, weathered (pink) wetland markers labeled 'Wetland' were observed and located while conducting survey and are shown on this map.

SURVEYOR'S NOTES

- Bearing Basis: NAD(83) MSPCS Central Zone (2112), 2011 adj International Feet.
- DISTANCES ARE SHOWN IN NAD 83 MICHIGAN CENTRAL STATE PLANE GRID IN INTERNATIONAL FEET. 1 INTERNATIONAL FOOT=0.3048 METERS. COMBINED GRID FACTOR FOR THE PROJECT

GRID DISTANCE COMBINED GRID FACTOR =GROUND DISTANCE

- Date of Survey: November 2021 and completed on 9-26-2022
- Datum of Elevations: North American Vertical Datum of 1988 (NAVD 88) GPS Derived.
- Dimensions on this survey are expressed in International Feet and decimal parts thereof unless otherwise noted.
- ITEMS NOT DISCLOSED IN TITLE POLICY:
- -- L. 578, P. 779: 15 FOOT EASEMENT FOR SANITARY SEWER ALONG WESTERLY RIGHT-OF-WAY OF GARFIELD RD. EXPANDED RIGHT-OF-WAY ALONG GARFIELD RD.
- -- BILLBOARD OWNED BY LAMAR ADVERTISING FOR ADVERTISEMENT ALONG GARFIELD RD.
- -- PHONE LINE ALONG EAST BOUNDARY OF SUBJECT PARCEL

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met. --Not a matter of Survey.
- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or by making inquiry of persons in possession of the Land. --None ascertained or observed at time of Survey
- --None ascertained or observed at time of Survey
- accurate and complete land survey of the Land, and that are not shown in the Public Records. --None ascertained or observed at time of Survey.
- --Not a matter of Survey
- Taxes and assessments which become due and payable after the date of Commitment, including taxes and assessments which may be added to the tax rolls or tax bill after the date of Commitment as a result of the taxing authority disallowing or revising an allowance of a Principal Residence Exemption. The Company assumes no liability for tax increases occasioned by retroactive revaluation or changes in the Land usage or loss of any homestead exemption status for the insured premises. --Not a matter of Survey
- --Not a matter of Survey
- 8. Interest, if any, of the United States, State of Michigan, or any political subdivision thereof, in the oil, gas and minerals in and under and that may be produced from the captioned Land. --Not a matter of Survey
- - Terms, Conditions and provisions contained in Certificate of Approval (with conditions) Land Division
- the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 942, Page 891.--Plotted
- 15.) Drainage Easement in favor of Board of County Road Commissioners of the County of Grand Traverse and the
- Covenants, Conditions and Restrictions contained in instrument recorded in Liber 942, Page 890.--Off-site / NA
- Right-of-Way Easement in favor of Cherryland Rural Electric Co-Operative Association and the Covenants,
 Conditions and Restrictions contained in instrument recorded in Liber 431, Page 569, and aboled a Blanket in Liber 431. Conditions and Restrictions contained in instrument recorded in Liber 431, Page 569. --Labeled - Blanket in Nature.
- Restrictions contained in instrument recorded in Liber 210, Page 413 and Modification of Right of Way contained in instrument recorded in Liber 778, Page 124. --Off-site / Plotted for isolation purposes.
- Terms, Conditions and provisions contained in Certificate of Approval Boundary Adjustment Application as disclosed by instrument recorded in 2022R-06789. --As shown on Survey - Blanket Connection Easement

SCHEDULE B - SECTION II EXCEPTIONS

PART ONE: GENERAL EXCEPTIONS:

- Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title including discrepancies, conflicts in boundary lines, shortage in area, or any other facts that would be disclosed by an
- Any lien or right to lien for services, labor or material imposed by law and not shown by the Public Records.
- Interest of others in oil, gas and mineral rights, if any, whether or not recorded in the Public Records.
- Any claim based on the failure to comply with the provisions of Governmental Laws and Regulations regarding the division of the land. --Not a matter of Survey
- Any rights, title, interest or claim thereof to that portion of the land taken, used or granted for streets, roads or highways.
- (11.) Rights of tenants, if any, under any unrecorded leases. --Not a matter of Survey

PART TWO: SPECIFIC EXCEPTIONS:

- 12.) Easement in favor of DTE Gas Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Document 2019R-20003 Plotted instrument recorded in Document 2019R-20903. --Plotted
- Application as disclosed by instrument recorded in 2019R-09025.---Not a matter of survey.
- (14.) Release of Right of Way in favor of Board of County Road Commissioners of the County of Grand Traverse and
- 17.) Right-of-Way Agreement in favor Michigan Consolidated Gas Company and the Covenants, Conditions and
- (18.) Taxes are based on parent parcel and no split information is available. -- Not a matter of survey.

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20210403 ALTA MJ

JESSE E. MITCHELL

DATE DRAWN: 9/26/2022

REVIEWED BY: J. E. MITCHELL

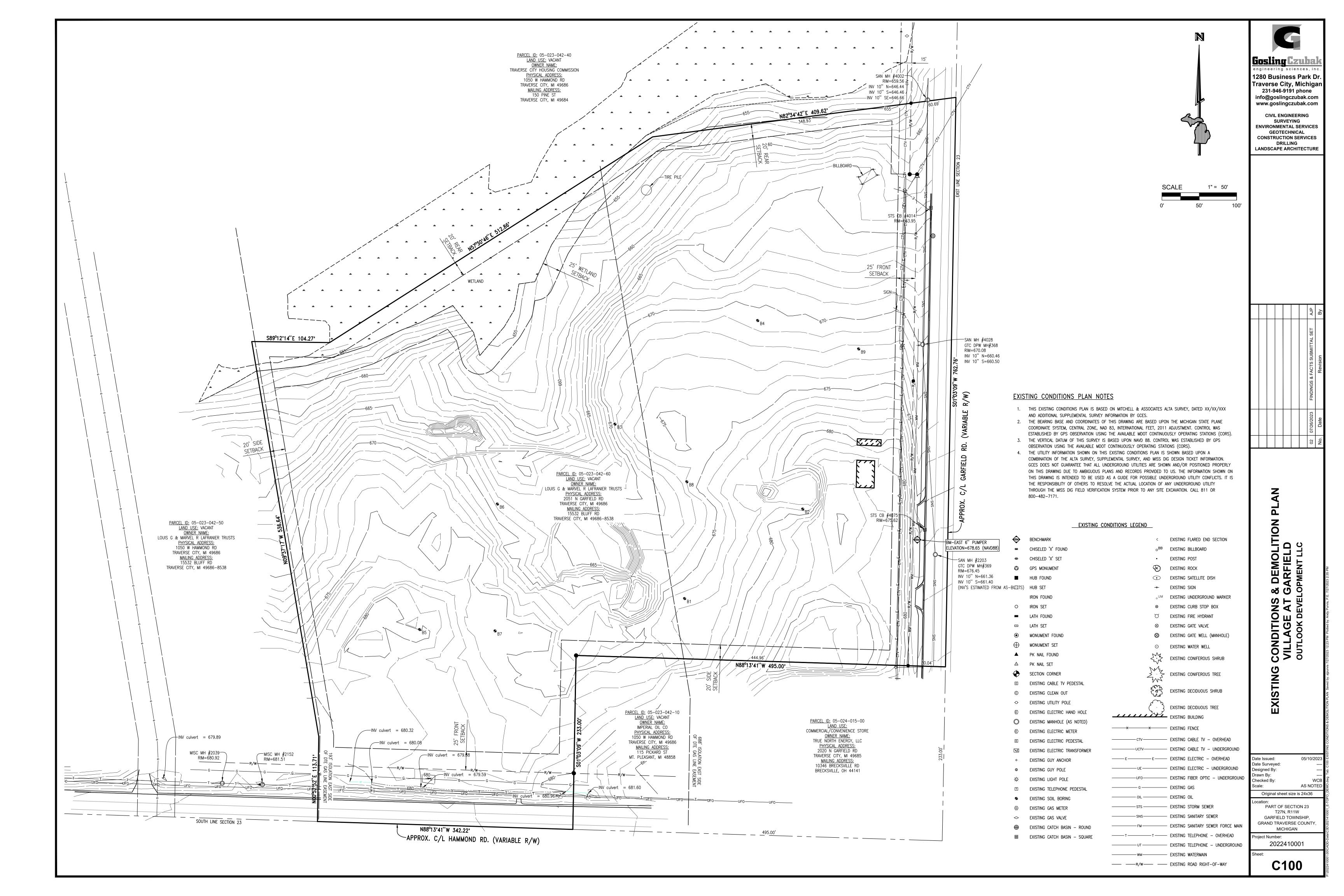
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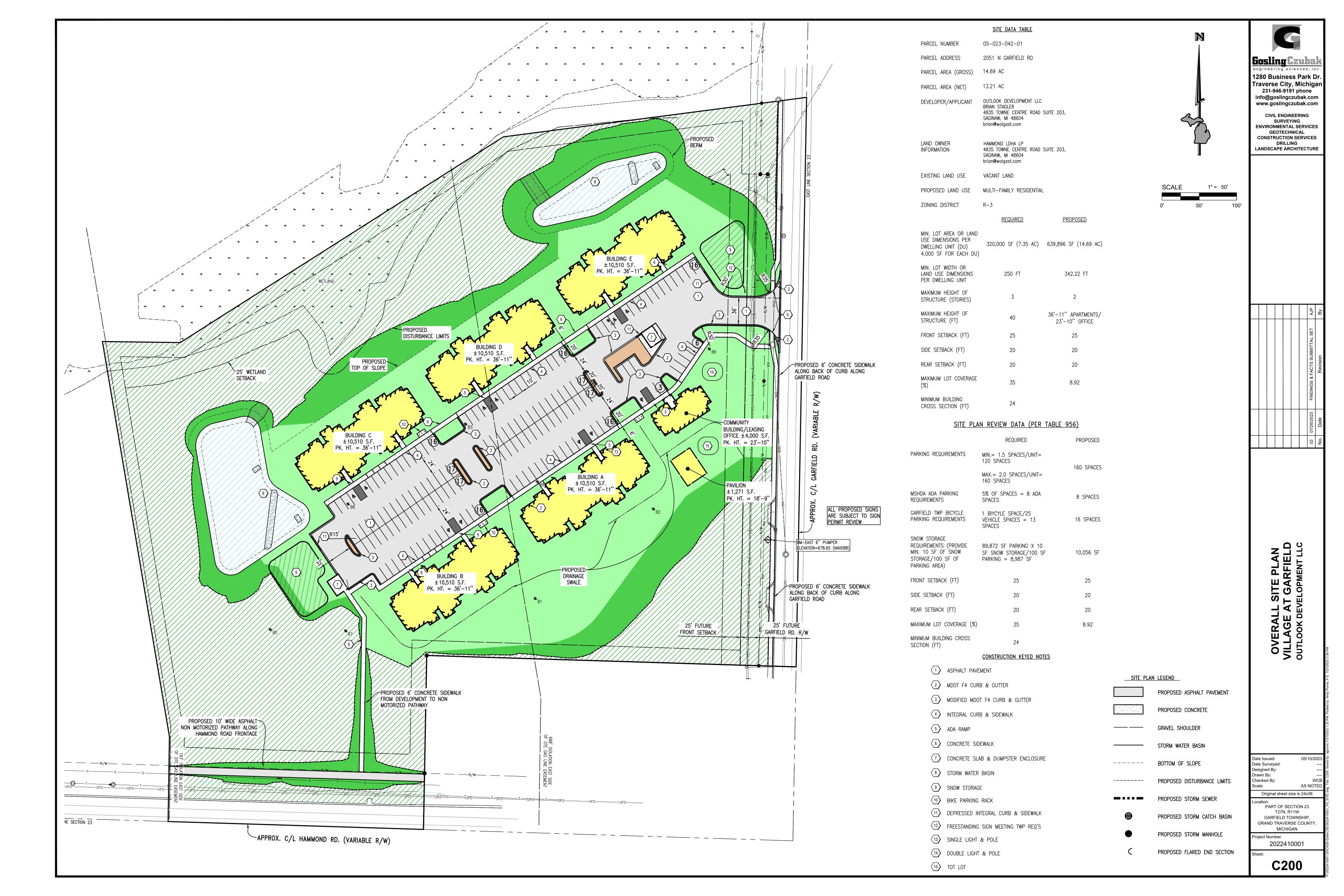
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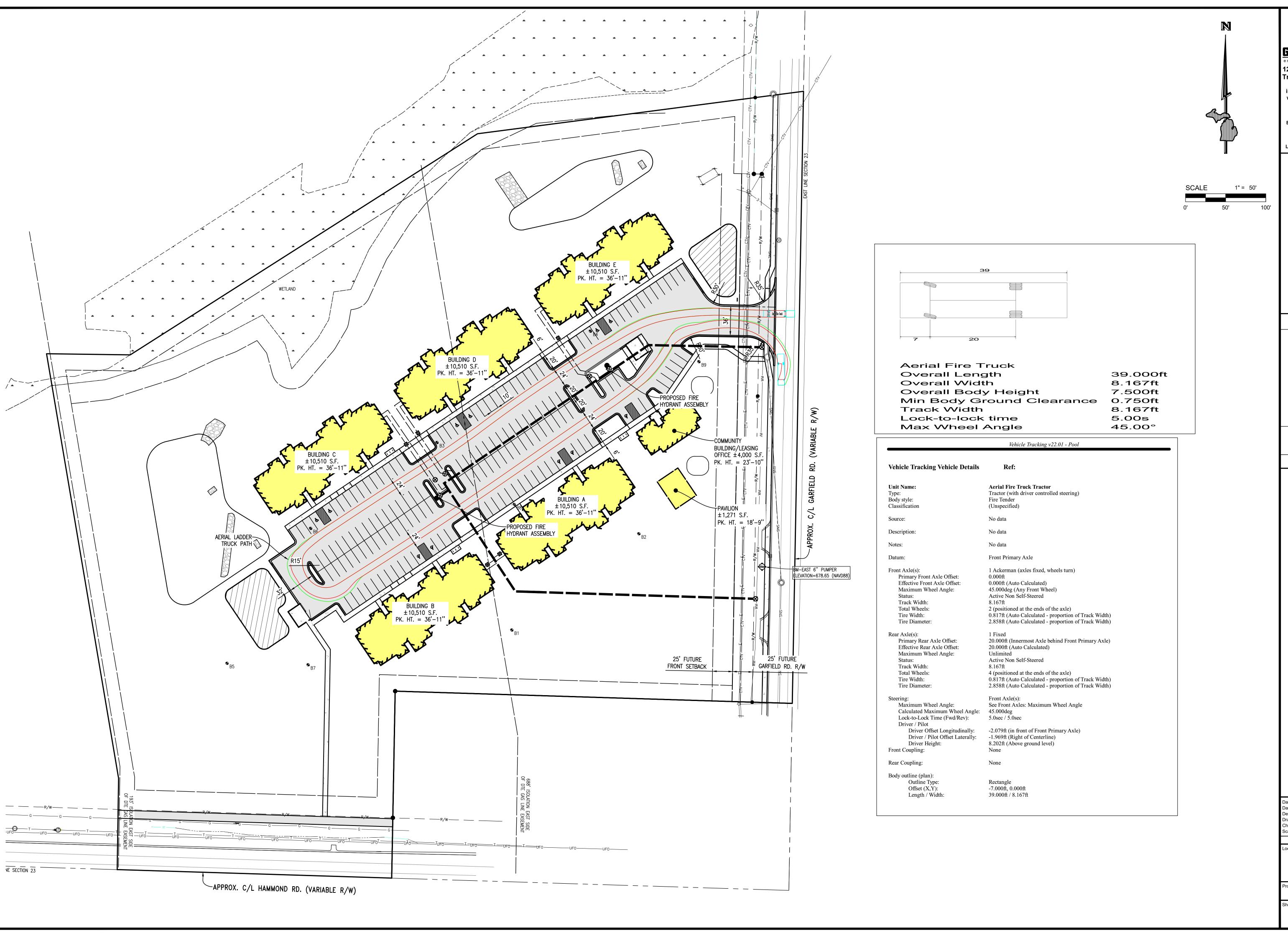
PROJECT MANAGER:

20210403

SHEET 2 OF 2









iosling Gruba

1280 Business Park Dr.
Traverse City, Michigan
231-946-9191 phone
info@goslingczubak.com
www.goslingczubak.com

CIVIL ENGINEERING
SURVEYING
ENVIRONMENTAL SERVICES
GEOTECHNICAL
CONSTRUCTION SERVICES
DRILLING
LANDSCAPE ARCHITECTURE

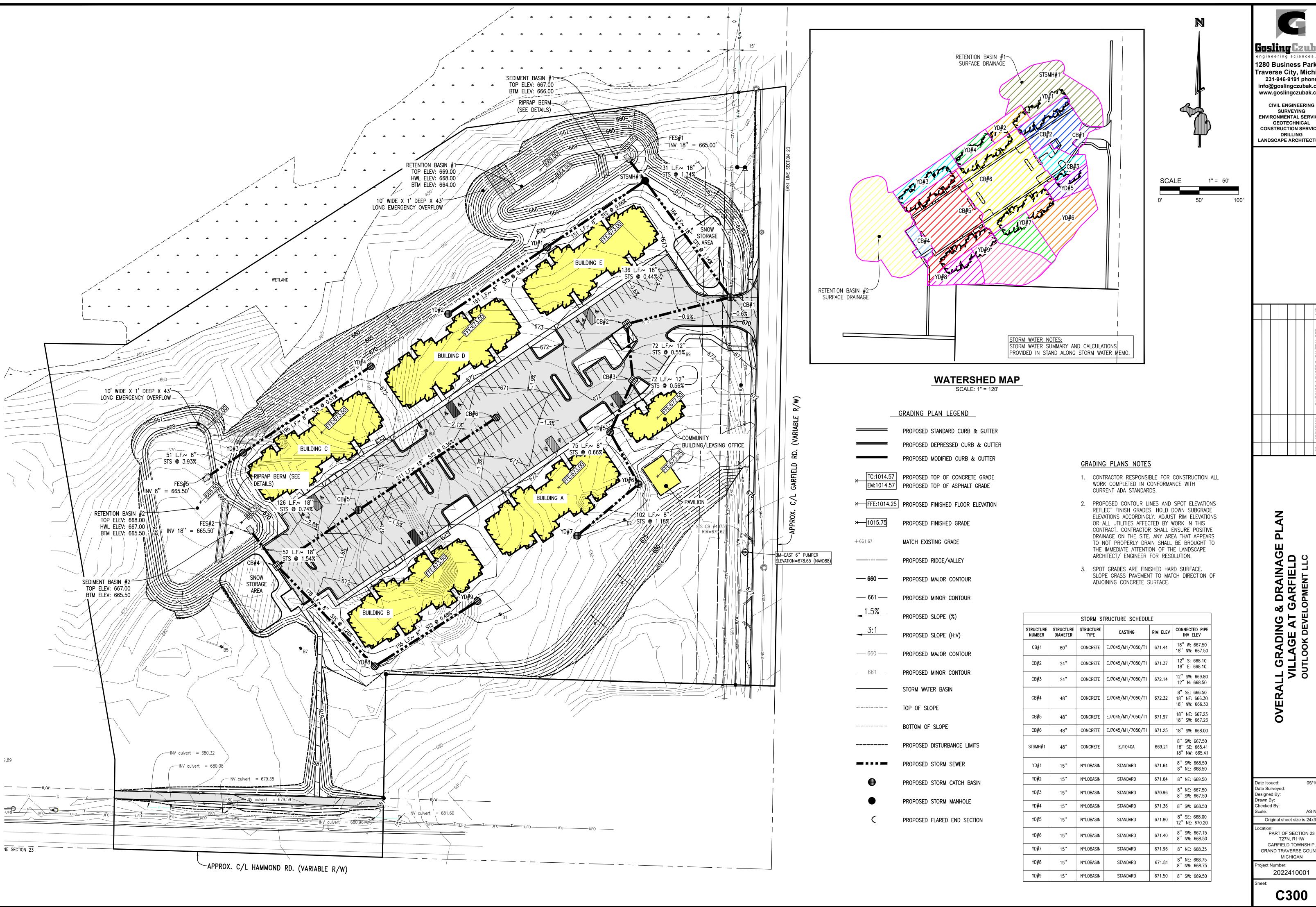
EMERGENCY ACCESS PLAN VILLAGE AT GARFIELD OUTLOOK DEVELOPMENT LLC

Date Issued: 05/10/2022
Date Surveyed: --Designed By: AJI
Drawn By: AJI
Checked By: WCI
Scale: AS NOTED
Original sheet size is 24x36

Location:
PART OF SECTION 23
T27N, R11W
GARFIELD TOWNSHIP,
GRAND TRAVERSE COUNTY
MICHIGAN

Project Number: 2022410001

C201



1280 Business Park Dr Traverse City, Michiga 231-946-9191 phone info@goslingczubak.com www.goslingczubak.com

SURVEYING ENVIRONMENTAL SERVICES GEOTECHNICAL CONSTRUCTION SERVICES DRILLING LANDSCAPE ARCHITECTURE

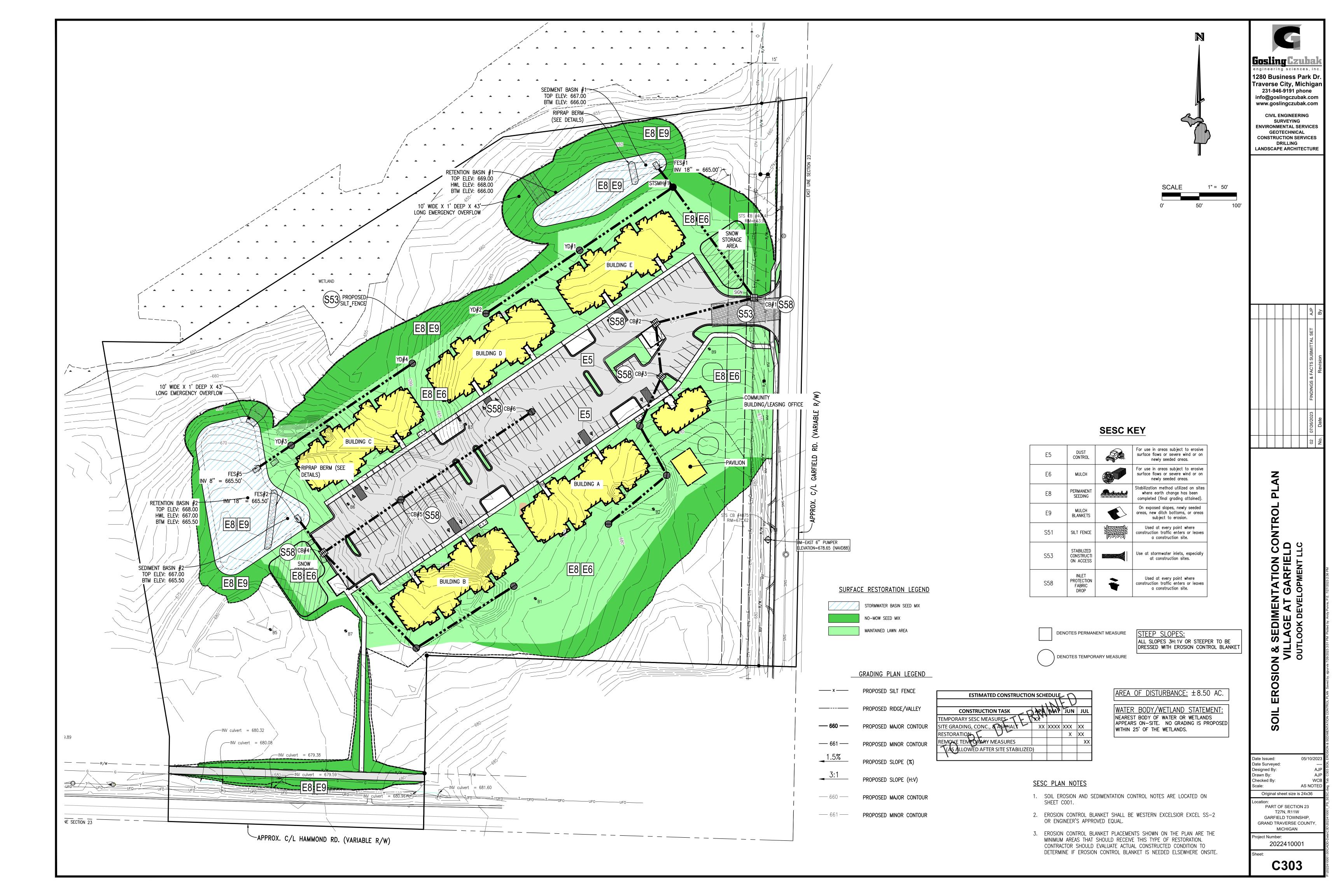
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			FINDINGS & FACTS SUBMITTAL SET	Revision	
			07/26/2023	Date	
			02	No.	

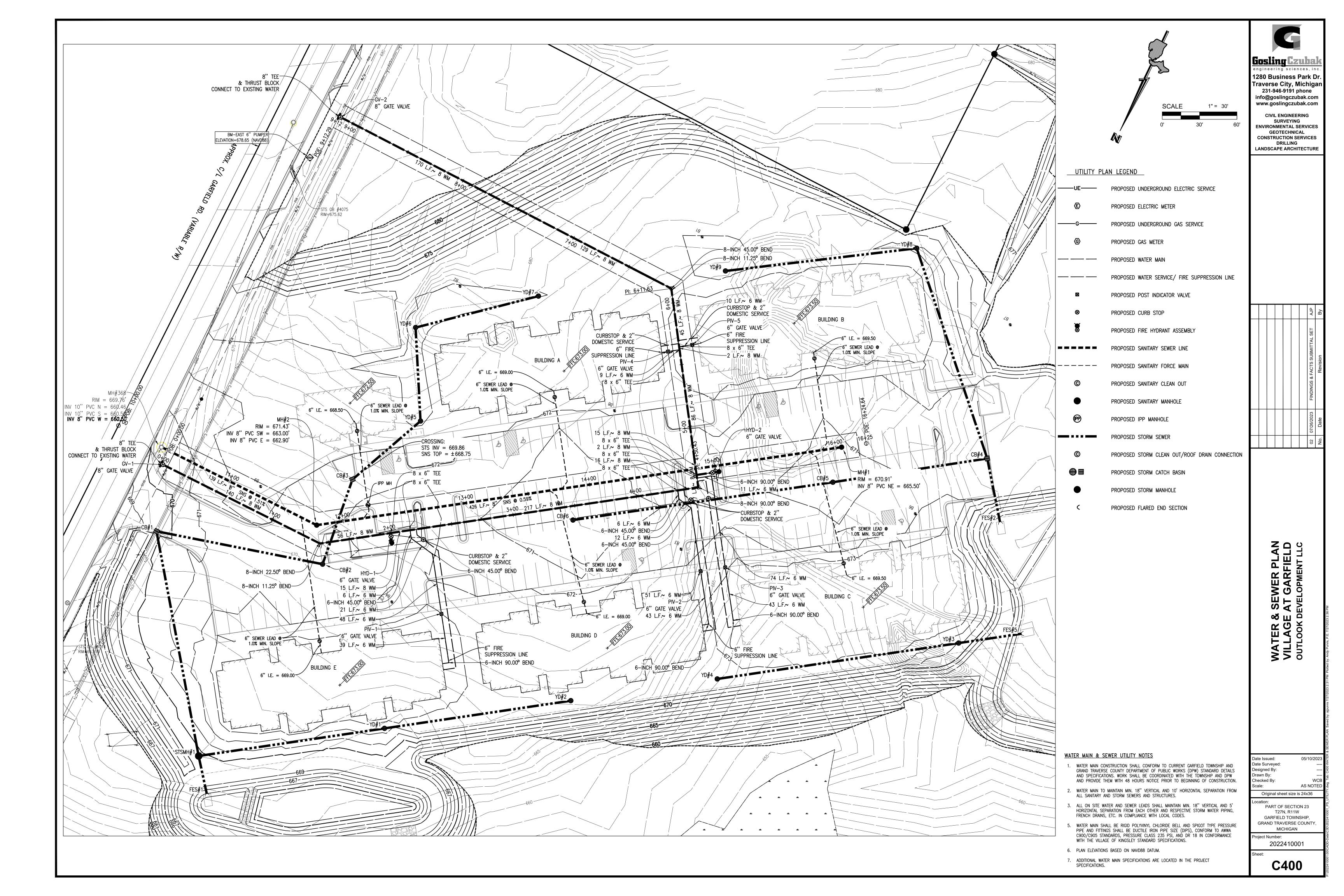
& DRAINAGE
GARFIELD
ELOPMENT LLC VILLAGE AT OUTLOOK DEVEL

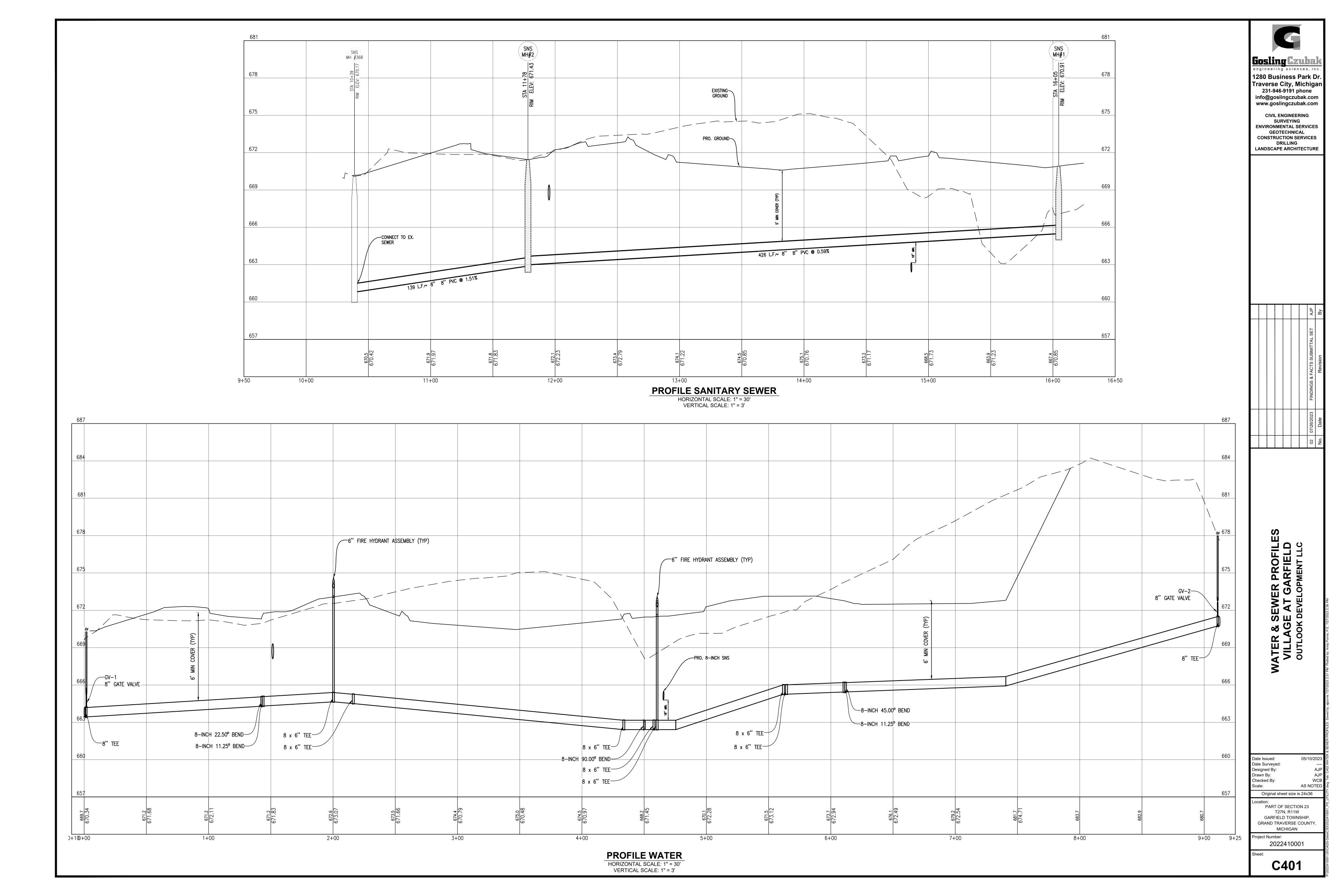
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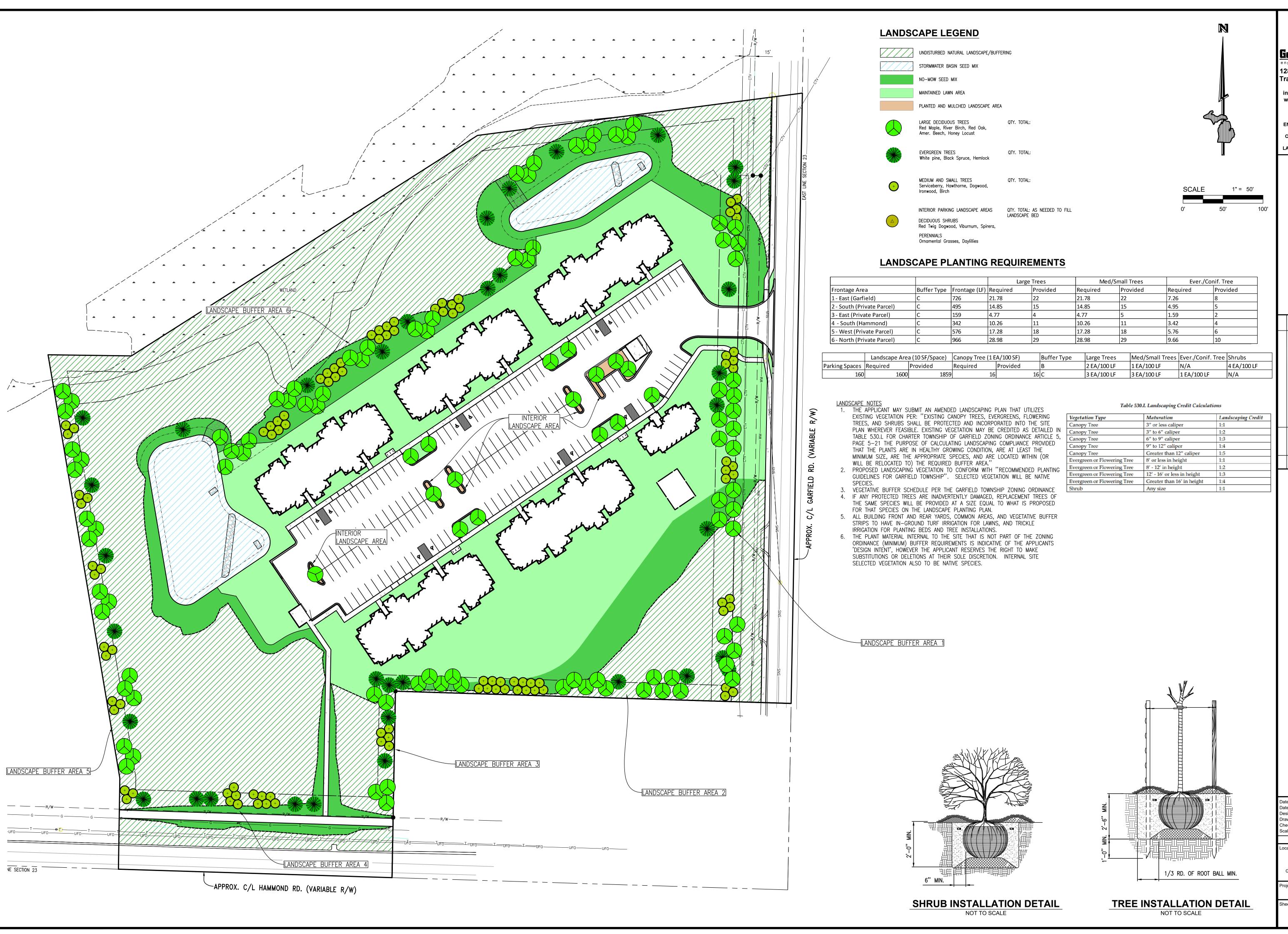
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Project Number: 2022410001









| Gosling Czubal 1280 Business Park Dr.

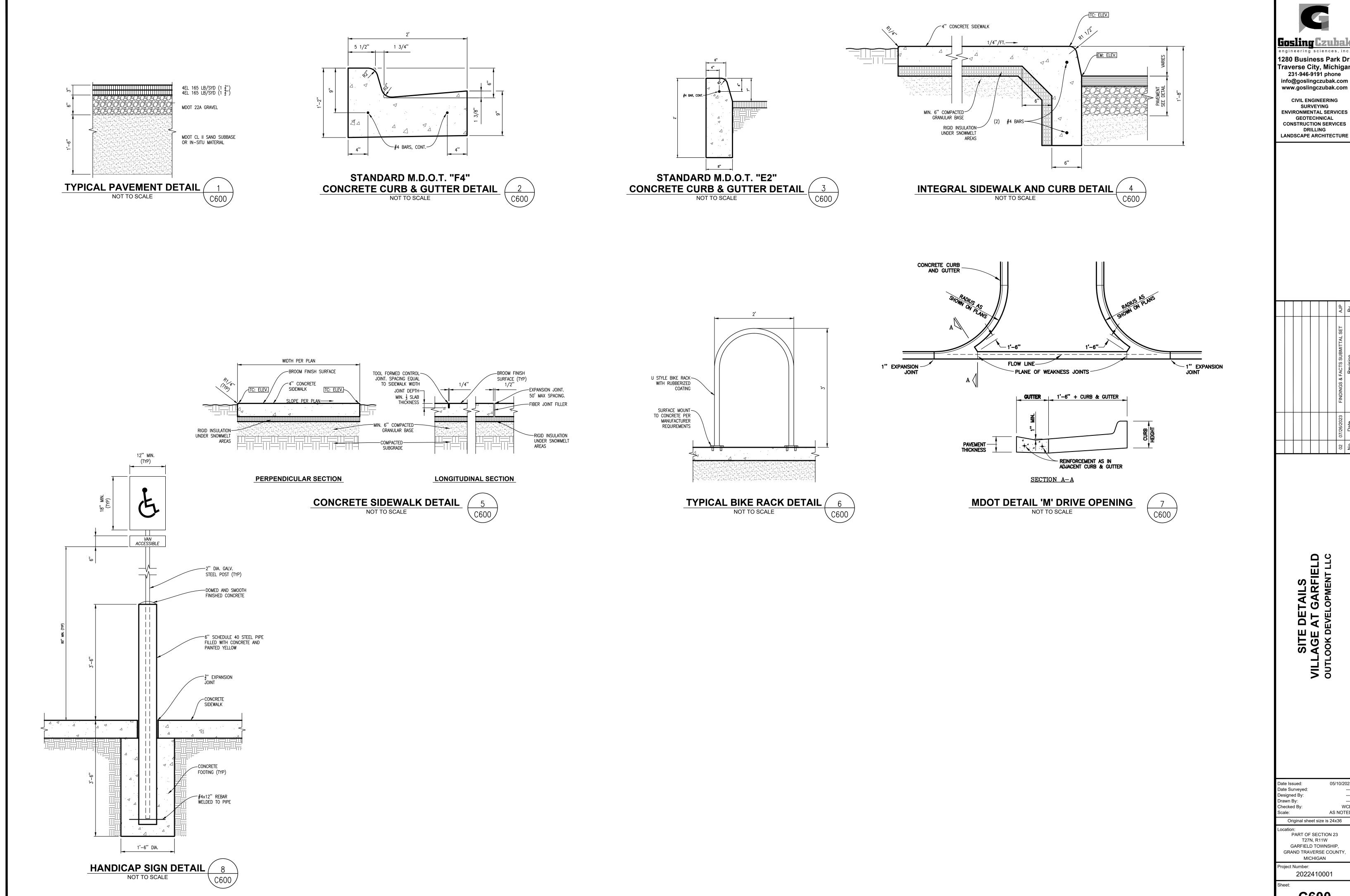
Traverse City, Michigar 231-946-9191 phone info@goslingczubak.com www.goslingczubak.com **CIVIL ENGINEERING** SURVEYING

ENVIRONMENTAL SERVICES GEOTECHNICAL **CONSTRUCTION SERVICES** DRILLING LANDSCAPE ARCHITECTURE

Date Surveyed: Designed By: Drawn By: Checked By: Original sheet size is 24x36 PART OF SECTION 23 T27N, R11W

GARFIELD TOWNSHIP, **GRAND TRAVERSE COUNTY MICHIGAN**

2022410001





Gosling Grantel engineering sciences, inc 1280 Business Park Dr.

info@goslingczubak.com www.goslingczubak.com CIVIL ENGINEERING SURVEYING **ENVIRONMENTAL SERVICES**

GEOTECHNICAL
CONSTRUCTION SERVICES
DRILLING LANDSCAPE ARCHITECTURE

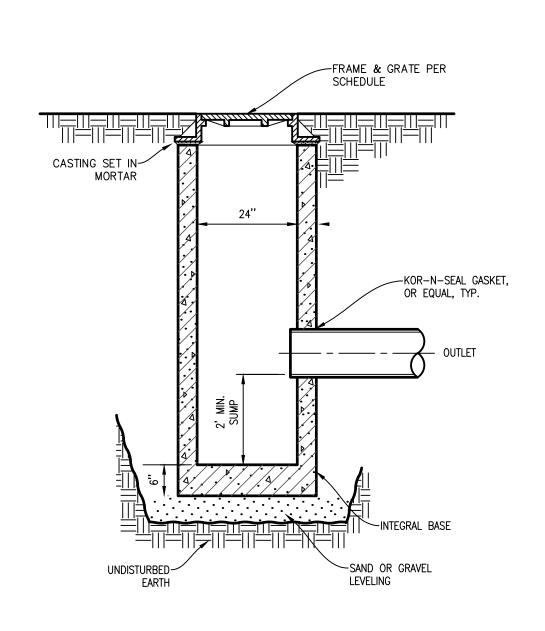
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VILLAGE AT GARFIELD
OUTLOOK DEVELOPMENT LLC

Date Issued: Date Surveyed: Designed By: Drawn By: Checked By: AS NOTED

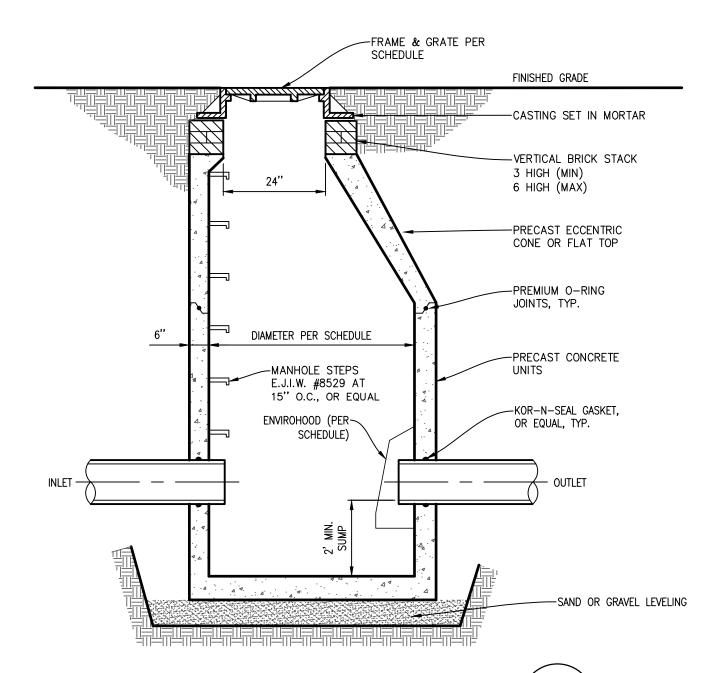
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GRAND TRAVERSE COUNTY, MICHIGAN roject Number:

2022410001

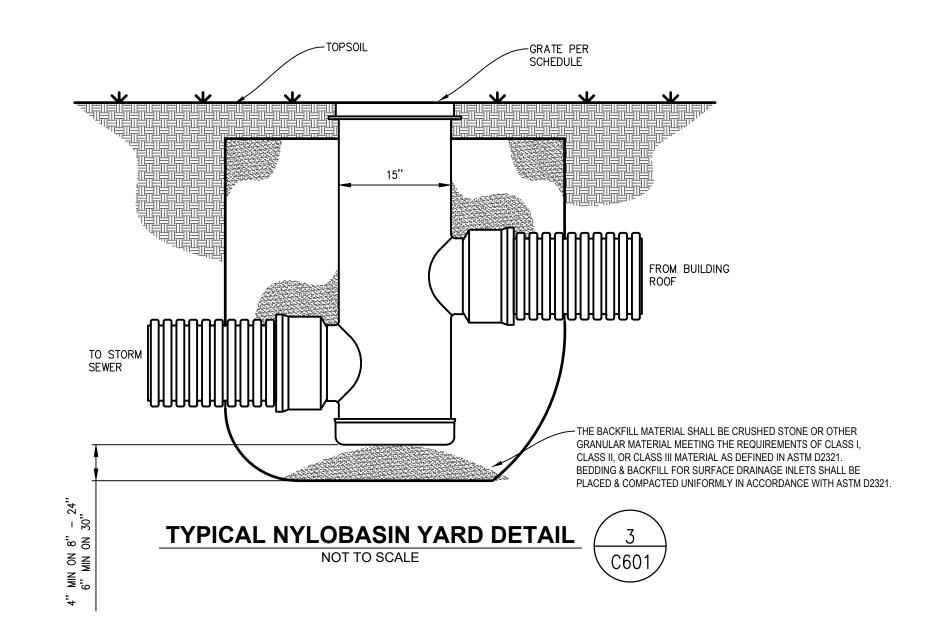


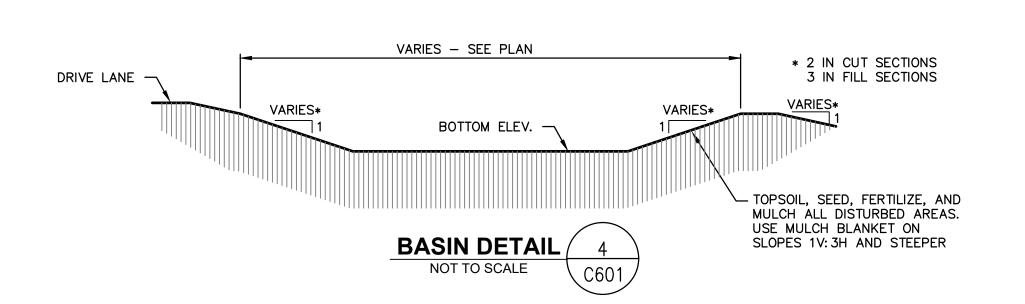


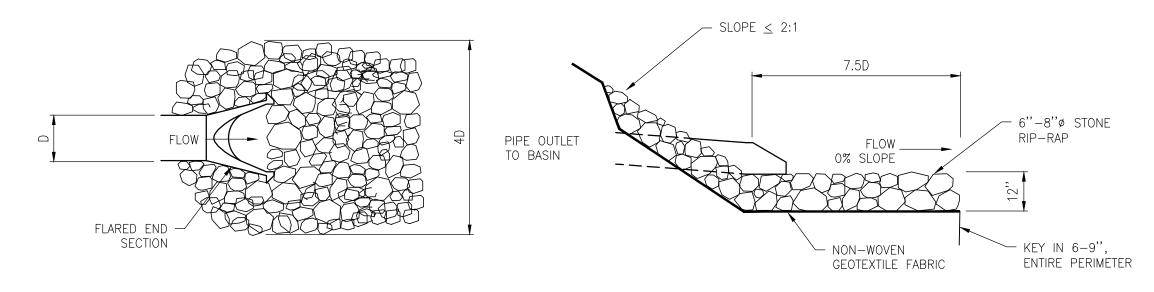


CATCH BASIN / MANHOLE DETAIL

NOT TO SCALE

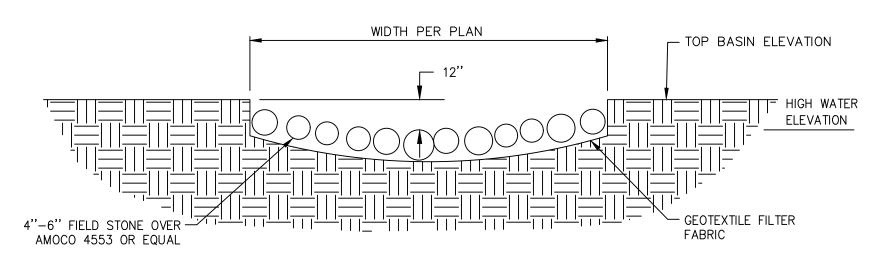






OUTLET PIPE
RIP-RAP DISSIPATER DETAIL
NO SCALE

5
C601





Date Issued: 05/10/2023
Date Surveyed: ---Designed By: ---Drawn By: ---Checked By: WCB
Scale: AS NOTED

Original sheet size is 24x36

Location: PART OF SECTION 23
T27N, R11W
GARFIELD TOWNSHIP,
GRAND TRAVERSE COUNTY,
MICHIGAN

SITE DETAILS
VILLAGE AT GARFIELD
OUTLOOK DEVELOPMENT LLC

Gosling Gaubal engineering sciences, inc

1280 Business Park Dr. Traverse City, Michigan 231-946-9191 phone

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CONSTRUCTION SERVICES

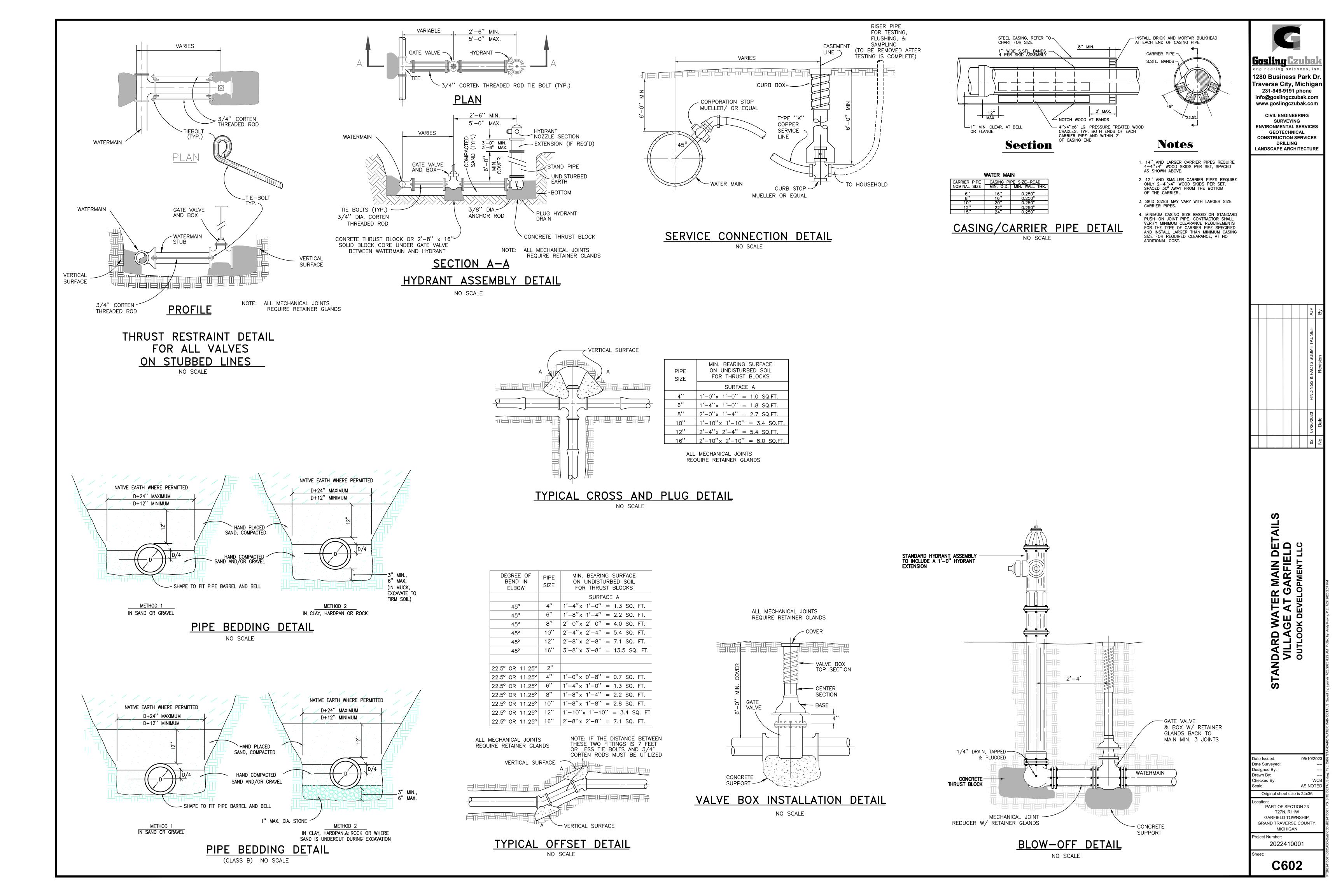
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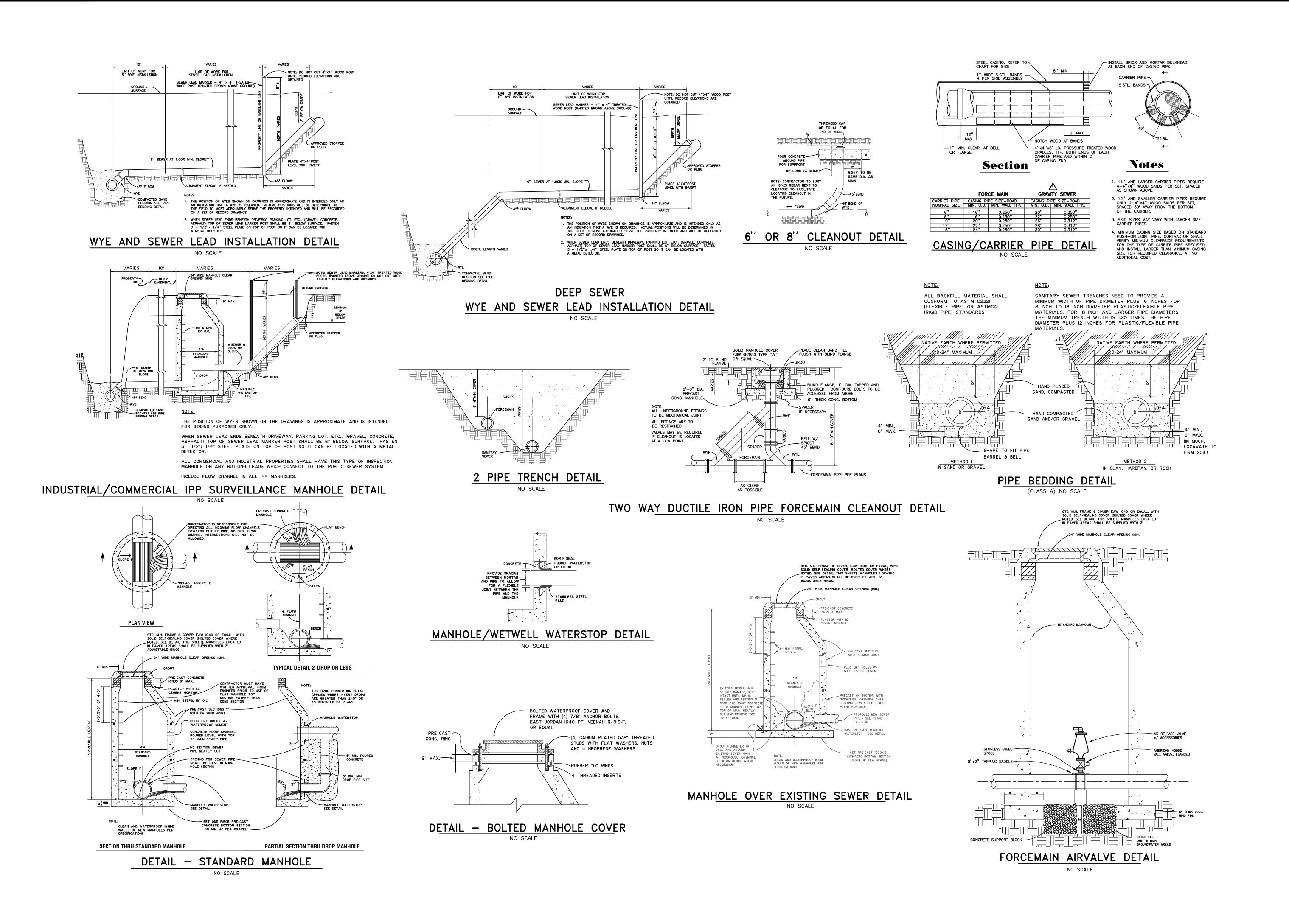
LANDSCAPE ARCHITECTURE

C601

2022410001

roject Number:





<u>Gosling Czuba</u>

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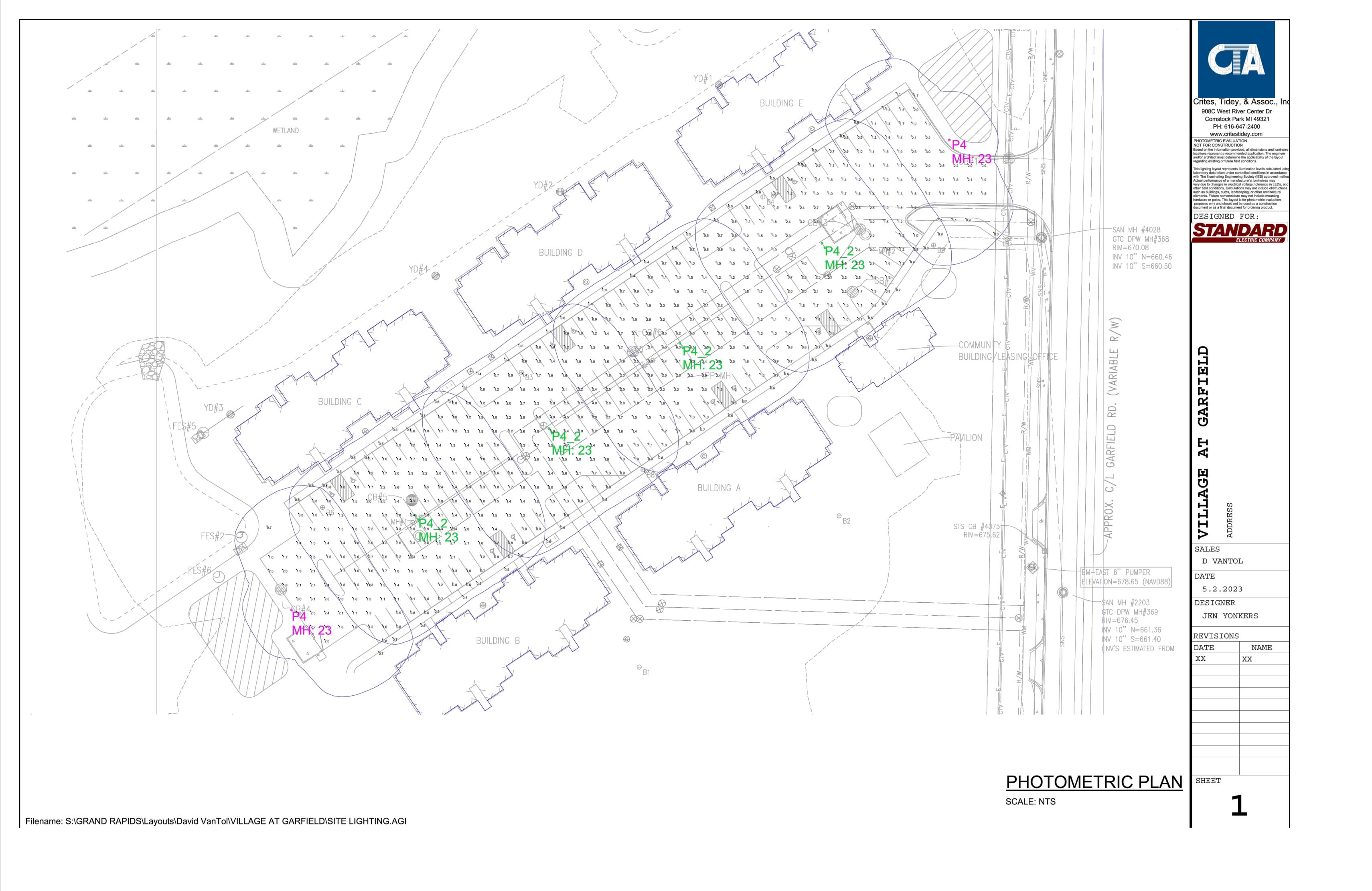
CIVIL ENGINEERING SURVEYING **ENVIRONMENTAL SERVICES** GEOTECHNICAL **CONSTRUCTION SERVICES** DRILLING LANDSCAPE ARCHITECTURE

ITARY SEWER DETA E AT GARFIELD DEVELOPMENT LLC

Date Issued: Date Surveyed: Designed By: Drawn By: Checked By: AS NOTE Original sheet size is 24x36 PART OF SECTION 23 T27N, R11W

GARFIELD TOWNSHIP, **GRAND TRAVERSE COUNTY** MICHIGAN

2022410001

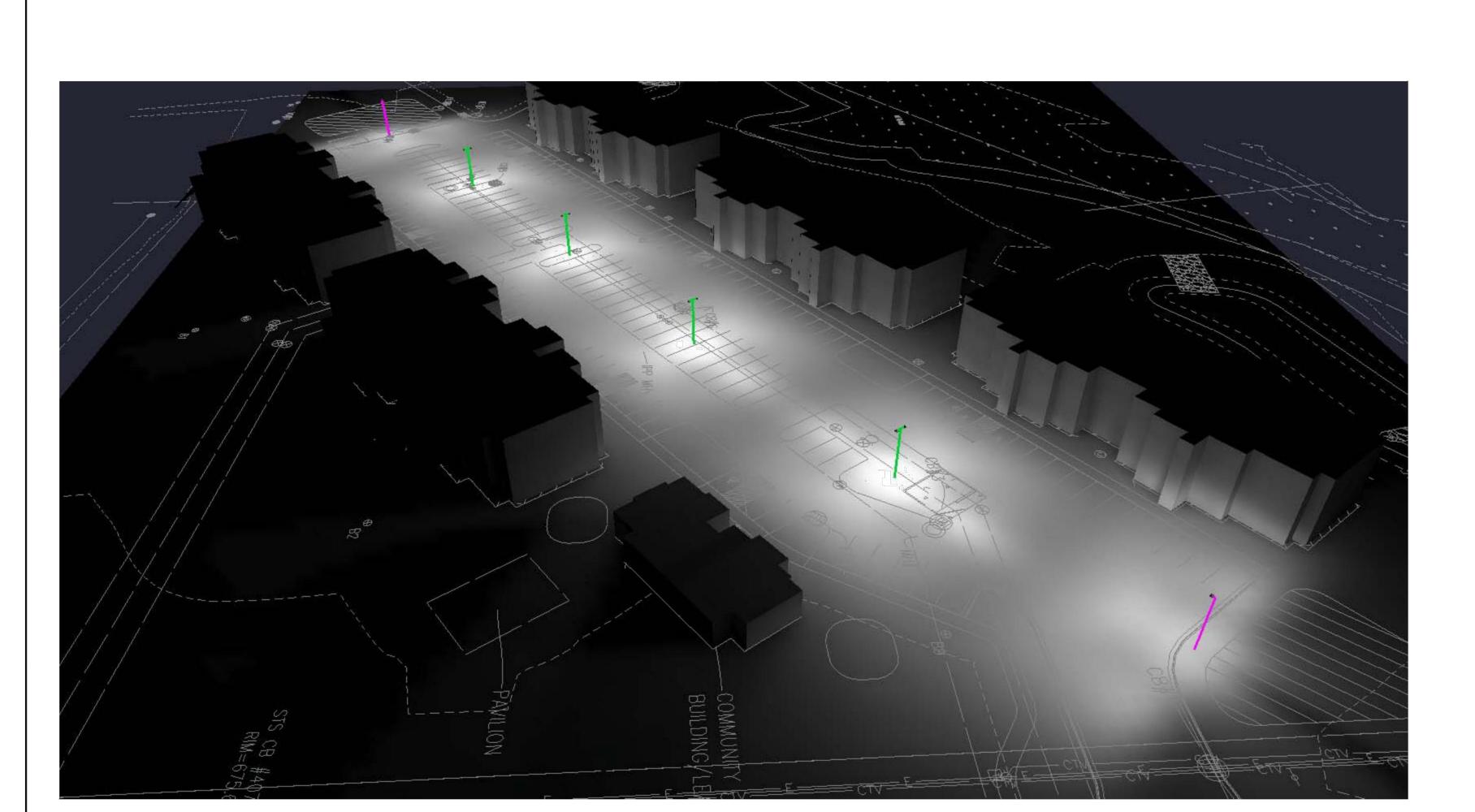


Luminaire Schedule

Scene: GEN

Symbol	Qty	Label	Arrangement	LLD	LDD	BF	[MANUFAC]	Description	MNT HEIGHT	MNT TYPE	Ttl Watts
	2	P4	Single	0.980	0.940	1.000	COOPER - McGRAW-EDISON	GLEON-SA3B-735-U-T4W	23	POLE	248
	4	P4_2	Back-Back	0.980	0.940	1.000	COOPER - McGRAW-EDISON	GLEON-SA3B-735-U-T4W	23	POLE	992

Calculation Summary							
Scene: GEN							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVE	Illuminance	Fc	1.96	5.5	0.9	2.18	6.11
PARKING AREA	Illuminance	Fc	1.84	6.4	0.6	3.07	10.67
SIDEWALK	Illuminance	Fc	0.63	1.1	0.3	2.10	3.67



NOTES:

- CALC AT GRADE
- ALL FIXTURES ARE FULL CUT-OFF
- ALL FIXTURES HAVE PHOTOCELL/TIMER CONTROL



908C West River Center Dr Comstock Park MI 49321 PH: 616-647-2400

WWW.critestidey.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.

laboratory data taken under controlled conditions in accorda with The Illuminating Engineering Society (IES) approved m Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, other field conditions. Calculations may not include obstructi such as buildings, curbs, landscaping, or other architectural elements. Fixture nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:



AT GARFIELD

VILLAGE

SALES D VANTOL

ДТЕ

5.2.2023

DESIGNER
JEN YONKERS

REVISIONS

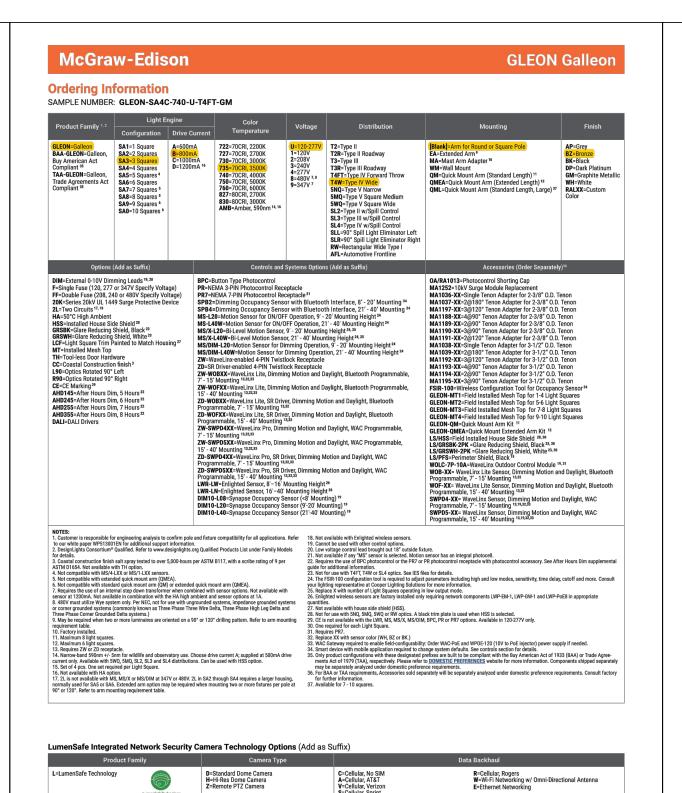
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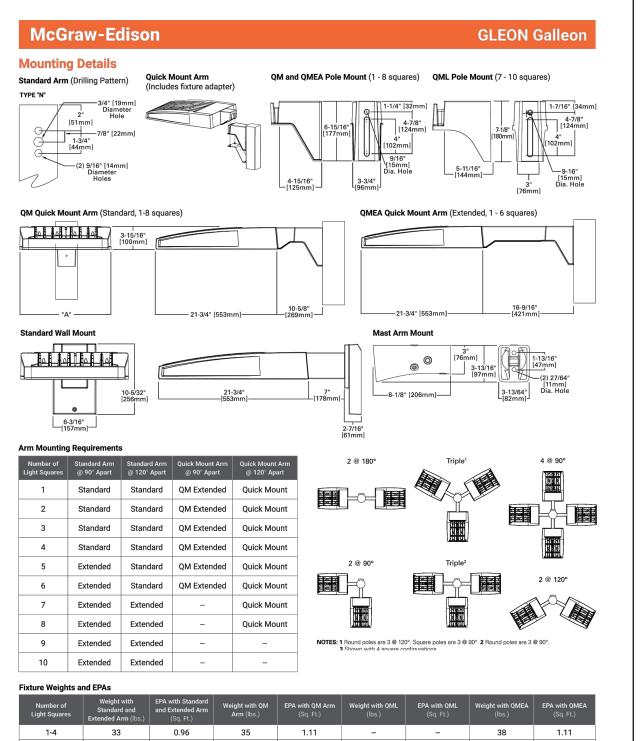
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2





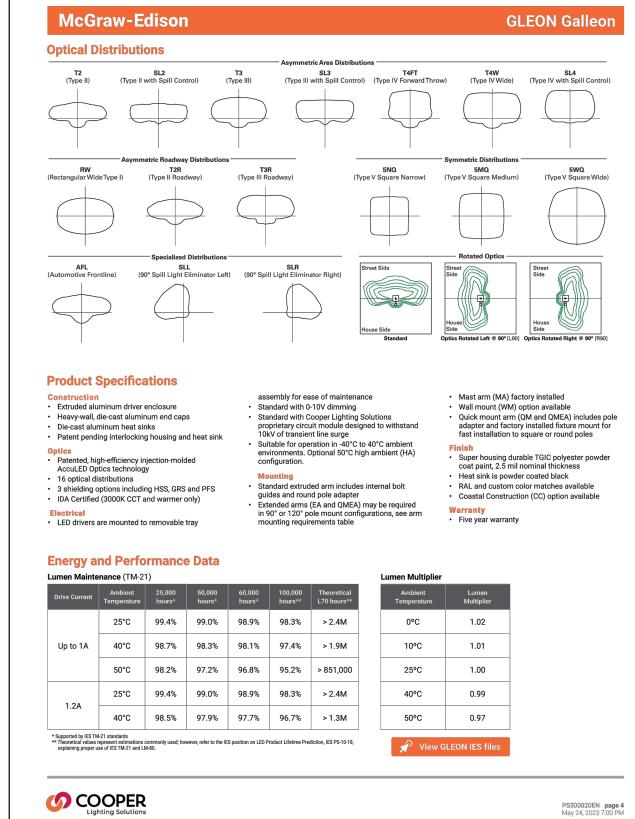


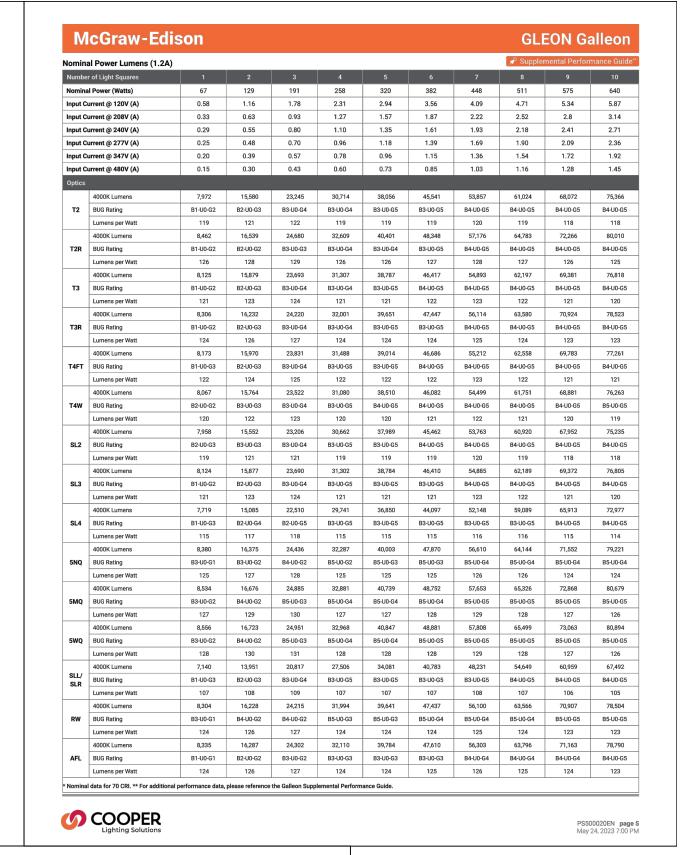
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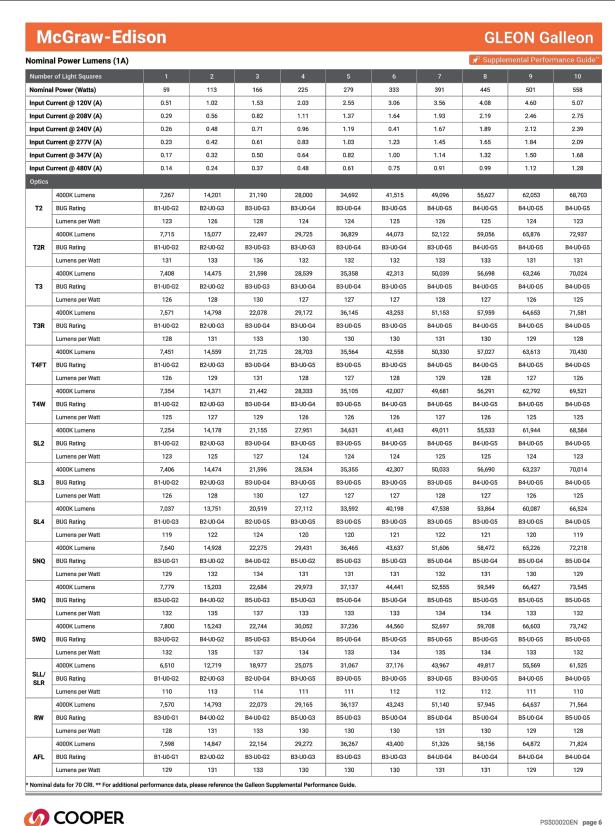
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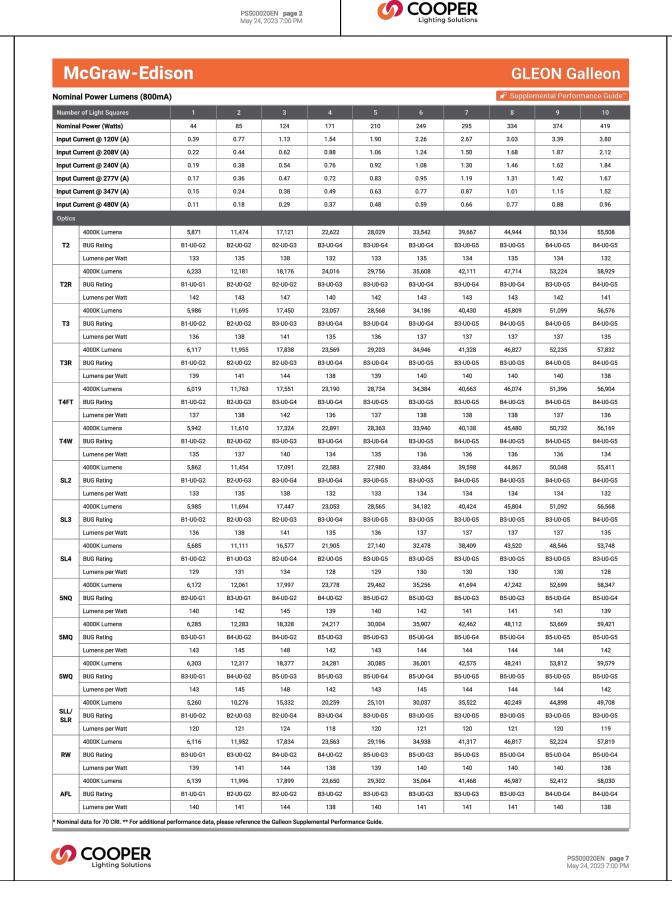
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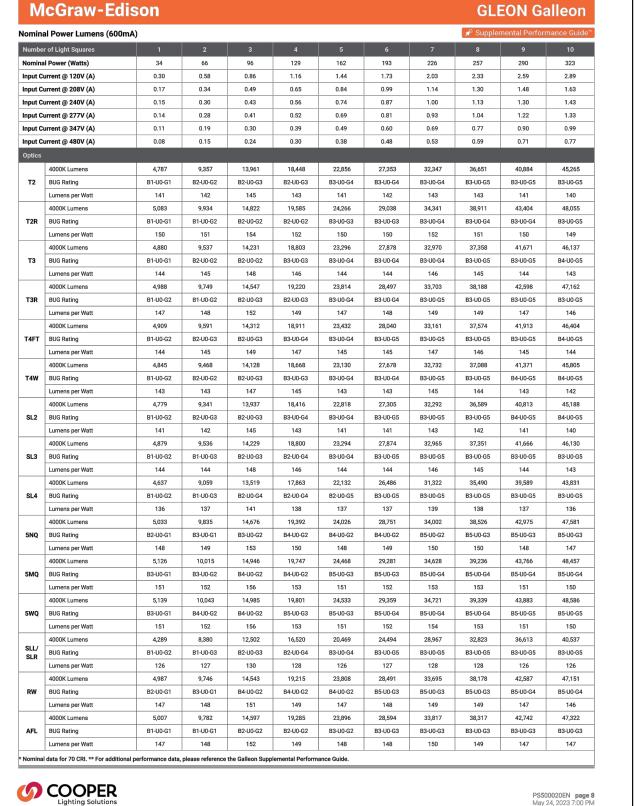


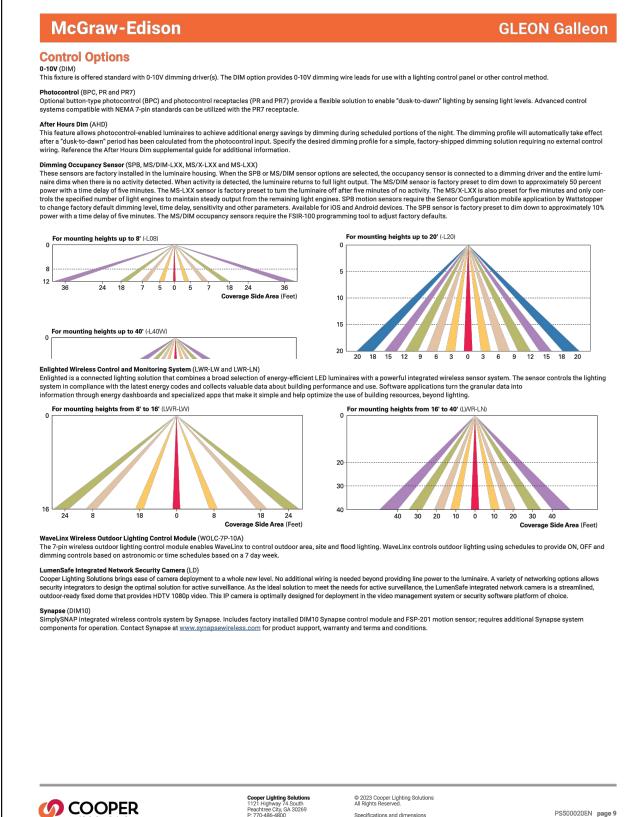




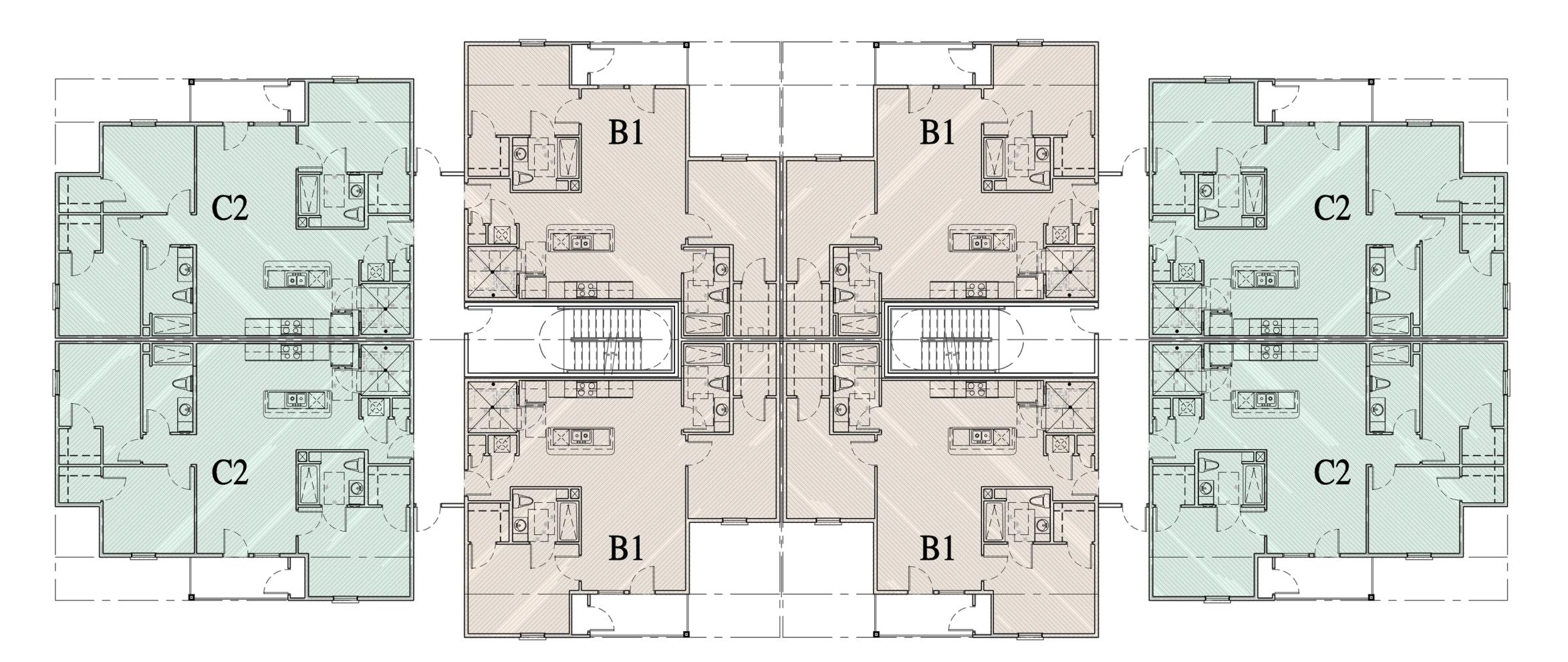
OOOPER







Specifications and dimensions subject to change without notice.



Hammonc
LDHA LP

Frank W. Pollacia AIA

Frank W. Pollacia AIA

808 18th St.

plano, texas 75074

Michigan Architect 1302072064 architects original signature on file

Project No. 220915

Issue Drawing Log

4 May 2023 Review

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Sheet Title:
First Floor Plan Bldg I

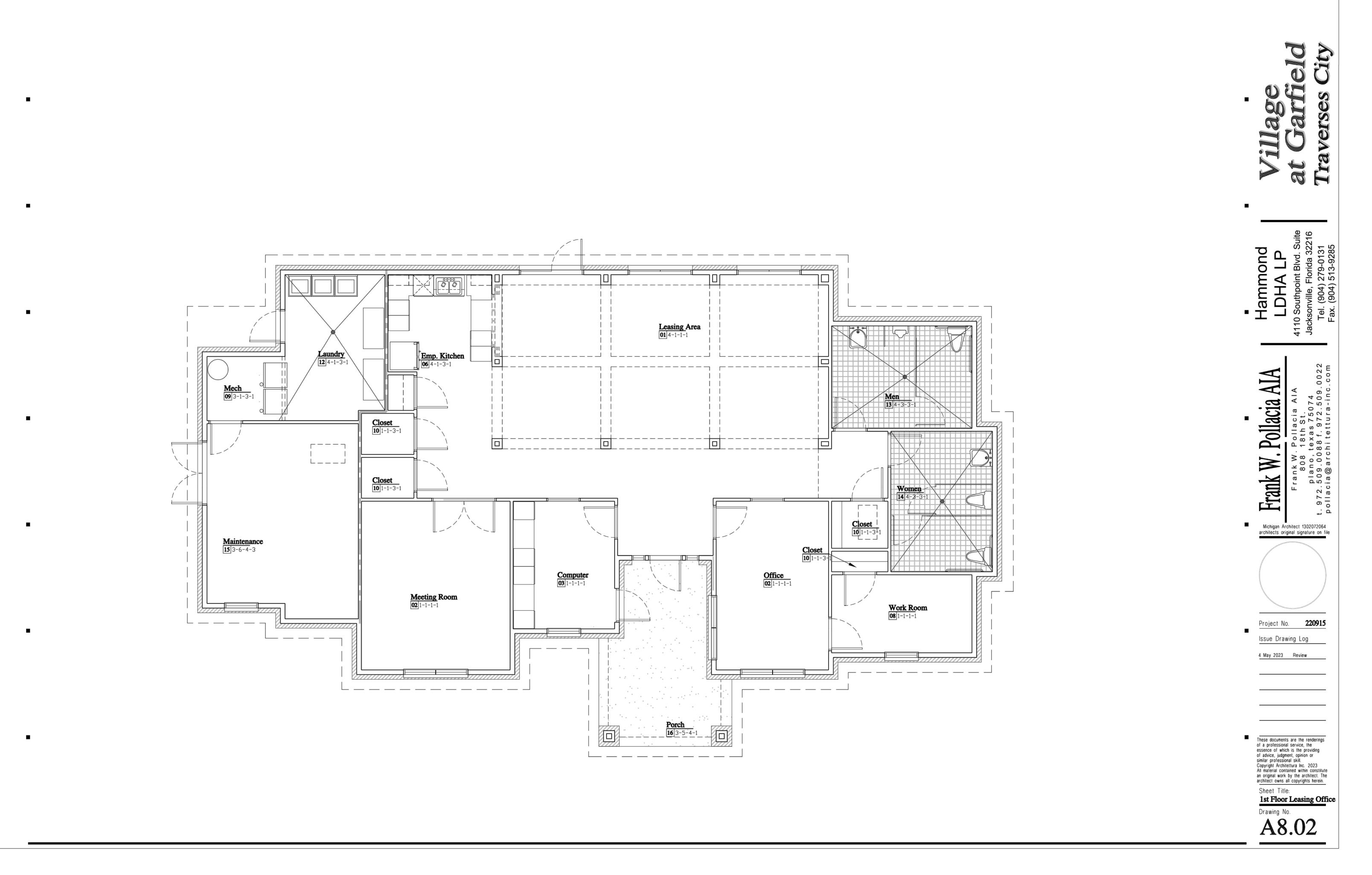
Drawing No.
A2.01b

First Floor Plan Bldg Type I

SCALE: 1/8" = 1'-0"

ACAD\BUILDING\BL-01

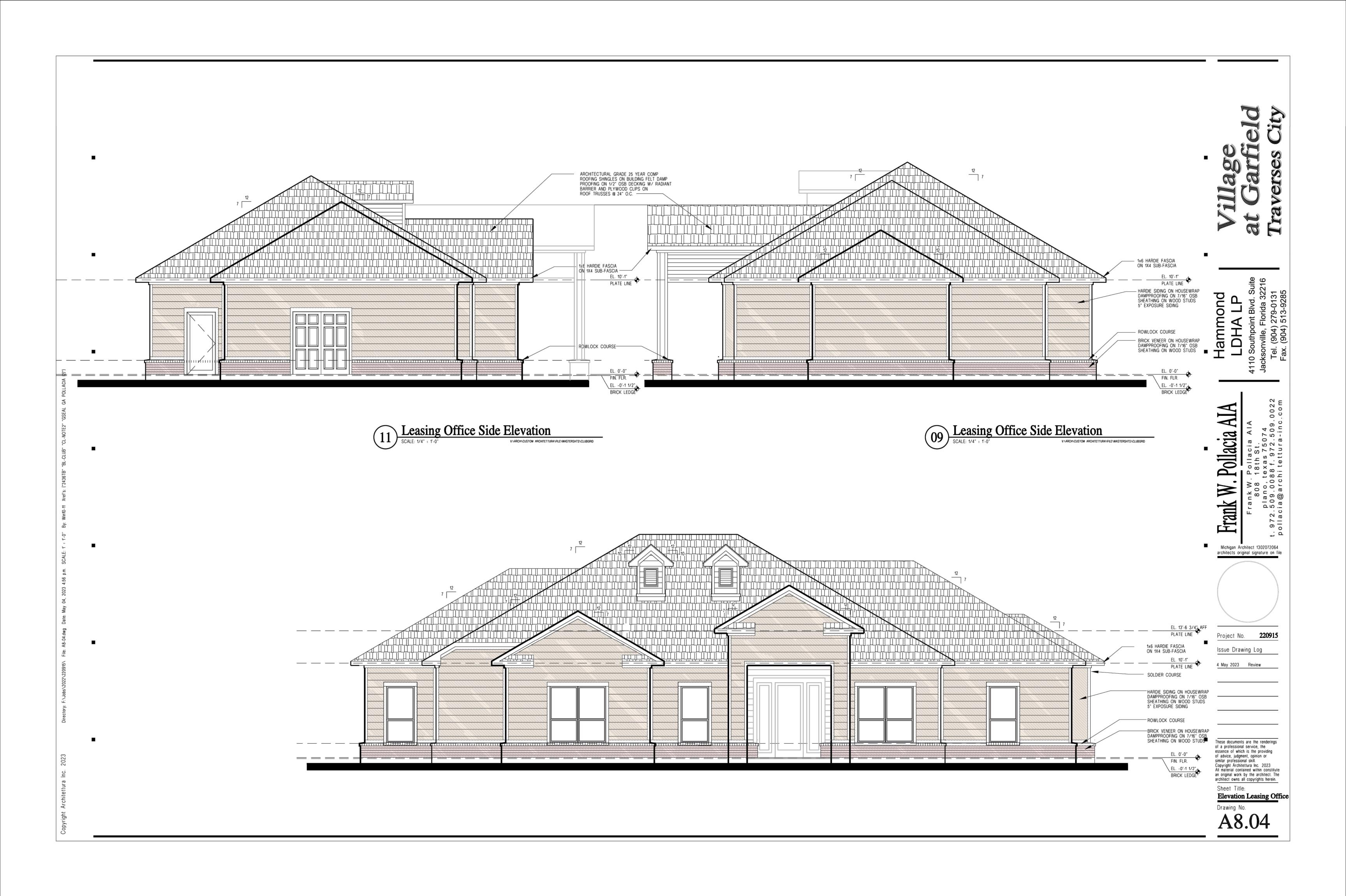




Directory: F:\Jobs\2022\220915\ File: A8-02.dwg Date: May 04, 2023 4:51 p.m. SCALE: 1/8" = 1'-0" By: Win10-11 Xref's: ("2436TB" "BL-C

right Architettura Inc. 2023

Xref ...\ACAD\job-data\CL-NOTE2.dwg



- ARCHITECTURAL GRADE 25 YEAR COMP ROOFING SHINGLES ON BUILDING FELT DAMP PROOFING ON 1/2" OSB DECKING W/ RADIANT BARRIER AND PLYWOOD CLIPS ON ROOF TRUSSES @ 24" O.C. HARDIE FASCIA ON 2X4 SUB-FASCIA - 1x6 HARDIE FASCIA
 ON 1X4 SUB-FASCIA Issue Drawing Log PLATE LINE • 4 May 2023 Review HARDIE SIDING ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS 5" EXPOSURE SIDING SOLDIER COURSE HARDIE SIDING ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS 5" EXPOSURE SIDING _ ROWLOCK COURSE BRICK VENEER ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS -BRICK VENEER ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS ROWLOCK COURSE -EL. 0'-0" EL. -0'-1 1/2" BRICK LEDGE Sheet Title: O1 Leasing Office Rear Elevation

SCALE: 1/4" = 1'-0" V:\ARCH\CUSTOM ARCHITETTURA\FILE\MASTERSHTS\CLUBGRID

architects original signature on file

Project No. **220915**

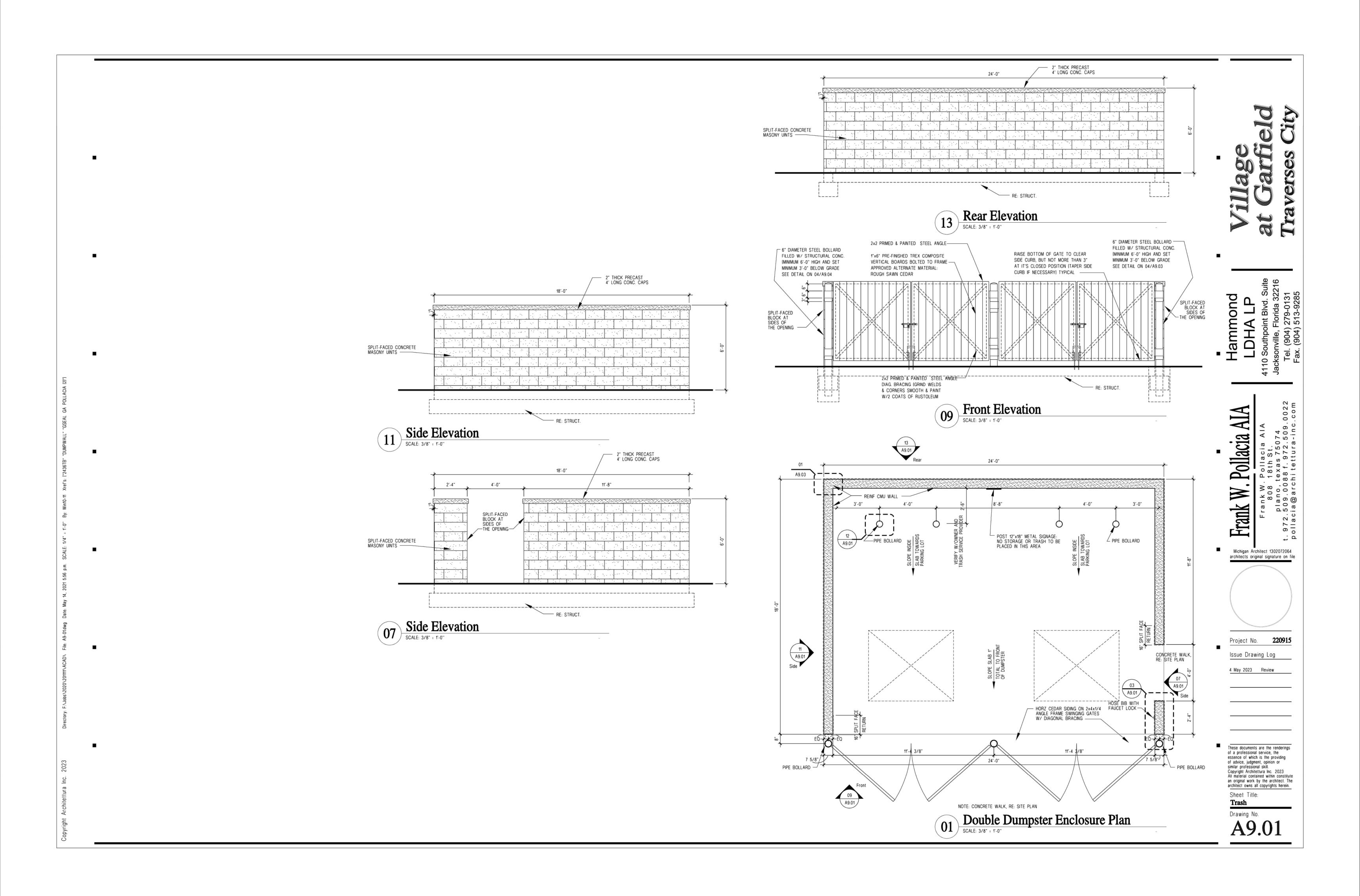
These documents are the renderings of a professional service, the essence of which is the providing of advice, judgment, opinion or similar professional skill.

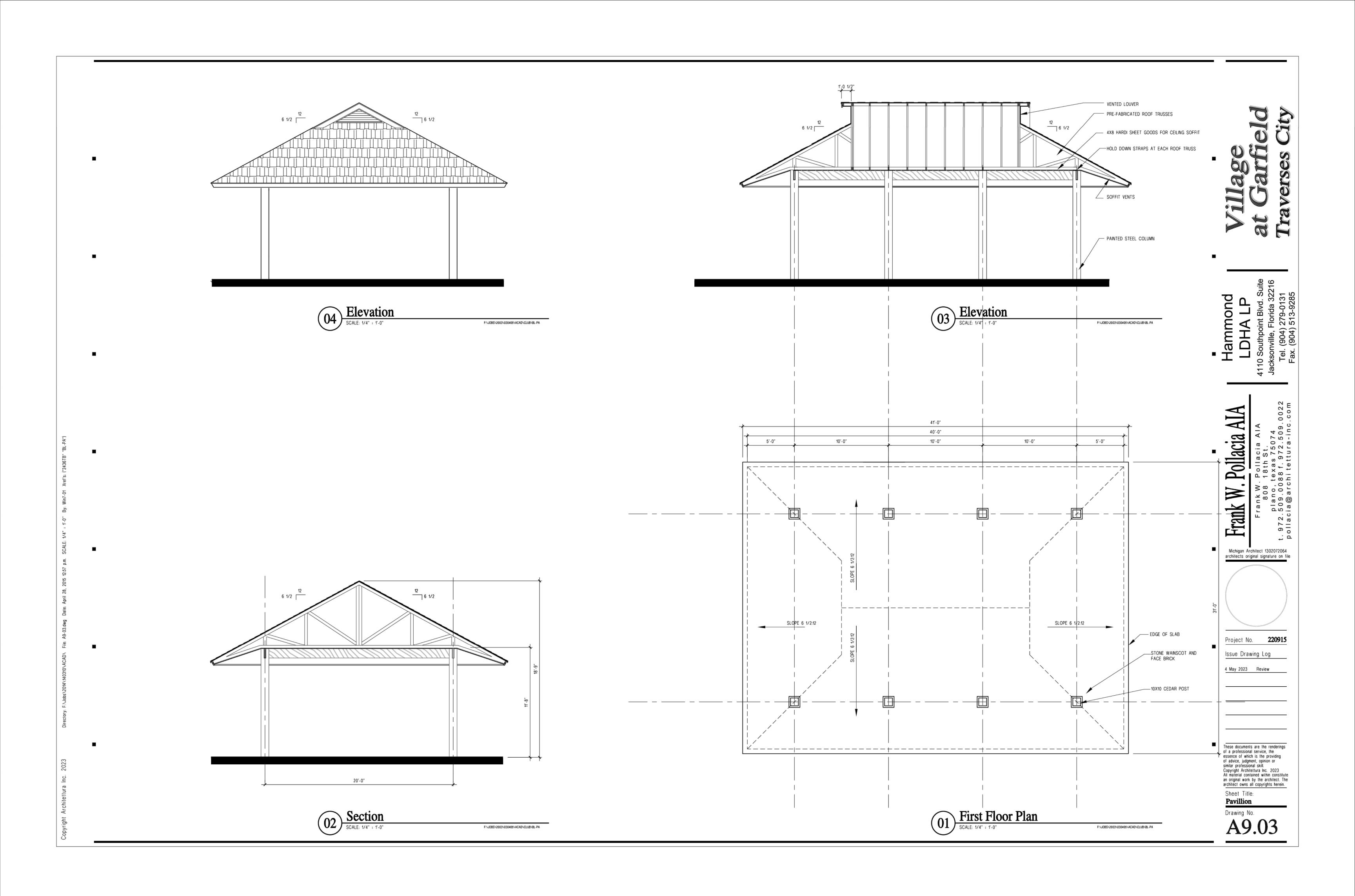
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Elevation Leasing Office

Drawing No. A8.05





Charter Township of Garfield Planning Department Report No. 2023-95							
Prepared:	August 2, 2023	Pages: 11					
Meeting:	August 9, 2023 Planning Commission	Attachments:					
Subject:	716 Boon Street Special Use Permit – Findi	ngs of Fact					
File No.	SUP-2023-02	Parcel No. 05-135-008-00					
Applicant:	Jamie Kirschner and Nicole Martin						
Owner:	Leasewell, Inc.						
Agent:	Ryan A. Cox, PE						

BRIEF OVERVIEW:

Location: 716 Boon Street, southeast corner of Boon Street and Woodmere Avenue

Parcel area: 0.45 acres

Existing land use: Vacant tenant space (commercial kitchen elsewhere in building)

Existing zoning: I-G – General Industrial

This application was introduced at the June 14, 2023 Planning Commission meeting. A public hearing was held at the July 12, 2023 Planning Commission meeting. Commissioners directed Staff to prepare Findings of Fact for review at the August 9, 2023 Planning Commission meeting.

PURPOSE OF APPLICATION:

This application proposes a new photography studio in an existing multi-tenant building at 716 Boon Street. The use is described as a "Professional Studio" within the Zoning Ordinance and may be permitted via the Special Use Permit process in the I-G General Industrial zoning district.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):





Zoomed-in aerial image of the subject property (property lines highlighted in blue):

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land:
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks:
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

STAFF COMMENTS:

Since the public hearing, the site plan has been updated to address issues raised during the discussion and review by the Planning Commission, including comments from the Township Engineer on the stormwater management on the site. Staff offers the following comments on the updated site plan regarding site design and compliance with the Zoning Ordinance:

Background

Staff have researched the previous approvals for this site. The approval for the building was granted by the Garfield Township Zoning Board of Appeals on February 21, 1984. The existing building includes three tenant spaces; the proposed photography studio would occupy the unit at 716 Boon Street. Other uses as indicated on the site plan include Center City Kitchen at 700 Boon Street and Factory Man Roasting Co. at 708 Boon Street. The existing uses are listed as commercial kitchens on the site plan; a commercial kitchen is described as a "Catering Establishment" within the Zoning Ordinance definitions.

Dumpster Enclosure

Per correspondence from the applicant, the "owner is planning to utilize individual totes or containers" and not have a dumpster. If a dumpster is needed for future regular trash service for this site, then it will need to be placed in an enclosure that meets the standards of Section 516 of the Zoning Ordinance.

Lighting

Lighting standards are described in Section 517 of the Zoning Ordinance. The site plan indicates 8 existing light fixtures: 2 pole-mounted and 6 wall-mounted. The site plan indicates all lighting as existing fixtures. However, all lighting shall comply with the standards of Section 517, as follows:

Zoning Ordinance Lighting Standard	Subject Site
A. Applicability – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.
B. Shielding and Filtration – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	The existing fixtures are all listed on the site plan as downward shielded. No photometric plan was provided, nor were any cut sheets for the lighting fixtures, however no changes are proposed to the existing lighting and fixtures.
C. Illumination – Average illumination levels shall not exceed 3.0 foot-candles (FC) for the main parking area, 2.0 FC for the peripheral parking area, 5.0 FC for main drive areas, and 20.0 FC directly below the lighting fixture. The illumination levels shall also not exceed 1.0 FC adjoining another nonresidential zoning district along a property line, or 2.0 FC along an arterial. Average lighting values of illuminated areas ranging from 0.5 to 1.5 FC are recommended.	No photometric plan was provided; however, no changes are proposed to the existing lighting and fixtures.
D. Color Temperature – All proposed lamps shall emit light measuring 3,500 K or warmer.	A cut sheet for the existing fixture (GE 60-Watt EQ A19 Soft White) was provided and is attached to this report. Research on this fixture indicates a color temperature of 2,700 K.

Zoning Ordinance Lighting Standard	Subject Site
E. Prohibitions – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	Based on the information provided, no prohibited lighting elements are proposed.
F. Pole Height – All pole-mounted lighting shall not exceed the maximum zoning district height.	The heights of the existing light poles were not indicated on the site plan. However, no changes are proposed to the existing lighting and fixtures. The site plan indicates that there are also pole lights provided and installed by TCLP providing lighting to the parking area.

Landscaping

Landscaping requirements are described below for each length of greenspace area (e.g., without including the ingress and egress drives) for each lot line. As part of the original site plan review from 1984, the ZBA did an interpretation of a section of the Zoning Ordinance in place at that time, as described in the minutes:

"The Zoning Ordinance requires a 10 foot green area on side lot lines. In this case, this is a corner lot (Boon and Woodmere Streets). There is already going to be a green area on the property and he does not see a need for an additional 10 feet of green area on the side lot line."

The motion for approval acknowledged the interpretation to remove the requirement for the green area on the side lot line. Based on the available information and the existing green area along Woodmere, the side lot line is understood to be the side facing Boon Street. The decision runs with the land, therefore there is no requirement for a green space or no-build buffer along the Boon Street lot line. The other landscaping requirements are as follows:

Parcel Line (Length) &	Buffer Planting	Amount Required	Amount Provided
Adjacent Land Use	Requirement		
East (98 ft.) Single-family residential (I-G zoning)	Type "D" * Ground cover as specified in Section 530.J, plus * 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100	4 large trees 3 med./small trees 3 evergreen trees 20-foot width	1 existing oak tree 3 large trees (sugar maple) 3 med. trees (N. white cedar) 3 evergreens (black spruce) 10-foot width
South (208 ft.) Single-family residential (I-G zoning)	linear feet of greenspace * Minimum width: 20 feet	9 large trees 7 med./small trees 7 evergreen trees 20-foot width	6 existing oak trees 1 existing cherry tree 0 large trees 0 med./small trees 0 evergreen 10-foot width
West (80 ft.) Primary Road (Woodmere Avenue, Major Collector)	Type "C" * Ground cover as specified in Section 530.J, plus * 3 large trees, 3 medium or small trees, and 1 evergreen or coniferous trees per 100 linear feet of greenspace * Minimum width: 10 feet	3 large trees 3 med./small trees 1 evergreen tree 10-foot width	2 existing oak trees 0 large trees 0 med./small trees 1 evergreen (black spruce) 30-foot width +

Section 530.L allows for existing landscaping to be credited towards landscaping requirements, including greater credit for larger trees. All existing oak trees are listed as greater than 12" caliper, which allows for credit at a 1:5 ratio.

Section 530.H states that the "Planning Director in the case of a site diagram or administrative site plan, or the approval authority in all other cases may waive or adjust any requirement of this section in whole or in part provided that one or more of the following conditions exist upon the site:"

- (1) Existing conditions such as topography or vegetation provide an established screen or buffer which is equal to or superior in its ability to meet the Purpose of this Section. For the purposes of this subsection, vegetation requirements may be adjusted either in terms of the quantity of plantings otherwise required or in terms of the physical location of plantings otherwise required.
- (2) Decorative walls or fencing will be provided in lieu of all or some required plantings to provide an equal or superior buffer to meet the Purpose of this Section.
- (3) Natural features such as steep slopes or other topographical features make full compliance impractical or impossible.
- (4) Space limitations on the site or prevailing development patterns in the surrounding neighborhood justify alternative compliance.
- (5) Safety considerations warrant flexibility upon the site.
- (6) No practicable alternative in the placement of a building, structure, street or utility construction, access drives, stormwater management facilities, trails or pathways, or other site improvements is available.
- (7) In the instance of a waiver being requested, a modification request shall only be approved upon a determination that the existing site conditions or developed form of a property are such that the requirements of this section cannot reasonably be completed, that an alternative landscaping plan cannot be reasonably be substituted, and that the requested modification is the minimum modification necessary resulting from such site conditions or developed form.

As stated above, the site has an existing waiver for landscaping on the north side along Boon Street. The location of the building also limits the width of the buffer area on the south side, which can be considered an existing condition. There are several existing large trees on the south buffer and so long as the existing trees and landscaping materials are maintained, no additional materials should be necessary for the south buffer. Regarding the east and west landscaping buffers, Staff offers the following comments:

• East buffer – Several trees are proposed to meet the planting requirement, so long as the trees are maintained. Per the correspondence from the applicant, the landscaping "is currently proposed to provide a 10' buffer strip which will maintain access to the overhead door on that side of the building and provide for a snow storage area that also has historically been used to store snow. The 20 foot buffer strip would limit access to the existing overhead door." Additional correspondence from the applicant reiterates the desire to maintain the access to the overhead door on the east side, describing the nature of this area as "occasional use for access to the existing commercial/industrial overhead door for temporary loading and unloading needs."

The staff is of the opinion that maintaining access to the overhead door on the east side and having a narrower buffer may be appropriate for the Planning Commission to consider. However, ground cover such as grass will need to be maintained to distinguish the landscape buffer from the access to the overhead door.

One of the standards described above is "the requested modification is the minimum modification necessary resulting from such site conditions or developed form." The amount of space available

on the east side measures about 30 feet. The staff is of the opinion that for occasional access to the overhead door, 15 feet allows space for an occasional loading area and some maneuvering, leaving 15 feet available for the landscaping buffer. If Commissioners concur with staff, a waiver may be granted to allow for the east landscaping buffer width to be reduced to 15 feet.

• West buffer – An additional evergreen tree is proposed. With this evergreen tree and so long as the existing landscaping is maintained, the landscaping buffer may be considered as fulfilled given the size of the existing trees.

Parking

Proposed and existing uses include Professional Studio and Catering Establishment. Neither of these uses are specifically listed in Table 5-47 Required Parking Standards. With two existing industrial uses in the commercial kitchens, and with a proposed studio which may be permitted in this district via the special use permit process, the closest use in Table 5-47 may be "Industrial or manufacturing establishments, research testing laboratories, low volume retail and related accessory offices." This has the parking requirement of 5 spaces plus 1 for each 1.5 employees in the largest working shift. The site plan indicates 7 total employees across the three tenants, giving a minimum parking requirement for 12 spaces. The existing parking lot is shown on the site plan with 15 total spaces for all three tenants, which meets the parking requirement.

There has been double-parking on this site; faint lines can still be seen in the image below. The parking lot shall be striped for single-row parking only as depicted on the site plan. There shall also be no parking in areas not shown as parking lots on the site plan, including the east and west sides of the building.



Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces; a bicycle rack is proposed near the west end of the building and a cut sheet has been provided.

Loading

The building is shown as 5,233 square feet. Based on this building's size, one small loading space shall be provided which is at least 10 feet wide by 20 feet long. A 20-foot by 30-foot loading area is shown on the west side of the building, accessed from Woodmere Avenue. A 15-foot by 30-foot loading area is shown on the east side of the building.

The applicant has made the following request: "To maintain current site hydrology and access to the existing overhead door on the east side of the building, we request that the existing gravel surface remain as it has been for the past 50 years. Section 551.E(2) of the zoning ordinance identifies that all parking spaces, parking aisles and maneuvering lanes be surfaced with asphalt, bituminous, concrete pavers or other similar material. It appears that this section is referring to regularly utilized "parking areas" and would therefore not apply to surfaces that are of occasional use for access to the existing commercial/industrial overhead door for temporary loading and unloading needs." Staff offers the following comments:

- Section 551.E.(2)(a) of the Zoning Ordinance states: "Except for one and two family dwellings, all parking areas, including parking spaces, parking aisles, and maneuvering lanes, shall be surfaced with asphalt, bituminous, concrete, pavers or other similar material that shall provide a durable, smooth and dustless surface. Such areas shall be maintained in good condition free of weeds, dust, trash, and debris."
- The statement by the applicant indicates that this area on the east side of the building is primarily used as an occasional temporary loading area. Upon further review of the Zoning Ordinance, it appears that Section 551.E(2) does apply to parking spaces, parking aisles, and maneuvering lanes but not loading areas.
 - O However, upon additional further review of the Zoning Ordinance, Section 552 Loading includes a provision in Section 552.E(1) that "Off-street truck loading facilities shall be properly graded for drainage; surfaced with concrete, asphaltic concrete, or asphalt; and maintained in good condition free of weeds, dust, trash, and debris."
- Staff notes that the "occasional" loading area for the overhead door on the east side is above and beyond the required loading space which is already provided on the west side of the building and is above and beyond any necessary maneuvering area or any required parking spaces. The gravel surface of this "occasional" loading area is also an existing condition of the site.
- Section 551.E.(2)(b) of the Zoning Ordinance states that "A waiver or reduction in standards from the prepared surface requirements of this section may be authorized by the Planning Commission or Director of Planning, on a temporary basis, where an applicant can demonstrate that one or more of the following conditions exist:
 - o (i) A proposed parking area is completely shielded from the view of adjacent roadways and properties.
 - o (ii) Peak parking demands exceed actual day to day requirements and a portion of the required parking can be adequately provided without the need of asphalt, bituminous, concrete or other similar material surfacing.
 - (iii) The use is an agricultural use or seasonal use located in the agricultural district."
- Section 551.E.(2)(c) of the Zoning Ordinance states that "Any waiver or reduction in standards granted by the Planning Commission or Director of Planning may be subject to an agreement being entered into between the landowner and township specifying conditions under which required parking spaces shall be surfaced in compliance with the prepared surface standards of this section."

The staff is of the opinion that because this is primarily a loading area, Section 552.E(1) applies and would necessitate a concrete, asphaltic concrete, or asphalt surface in this area. If the Planning Commission would like to consider a temporary waiver in the prepared surface requirements, one may be appropriate given the existing condition of the gravel surface and that this area is above and beyond required loading and parking areas. In this case, this area could be considered an additional maneuvering lane providing occasional access to the overhead door on the east side, since the required loading area is provided on the west side. A temporary waiver in the prepared surface requirements for access to the overhead door on the east side may be granted subject to the condition that the gravel area be surfaced with concrete, asphaltic concrete, or asphalt if it is observed that the access is used as a permanent loading area (e.g., observed as occupied by vehicles at least once per week for three consecutive weeks).

Snow Storage

As required by Section 551 of the Ordinance, a ratio of 10 square feet of snow storage is required per 100 square feet of parking area and that snow storage shall be located to prevent damage to landscaping required by this Ordinance. The total paved area, including parking spaces and maneuvering lanes, is indicated on the site plan as 6,020 square feet and 610 square feet of snow storage area is shown on the site plan.

Sidewalk

Section 522.B indicates that for "safety purposes, sidewalks shall be constructed within the interior of the development to link buildings with other destinations, such as, but not limited to, parking, adjoining streets, mailboxes, trash disposal, adjoining sidewalks or greenways, and on-site amenities..." The site plan shows a sidewalk connection from the existing sidewalk on Woodmere Avenue to the building entrance.

Signage

A note on the site plan indicates "Signs area subject to sign permit review. Site signage to be in compliance with Section 630 of the Zoning Ordinance."

Agency Reviews

The application is subject to additional reviews from other outside agencies including but not limited to the Township Engineer, Metro Fire, Grand Traverse County Department of Public Works, and Grand Traverse County Soil Erosion and Sedimentation Control. An email from the Township Engineer is provided as an attachment to this report.

FINDINGS OF FACT:

During their regular meeting on July 12, 2023, the Planning Commission passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration. A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

The Planning Commission may find this standard to be **MET** for the following reasons:

- This site is in the I-G General Industrial zoning district. A "Professional Studio" is permitted via Special Use Permit in the I-G district.
- The Master Plan identifies this site as Industrial on the Future Land Use map. The Industrial land use designation, according to the Master Plan, includes the intent "to remain primarily industrial in nature while allowing a limited number of non-industrial uses that are envisioned as accessory or complimentary to existing and future industrial uses of the districts." The proposed professional studio is complimentary to the surrounding industrial land uses.
- The site plan is being reviewed per the standards of the Zoning Ordinance. Through proposed site improvements and appropriate conditions, the site will be able to meet all applicable regulations of the I-G district.
- (2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The site is part of an existing industrial area. The proposed professional studio is complimentary to the surrounding industrial area.
- There are no known wetlands or sensitive areas of the natural environment on this site.
- (3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The proposed use is not expected to have a major impact on traffic on the neighboring streets.
- The proposed landscaping will help provide a better visual buffer to neighboring sites.
- No nuisances or hazards are expected to be generated.
- (4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The use is not anticipated to generate a large demand for parking. There has been double-parking previously on this site, but the site plan shows the parking lot striped for single-row parking. The site is anticipated to meet all parking demand on site based on the descriptions of the uses provided.
- No new access drives will be created as part of this project. The existing ingress and egress drive from Boon Street is well-established.
- The proposed landscaping will help provide a better visual buffer to neighboring sites.
- (5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The Planning Commission may find this standard to be **MET** for the following reasons:

- There are no known wetlands or sensitive areas of the natural environment on this site.
- Existing trees on the site are proposed to be preserved and are included as part of the landscaping.
- (6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The use will be part of an existing building. No new streets are required as part of this project.
- The use is not anticipated to generate a high demand for police, fire, and school services.
- Stormwater is subject to review by the Township Engineer. An email from the Township Engineer with comments on stormwater is provided as an attachment to this report.
- (7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The proposed use is compatible with nearby uses, is not expected to generate any nuisances, and is not anticipated to be detrimental to the public health safety, morals, or general welfare.
- (8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The public interest and welfare are served by the proposed use, which is allowed via special use permit in the I-G district.
- A public hearing was held on July 12, 2023. No comments nor concerns were made regarding the proposed use.
- (9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

The Planning Commission may find this standard to be **MET** for the following reasons:

- No new access drives will be created as part of this project. The existing ingress and egress drive from Boon Street is well-established.
- The proposed use is not expected to have a major impact on traffic on the neighboring streets.
- (10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

The Planning Commission may find this standard to be **MET** for the following reasons:

- The site plan shows a connection between the internal sidewalks and the existing sidewalk along Woodmere Avenue, allowing for pedestrian traffic into the site.
- (11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The Planning Commission may find this standard to be **MET** for the following reasons:

• The proposed use is permitted via the special use permit process in the I-G district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

ACTION REQUESTED:

The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Planning Commission discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for application SUP-2023-02, as presented in Planning Department Report 2023-95 and being made a part of this motion, BE ADOPTED.

If, following the applicant presentation and Planning Commission discussion, Commissioners are prepared to approve the application, then the following motion is offered for consideration, subject to the conditions as noted below, and subject to the conditions which are routinely added to all approvals:

MOTION THAT application SUP-2023-02, submitted by Jamie Kirschner and Nicole Martin for a Special Use Permit for a professional studio at 716 Boon Street, Parcel #05-135-008-00, BE APPROVED, subject to the following conditions (items 1-8 as indicated in Planning Department Report 2023-95):

- 1. A waiver is granted to allow for the east landscaping buffer width to be reduced to 15 feet.
- 2. The parking lot shall be striped for single-row parking only as depicted on the site plan.
- 3. There shall be no parking in areas not shown as parking lots on the site plan, including the east and west sides of the building.
- 4. Since the access to the overhead door on the east side is primarily a loading area, a concrete, asphaltic concrete, or asphalt surface in this area is required according to Section 552.E(1) of the Zoning Ordinance.
- 5. The application is subject to additional reviews from other outside agencies including but not limited to the Township Engineer, Metro Fire, Grand Traverse County Department of Public Works, and Grand Traverse County Soil Erosion and Sedimentation Control.
- 6. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
- 7. All proposed site improvements shall be installed prior to the issuance of a Certificate of Occupancy.
- 8. The applicant shall record promptly the Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Director of Planning within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

Attachments:

- 1. Bicycle Rack Cut Sheet
- 2. Lighting Cut Sheet
- 3. Email from Ryan Wells, dated August 2, 2023
- 4. Email from Jennifer Graham, Township Engineer, dated July 18, 2023
- 5. Site Plan (dated July 31, 2023) and Vicinity Map
- 6. Special Use Permit Application (dated May 10, 2023), Approval Criteria, and Impact Assessment



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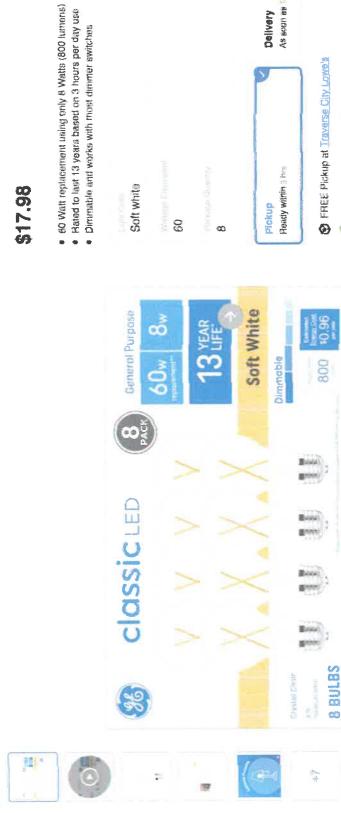
REMOVABLE ZINC ANCHOR (3-11 BIKE RACK)	\$14.09	ADD
TAMPER RESISTANT ZINC ANCHOR (3-11 BIKE)	\$26.49	ADD
REMOVABLE STAINLESS ANCHOR (FOR NON- STAINLESS 3-11 BIKE RACK)	\$30.29	.0

REMOVABLE STAINLESS ANCHOR (FOR STAINLESS 3-11 BIKE RACK)	\$20.59	ADD
TAMPER RESISTANT STAINLESS ANCHOR (FOR STAINLESS 3-11 BIKE RACK)	\$46.89	ADD
REMOVABLE ZINC ANCHOR (13-17 BIKE RACK)	\$21.88	ADD
TAMPER RESISTANT ZINC ANCHOR (13-17 BIKE)	\$41.18	ADD
REMOVABLE STAINLESS ANCHOR (FOR NON- STAINLESS 13-17 BIKE RACK)	\$46.88	ADD
REMOVABLE STAINLESS ANCHOR (FOR STAINLESS 13-17 BIKE RACK)	\$32.28	□ ADD
TAMPER RESISTANT STAINLESS ANCHOR (FOR STAINLESS 13-17 BIKE RACK)	\$72.08	ADD
REMOVABLE ZINC ANCHOR (19-21 BIKE RACK)	\$28.18	ADD
TAMPER RESISTANT ZINC ANCHOR (19-21 BIKE RACK)	\$52.98	ADD
REMOVABLE STAINLESS ANCHOR (NON- STAINLESS 19-21 BIKE	\$60.58	ADD

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Steve Hannon

From:	Ryan Wells < ryanwells147@gmail.com>
Sent:	Wednesday, August 2, 2023 11:45 AM

To: Steve Hannon

Cc: John Sych; Ryan Cox; hello@nmartinphoto.com; jamiek@crackerjackphotography.com;

June Wells

Subject: Re: Garfield Township - 716 Boon Street Site

Dear Planning Commission Members,

Re: Special Use Permit Application

To maintain current site hydrology and access to the existing overhead door on the east side of the building, we request that the existing gravel surface remain as it has been for the past 50 years. Section 551.E(2) of the zoning ordinance identifies that all parking spaces, parking aisles and maneuvering lanes be surfaced with asphalt, bituminous, concrete pavers or other similar material. It appears that this section is referring to regularly utilized "parking areas" and would therefore not apply to surfaces that are of occasional use for access to the existing commercial/industrial overhead door for temporary loading and unloading needs.

The impervious surface on the property will be reduced with the removal of a portion of the gravel and the additional 10' wide landscaping buffer that is proposed. The existing gravel is a durable surface that has adequately served the intended use over the life of the property. Although gravel is not pervious, this surface will not generate the same volume of runoff that would be generated by concrete or bituminous surfaces during most small rain events.

One of the conditions of the Special Use Permit application includes not allowing parking on this side of the structure. With that condition imposed on the property and the reduction in the existing gravel surface for additional landscaping and buffering, we request that the existing gravel surface be maintained to provide occasional use for loading and unloading as it has for the life of the building.

Very Best, Ryan Wells

Agent for Leasewell, Inc.

On Wed, Aug 2, 2023 at 7:43 AM Ryan Wells < ryanwells147@gmail.com> wrote: Good morning Steve,

Yes, thank you for meeting with me yesterday. I have been discussing with Ryan, our engineer, and we will be providing correspondence for the planning commission later this morning regarding Section 551.E.(2) as discussed.

Thank you.

Very Best, Ryan Wells 231.218.9584

On Tue, Aug 1, 2023 at 4:49 PM Steve Hannon <shannon@garfield-twp.com> wrote:

Thanks Ryan W for meeting with us earlier today. If you have any additional correspondence for the Planning Commission, especially regarding the standards of Section 551.E.(2) which we discussed, please provide it as soon as possible to include in the PC packet.

Sincerely,

Stephen Hannon, AICP

Deputy Planning Director

Charter Township of Garfield

3848 Veterans Drive

Traverse City, MI 49684

shannon@garfield-twp.com

(231) 225-3156

From: Ryan Wells < ryanwells147@gmail.com >

Sent: Monday, July 31, 2023 4:57 PM

To: Steve Hannon < shannon@garfield-twp.com>

Cc: John Sych <<u>jsych@garfield-twp.com</u>>; Ryan Cox <<u>Ryan.cox@gtecusa.com</u>>; <u>hello@nmartinphoto.com</u>;

jamiek@crackerjackphotography.com

Subject: Re: Garfield Township - 716 Boon Street Site

Great. How does 10:00am sound?

Thanks, Ryan Wells

On Mon, Jul 31, 2023 at 4:46 PM Steve Hannon < shannon@garfield-twp.com> wrote:

Thanks Ryan for sending the updated plan and for noting the changes. We're available to meet tomorrow, what time would work best for you? We'll take a look at the updated plan in advance of that meeting and follow up afterward.
Sincerely,
Stephen Hannon, AICP
Deputy Planning Director
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684
shannon@garfield-twp.com
(231) 225-3156
From: Ryan Cox <ryan.cox@gtecusa.com> Sent: Monday, July 31, 2023 3:27 PM To: Steve Hannon <shannon@garfield-twp.com> Cc: jamiek@crackerjackphotography.com; hello@nmartinphoto.com; John Sych <jsych@garfield-twp.com>; Ryan Co <ryan.cox@gtecusa.com>; Ryan Wells <ryanwells147@gmail.com> Subject: RE: Garfield Township - 716 Boon Street Site</ryanwells147@gmail.com></ryan.cox@gtecusa.com></jsych@garfield-twp.com></shannon@garfield-twp.com></ryan.cox@gtecusa.com>
Good Afternoon Stephen,
Attached is the updated site plan for Boon Street. The following are a few changes that have been made to the plans.
 Removal of dumpster and dumpster pad. The owner is planning to utilize individual totes or containers. Relocation of sidewalk extension to Barlow Street to better follow existing land contours and provide a relatively low sloping access route to the building. Updated snow storage calculations and added area to accommodate storage requirements. Labelled existing Unloading area to east side of building to ensure that existing overhead door can be maintained and accessible for tenants.

5. Landscaping proposed is currently proposed to provide a 10' buffer strip which will maintain access to the overhead door on that side of the building and provide for a snow storage area that has also historically been used to store snow. The 20 foot buffer strip would limit access to the existing overhead door.
The Owner would like to meet with you tomorrow to discuss the attached plan along with providing the requested lighting schematics and detail for the bike rack. A note has been added to the plans indicating that the bike rack must comply with township requirements. He would also like to discuss the proposal on the east side of the building to maintain access, provide landscaping, and provide for snow storage as shown on the plans. After your meeting, if any revisions to the plans are necessary, these can be turned around rather quickly to allow you to include the plans in your meeting packet. Please call or write back to discuss any questions.
Thanks,
Ryan A. Cox, PE
231-218-0590
Sent from Mail for Windows
From: Steve Hannon Sont: Thursday, July 20, 2022 2:50 PM
Sent: Thursday, July 20, 2023 2:50 PM To: Ryan Cox
Cc: John Sych Subject: Garfield Township - 716 Boon Street Site
Hello Ryan,
Thank you for talking with me earlier this week. The Township Engineer responded to the question about the east side of the building and I saw you were copied on the response.

Let me know if you have any questions as you prepare the updated site plan. I'm out of the office next week Monday
and Tuesday (July 24-25), but if you have any questions I can respond when I get back, or feel free to contact John
Sych, Planning Director (cc'd on this email).

Please be ready to resubmit any materials by **Monday July 31** for the next PC meeting, since we use that week to prepare all the agenda items for the packet.

Thanks,

Stephen Hannon, AICP

Deputy Planning Director

Charter Township of Garfield

3848 Veterans Drive

Traverse City, MI 49684

shannon@garfield-twp.com

(231) 225-3156

Steve Hannon

From: Jennifer Hodges < jennifer@gfa.tc>
Sent: Tuesday, July 18, 2023 12:36 PM

To: Steve Hannon; Mark Maguire; Ryan.cox@gtecusa.com

Cc: John Sych

Subject: RE: Garfield Township - 716 Boon Street Site

I was the person that spoke with Ryan Wells. Discussion with Mark, we agree and from a storm water runoff perspective, the change from gravel to paved is small. With the potential repave lane of ~ 12' for dumpster access the size of this area I would consider this change negligible. A buffer strip, stone trench, or shallow depression would help with water shedding towards neighbors would only require cursory review.



From: Steve Hannon <shannon@garfield-twp.com>

Sent: Tuesday, July 18, 2023 11:31 AM

To: Jennifer Hodges < jennifer@gfa.tc>; Mark Maguire < Markm@gfa.tc>; Ryan.cox@gtecusa.com

Cc: John Sych <jsych@garfield-twp.com>

Subject: Garfield Township - 716 Boon Street Site

Hello Jennifer and Mark,

I wanted to ask about the site at the corner of Boon and Woodmere, for which we are currently reviewing a Special Use Permit application. I'm copying the project engineer, Ryan Cox, PE on this email. I believe one of you had previously spoken with the property owner, Ryan Wells, about this site. They have paid an escrow and submitted a site plan (see attached).

In reviewing this application, we noted the existing gravel drive on the east side of the building. Section 551.E.(2)(a) of the Zoning Ordinance states: "Except for one and two family dwellings, all parking areas, including parking spaces, parking aisles and maneuvering lanes, shall be surfaced with asphalt, bituminous, concrete, pavers or other similar material that shall provide a durable, smooth and dustless surface. Such areas shall be maintained in good condition free

of weeds, dust, trash, and debris." There is a garage door on the east side of the building. The applicants have not shown this area will be paved, but are showing to maintain access and place a dumpster and snow storage on this side.

Based on our review, if the access to this side of the building will be maintained, it will need to be paved per the above standard. My question is: would this alter the existing stormwater drainage on the site and as such, would this trigger other stormwater improvements? Alternatively, if the access to the east side of the building is not needed, they could move up the dumpster enclosure and put grass along the side of the building.

Thanks,

Stephen Hannon, AICPDeputy Planning Director
Charter Township of Garfield

3848 Veterans Drive Traverse City, MI 49684 shannon@garfield-twp.com (231) 225-3156

PROJECT INFORMATION

APPLICANT INFORMATION JAMIE KIRSCHNER CRACKERJACK PHOTOGRAPHY STUDIO, LLC TRAVERSE CITY, MI 49685

NICOLE MARTIN NICOLE MARTIN PHOTOGRAPHY. LLC 11149 E. MEADOW VIEW DR. TRAVERSE CITY MI 49685

LEASEWELL, INC 525 CASS STREET TRAVERSE CITY, MI 49684 CONTACT: RYAN WELLS, PROPERTY MANAGER (231)-218-9584

PLAN PREPARER RYAN A. COX, PE 3147 LOGAN VALLEY ROAD

PROPERTY OWNER

SNOW STORAGE AREA REQ. PER 100 s.f. = 61 s.f. TRAVERSE CITY, MI 49684 (231)-218-0590

PARKING ANALYSIS

KITCHEN – 3 EMPLOYEES

SPACES PROVIDED = 15

ESTIMATED PARKING NEEDS PER USE

COFFEE ROASTING – 2 EMPLOYEES

TOTAL SPACES NECESSARY 12 SPACES

15 SPACES @ 9'x20' = 2,700 s.f. TOTAL AREA = 6,020 S.F.

SNOW STORAGE CALCULATIONS

PHOTOGRAPHY STUDIO – 2 EMPLOYEES

ZONING INFORMATION PARCEL ZONING: I-G (GENERAL INDUSTRIAL)
PROPERTY USES: EX. COMMERCIAL KITCHEN AND NEW PHOTOGRAPHY STUDIO
PARCEL ADDRESS: 700, 708, 716 BOON ST.
PROPERTY TAX ID: 28-05-135-008-00

-SIDE: 15 FEET -REAR: 20 FEET

IMPERVIOUS COVERAGE: NO LIMITATION

LEGAL DESCRIPTION

DESCRIPTION PER GT COUNTY GIS INFORMATION:

THE SOUTH 103 FEET OF THE NORTH 148 FEET OF LOT 33 EXCEPT THE EAST 200 FEET AND THE NORTH 8 FEET THEREOF, HANNAH LAY & COMPANY'S 15TH ADDITION TO THE CITY OF TRAVERSE CITY

GENERAL NOTES

1. THE PROJECT INVOLVES INTERIOR WORK FOR A CHANGE IN USE. NO EXTERIOR UPDATES ARE PROPOSED WITH EXCPTION OF LANDSCAPING UPDATES. ALL LIGHTING AND EXTERIOR SIGNAGE IS EXISTING.

2. ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL CONFORM WITH ALL CURRENT APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL SPECIFICATIONS AND DETAILS.

3. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

4. THE OWNER AND OR CONTRACTOR ARE RESPONSIBLE TO APPLY FOR AND RECEIVE ALL NECESSARY PERMITS FOR THIS PROJECT.

5. SIGNS AREA SUBJECT TO SIGN PERMIT REVIEW. SITE SIGNAGE TO BE IN COMPLIANCE WITH SECTION 630 OF THE ZONING ORDINANCE.

6. OWNER TO PROVIDE BIKE RACK EXHIBIT BIKE RACK TO MEET TOWNSHIP STANDARDS.

DRAWING INFORMATION

1. INFORMATION SHOWN ON SITE PLAN IS PER OWNER PROVIDED INFORMATION AND OTHER AVAILABLE COUNTY AND TOWNSHIP DOCUMENTS AND IMAGERY.

2. THIS IS NOT A BOUNDARY OR TOPOGRAPHIC SURVEY. ACCURACY OF ALL DIMENSIONS SHOWN IS NOT GUARANTEED.

3. THERE ARE NO MAJOR EXTERIOR BUILDING ALTERATIONS OR ADDITIONS THAT ARE PROPOSED, MINOR IMPROVEMENTS SUCH AS PAINTING OR GROUNDS MAINTENANCE MAY OCCUR.

LANDSCAPING REQUIREMENTS

LANDSCAPE BUFFER TYPE REQUIRED NORTH - N/A

EAST AND SOUTH - INDUSTRIAL ZONING: TYPE B

WEST - PRIMARY OR LOCAL ROAD: TYPE C

CANOPY TREES - 2" MIN. CAL.

EVERGREEN = 6 FEET HEIGHT FLOWERING TREES 1-1/2" CAL. SHRUBS 5 Gal.

Type "B" buffer

(1) Planting requirement. Ground cover as specified in Section 530.J, plus two large trees, one medium or small tree, and four shrubs per one hundred (100) linear feet of areenspace area. (2) Minimum width requirement. The Type "B" Buffer area shall be a minimum

width of ten (10) feet.

(1) Planting requirement. Ground cover as specified in Section 530.J, plus three large trees, three medium or small trees, one evergreen or coniferous tree per one hundred (100) linear feet of greenspace area.

(2) Minimum width requirement. The Type "C" Buffer area shall be a minimum width of ten (10) feet.

EAST SIDE - 103 FEET (BUFFER TYPE B) -GROUND COVER PER 530.J

-2 LARGE TREES - EXISTING 30" OAK, NONE REQUIRED -1 MEDIUM OR SMALL TREES -4 SHRUBS

SOUTH SIDE - 208 FEET (BUFFER TYPE B) -GROUND COVER PER 530.J -2 LARGE TREES, MULTIPLE MATURE CANOPY TREES, (NONE REQUIRED) -1 MEDIUM OR SMALL TREES (NONE REQUIRED) -4 SHRUBS (MULTIPLE EXISTING SHRUBS)

WEST SIDE - 103 FEET (BUFFER TYPE C) -GROUND COVER PER 530.J

-3 LARGE TREES - MULTIPLE EXISTING OAKS, (NONE REQUIRED) -3 MEDIUM OR SMALL TREES, MULTIPLE TREES (2 PROPOSED) -1 EVERGREEN OR CONIFEROUS PER 100 FEET (2 REQUIRED) -4 SHRUBS (4 PROPOSED)

IRRIGATION SYSTEM

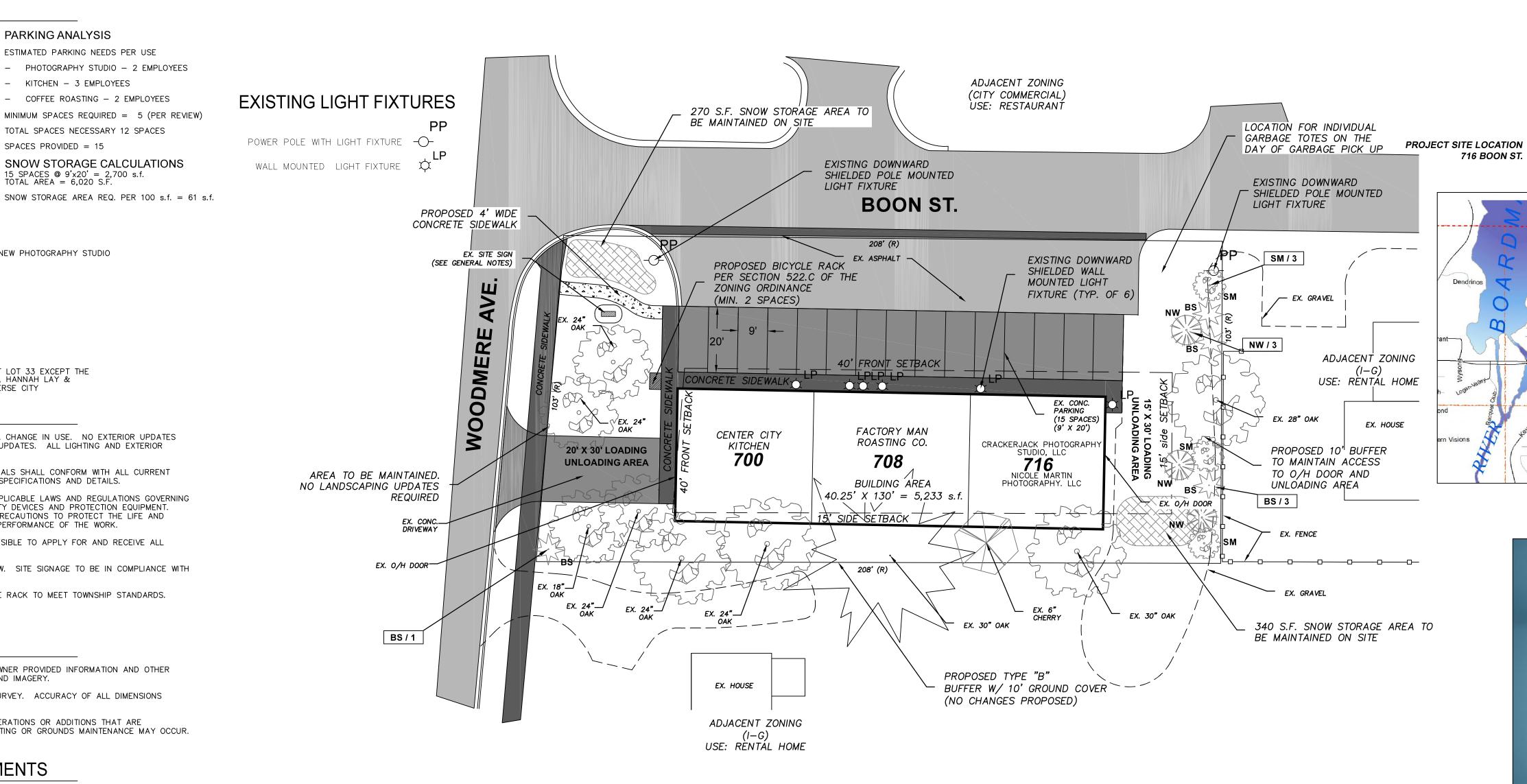
IRRIGATION SYSTEM TO COMPLY WITH THE REQUIREMENTS OF THE GARFIED TOWNSHIP ZONING ORDINANCE.

IRRIGATION CONTRACTOR SHALL INSTALL A PROPERLY SIZED BACK FLOW PREVENTOR THAT IS APPROVED BY THE GRAND TRAVERSE BAND EAST BAY WATER UTILITIES DEPARTMENT.

PROVIDE EVERYTHING NECESSARY TO INSTALL AN IRRIGATION SYSTEM TO PROPERLY WATER THE PROPOSED LANDSCAPING AREAS. COORDINATE WORK WITH OTHER TRADES. PROVIDE DESIGN FOR A COMPLETE LAWN IRRIGATION SYSTEM TO SPRINKLE THE LANDSCAPE AREAS INCLUDING ALL PLANTER BEDS.

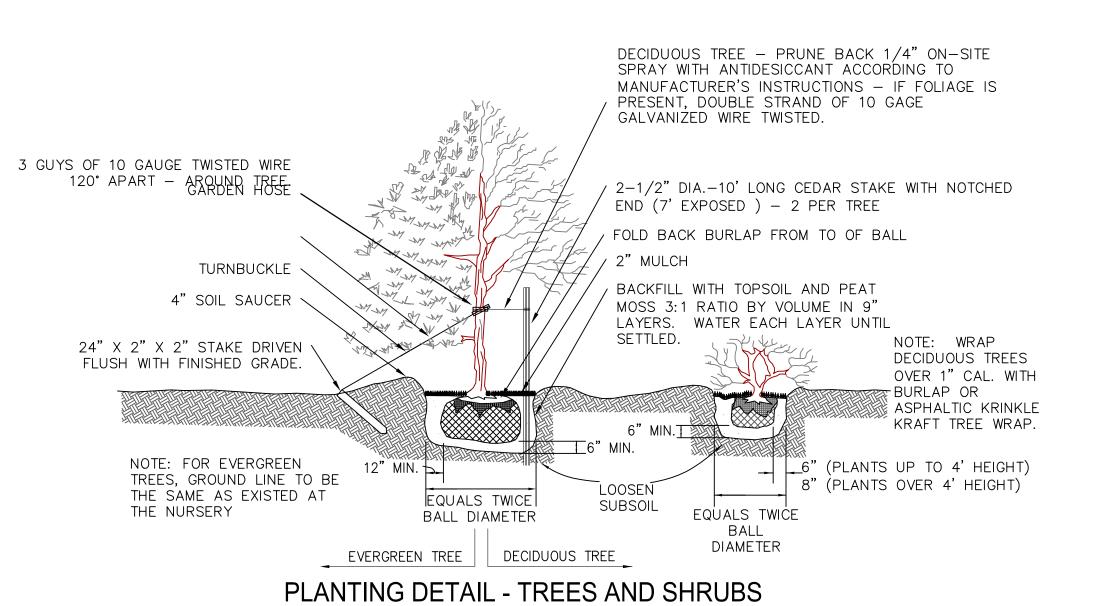
SUBMIT SHOP DRAWINGS ALONG WITH PRODUCT DATA AND DESIGN CALCULATIONS FOR THE SYSTEM. CONTRACTOR SHALL PROVIDE OWNER WITH AN O&M MANUAL FOR ALL EQUIPMENT AND A RECORD DRAWING OF SYSTEM LAYOUT AND INSTALLATION.

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSPECTIONS AND TESTING OF THE SYSTEM.



PLANT SCHEDULE

KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	NUMBER
SM	ACER SACCHARUM	SUGAR MAPLE	B&B - 2 " Cal.	3 EA.
BS	PICEA MARIANA	BLACK SPRUCE	5 Gal.	3 EA.
NW	THUJA OCCIDENTALIS	CEDAR, NORTHERN WHITE	5 Gal.	3 EA.



PLACE 4" MIN. GRANULAR 4" - 3.500 PSI CONCRETE MATERIAL CLASS II COMPACTED TO 95% MAX. UNIT DENSITY COMMERCIAL FIBER REINFORCEMENT 1.5 LB/SY (TYP.) - PREPARED SUBGRADE

4" SIDEWALK CONCRETE DETAIL NO SCALE



-- Oak-Terrace-

Hilltop

Beech Tree Whitehill

Bayway

Birch-Tree

Terra

Geraldton

Andrew

David

—Knoll Crest

_Townhouse

LIGHT FIXTURE - PATRIOT LIGHTING

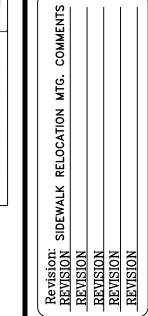
- 1. ALL LIGHTING AND EXTERIOR SIGNAGE IS EXISTING. LIGHTING SHALL COMPLY WITH SECTION 517 OF THE ZONING ORDINANCE.
- 2. EXISTING FIXTURES ON BUILDING ARE SHOWN ABOVE. THE FIXTURES ARE BY PATRIOT LIGHTING AND ARE A DOWNWARD DIRECTED 100W BARN STYLE LIGHT FIXTURES WITH INCANDECENT BULBS.
- 3. THERE ARE ALSO POLE LIGHTS INSTALLED AND PROVIDED BY TCLP THAT

PROVIDE LIGHTING TO THE PARKING AREA.

DRAWING SCALE: 1" = 20'

Fly Don't Dr





INC. REET MI 45

FOR SPECIAL USE PLAN 1E

S

Project No. 2023-15 Sheet



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

<u>ACTIO</u>	N REQUESTED		
V	New Special Use Per	mit	
	Major Amendment		
	Minor Amendment		
	Administrative Amend	dment	
PROJE	CT / DEVELOPMENT	NAME	
	Professional Photogr	raphy Studio at 716 Boon St	
APPLI	CANT INFORMATION		
	Name:	Jamie Kirschner and Nicole Martin	
	Address:	1450 W Outer Dr, Traverse City MI and 11149 E	Meadow View Drive, Suttons Bay MI
	Phone Number:	405-406-2734, 231-432-0211	
	Email:	jamiek@crackerjackphotography.com	hello@nmartinphoto.com
AGEN	[INFORMATION		
	Name:		
	Address:		
	Phone Number:		
	Email:		
OWNE	R INFORMATION		
	Name:	Ryan Wells	
	Address:	P.O. Box 452, Traverse City MI 49685	
	Phone Number:	231-218-9584	
	Email:	ryanwells147@gmail.com	

CONTACT P Please select		oe contact p	person for all correspondence and questions:
Appl	icant:	Jamie Kirs	chner
Agei	nt:		
Own	er:		
PROPERTY	INFORMATION		
Prop	erty Address:	716 Boon	St., Traverse City MI 49686
Prop	erty Identification	n Number:	05-135-008-00
Lega	l Description:		The south 103 ft of the north 148 ft of Lot 33 except the east 200 feet thereof
Zonii	ng District:		General Mixed-Use Industrial Business
Mast	er Plan Future L	and Use De	esignation: Industrial
Area	of Property (acr	es or squar	re feet): 0.45 acres
Exis	ting Use(s):	716 Boon	St. is currently unoccupied
Prop	osed Use(s):	Profession	al Photography Studio
DDO ICCT TI	MELINE		
PROJECT TI	M⊑∟IN⊑ nated Start Date:		ASAP as approved by township (May-August 2023)
			no construction project proposed
Esun	nated Completion	i Date.	
DECLIDED O	NIDMITTAL ITE	MC	
	SUBMITTAL ITE		Dormit consists of the following.
		peciai USE i	Permit consists of the following:
	cation Form:		마르크 (1985년) 1일 전 1일
	one ongine.		
		opy of the a	pplication (PDF only)
Appli	cation Fee:		
			resolution of the Garfield Township Board and are set out in the current Fee
			the Planning Department page of the Township website (http://www.garfield-
		ease make	check out to Charter Township of Garfield.
Escro	ow Fee:		
			equired if a review by independent professional help is deemed necessary by the
			ich additional fees must be placed in escrow by the applicant in accordance with
	the escrow p	olicies of th	e Township and prior to any further processing of this application. Any unused
	escrow funds	shall be re	turned to the applicant. Please complete an Escrow and Review (ER) Application

Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)

Page 2 of 8

form.
Site Development Plan:

Two complete bound 24"x36" paper sets

One digital set (PDF only)

AALITTELL	mormation.
	Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
	One digital copy of the Approval Criteria (PDF only)
	Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
	One digital copy of the Impact Assessment (PDF only)
Digital i	tems to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Writton Informatio

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

	The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and
	appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natura
	environment;
	The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public
	welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or
	electromagnetic interference;
	Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be
	minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well
	as the provision and location of screening, fencing, landscaping, buffers or setbacks;
Z	The proposed use will retain as many natural features of the property as practicable, particularly where the natural
	features assist in preserving the general character of the neighborhood;
Z	Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage
	structures, police and fire protection, and schools, already exist or will be provided without excessive additional
	requirements at public cost;
	The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the
	public health, safety, morals, comfort, or general welfare;
	The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that
	are adversely affected by the establishment of the proposed use;
Z	Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to
	minimize traffic congestion on the public roads;
	Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets
	and sidewalks servicing the site in a safe and convenient manner; and
	The proposed use shall not impede the orderly development and improvement of surrounding property for uses
	permitted within the zoning district.
IMPAC	ET ASSESSMENT
A writte	en impact statement to include the following information:
	A written illustrative description of the environmental characteristics of the site prior to development, i.e.,
	topography, soils, vegetative cover, drainage, streams, creeks or ponds.
	Types of uses and other man-made facilities.
	The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
	Phasing of the project including ultimate development proposals.
	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams
	wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on
	the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
	The method to be used to serve the development with water and sanitary sewer facilities.
	The method to be used to control drainage on the site and from the site. This shall include runoff control during
	periods of construction.
	If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health

Department or other responsible public agency indicating approval of plans for sewage treatment.

Ц	The method to be used to control any increase in effluent of	ischarge to the air or	r any increa	ise in noise level	
	emanating from the site. Consideration of any nuisance that	it would be created v	vithin the si	te or external to th	ne site
	whether by reason of dust, noise, furnes vibration, smoke of	or lights.			
	An indication of how the proposed use conforms with exist	ing and potential dev	elopment p	patterns and any	
	adverse effects.				
	The proposed density in units per acre for residential devel	lopments.			
	Name(s) and address(es) of person(s) responsible for prep	paration of statement			
	Description of measures to control soil erosion and sedime	entation during gradir	ng and cons	struction operation	ns
	and until a permanent ground cover is established. Recom	mendations for such	measures	may be obtained	from
	the County Soil Erosion and Sedimentation office.				
	Type, direction, and intensity of outside lighting.				
	General description of deed restrictions, if any.				
ADDI	TIONAL INFORMATION				
If appl	icable, provide the following further information:				
A. Sa	nitary Sewer Service	Yes	No	Not Applicable	
	pes project require extension of public sewer line?		Z		
	If yes, has a Utility Agreement been prepared?	_		<u></u>	
2 W	ill a community wastewater system be installed?	_		_	
2. 00	If yes, has a Utility Agreement been prepared?				
	If yes, provide construction plans and specifications	u u			
3 W	ill on-site disposal be used?		Z		
0	If yes, is it depicted on plan?				
B Wa	ater Service			Ø	
	pes project require extension of public water main?		Z		
	If yes, has a Utility Agreement been prepared?			Z	
2. W	ill a community water supply be installed?		Z		
	If yes, has a Utility Agreement been prepared?				
	If yes, provide construction plans and specifications				
C. Pu	blic utility easements required?		Z		
	If yes, show on plan.				
D. Sto	ormwater Review/Soil Erosion				
1. Sc	oil Erosion Plans approved by Soil Erosion Office?				
	If so, attach approval letter.				
	If no, are alternate measures shown?			Ø	
2. Sto	rmwater Plans approved by Township Engineer?				
	If so, attach approval letter. Review to take place after	application subm	ission pe	r engineer.	
	If no, are alternate measures shown?				
	Note: Alternate measures must be designed and sealed by	a registered Engine	er.		

Page 5 of 8 SUP - Form Date: March 1, 2021

E. <u>I</u>	Roads and Circulation				
1.	Are interior public streets proposed?				
	If yes, has Road Commission approved (attach letter)?				
2.	Will public streets connect to adjoining properties or future streets?				
3.	Are private roads or interior drives proposed?				
4.	Will private drives connect to adjoining properties service roads?				
5.	Has the Road Commission or MDOT approved curb cuts?				
	If yes, attach approved permit.				
OTH	HER INFORMATION				
If th	ere is any other information that you think may be useful in the review	ew of this ap	oplication, pl	ease attach it to	thi
арр	lication or explain it on a separate page.				
RE\	/IEW PROCESS				
•	Upon submittal of this application, Staff will review the materials sub	mitted and v	vill, within te	n (10) working da	ıys
	forward a determination of completeness to the applicant. If the subm	nission is inc	omplete or n	oncompliant with	th
	Zoning Ordinance, it will be returned to the applicant for revision. Or	ice the subn	nission is rev	vised, Staff will ag	ai
	review it for completeness and again forward a determination to the	e applicant v	within ten (1	0) working days.	
	This procedure shall be repeated until a complete submission is received	red.			
•	Once the application is deemed to be complete and submitted acc	ording to the	application	deadlines, it will	be
	forwarded to the Planning Commission for review. The Planning Co	ommission w	ill determine	if the application	ı i
	complete and schedule a public hearing.				
•	Upon holding a public hearing, the Planning Commission may app	orove, appro	ve with con	ditions, or deny t	he
	proposed special use.				
•	If approved or approved with conditions, the decision of the Planni	ng Commiss	sion shall be	incorporated into) 8
	written report and decision order.				
PEF	RMISSION TO ENTER SUBJECT PROPERTY				
Per	mission is hereby granted to Garfield Township staff and Planning Comn	nissioners to	enter the pre	emises subject to t	his
арр	lication for the purposes of making inspections associated with this appl	ication, durin	g normal and	d reasonable work	ing
hou	rs.				
Ow	ner Signature:	-1 001	0 P.	11 247	_

Date:

Applicant Signature:
Agent Signature:

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

INVE Kyan D. WEIS	, wisewell	, Inc.	authorize to make this application on my/our behalf
and to provide any of my/our	personal information	necessary for	the processing of this application. Moreover, this shall be
your good and sufficient author	rization for so doing.	2 11	
Owner Signature:	DD-4	Vello.	Agent for Leasewell Inc
Date:	5/10/23		
<u>AFFIDAVIT</u>			
The undersigned affirms that h	e/she or they is (are)) the owner, or	authorized agent of the owner, involved in the application
and all of the information sub	mitted in this applica	tion, including	any supplemental information, is in all respects true and
correct. The undersigned fu	rther acknowledges	that willful mi	srepresentation of information will terminate this permit
application and any permit as	sociated with this doc	cument.	
		3 1	Λ
Owner Signature:	120	. Well	o - agent for Leasewell, Ing

Date:

Date:

Applicant Signature:

	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A.	Basic Information		L
1.	Applicant's name, address, telephone number and signature		L
2.	Property owner's name, address, telephone number and signature	17/27	SILT
3.	Proof of property ownership		
١.	Whether there are any options or liens on the property	-	
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
3.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
	A vicinity map showing the area and road network surrounding the property		
	Name, address and phone number of the preparer of the site plan		
	Project title or name of the proposed development		
0.			List a po
_	Land uses and zoning classification on the subject parcel and adjoining parcels		
-			
	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		
_	Site Plan Information		
-	North arrow, scale, and date of original submittal and last revision		1 7 1
1.	Boundary dimensions of natural features Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		
4			- 10 3
	Proposed alterations to topography and other natural features		
	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		11 7.5
	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		
	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		
).	Proposed finish floor and grade line elevations of any structures *Required only for habitable construction within the floodplain on site diagrams and administrative site plans.		
0.	Existing and proposed driveways, including parking areas	L STE	1.550
11.	Neighboring driveways and other vehicular circulation features adjacent to the site	THE RESERVE	
2.	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		
3.	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		
	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		
5.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
_	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
	Location of water supply lines and/or wells		
	Location of sanitary sewer lines and/or sanitary sewer disposal systems		
_	Location, specifications, and access to a water supply in the event of a fire emergency		-
	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales,		
1.	wastewater lines, clean out locations, connection points and treatment systems A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		
2	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		2 Y 1
	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
4.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences,		
5	walls, trash receptacle screening, and other screening features with cross sections shown A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what		
	is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		
26.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities,		
	and on the natural environment on and adjacent to the site) Changes or modifications required for any applicable regulatory agencies' approvals		

Special Use Permit Application - 716 Boon St., Traverse City MI, 49686 Proposed Use: Professional Photography Studio

APPROVAL CRITERIA

• The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district.

This business is a non-industrial use that is complementary to existing uses of the district.

• The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment

No exterior design changes or construction are proposed, therefore the use will remain harmonious with the surrounding properties.

• The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

Traffic will be limited and by appointment only and no noise, dust, gas, smoke, etc. will be produced at the studio.

• Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

Adequate parking is provided in the 15 spaces located on the north side of the building. No changes to the existing building placement, structures or entrances are proposed.

• The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

No changes to natural features of the property are proposed.

- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

We do not foresee any negative impact on general welfare.

• The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

We do not anticipate any adverse effects on the public.

 Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

Ingress and egress to the property has been previously considered and discussed with Garfield Township Staff. Piggyback parking will be removed so that there is one row of parking spaces along the north side of the building. In 1984 the Garfield Township Zoning Board of Appeals waived the required 10-foot-wide green belt along the north side of the building. See attached documentation.

 Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner;

See above regarding parking. A paved access exists that connects the sidewalk along Woodmere to the sidewalk adjacent to the building.

• The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The proposed use will have no impact on development and improvement of the surrounding properties.

Special Use Permit Application - 716 Boon St., Traverse City MI, 49686 Proposed Use: Professional Photography Studio

IMPACT ASSESSMENT

Upon approval, we will open a professional photography studio at 716 Boon St. The studio will house two businesses, Nicole Martin Photography and Crackerjack Photography Studio owned by Nicole Martin and Jamie Kirschner respectively. We will use the studio for sales consultations and portrait photography sessions with clients including families, high school seniors, newborns, headshots, etc. The studio will also be available to rent for other photographers for similar use. All business conducted will be by appointment only. Typically we will serve clients in groups of five or less.

The current site is a 0.45 acre lot with one building occupying the majority of the property. There is a grassy area on the west side of the property between the building and Woodmere Ave with four mature trees. On the east side of the building there is a gravel surface with five mature trees lining the border with the neighboring residential property.

The new business will not create any kind of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference. All of the photography we do in the studio is digital and there will be no dark room or photographic chemicals in the building.

We do not plan to make any changes to the structure of the building or the property outside of the leased space. Existing natural features will remain in place. There will be no increase in impervious surface area, additional off-street parking, site access, or other changes to external site characteristics that violate the zoning ordinance. The property is served by the City of Traverse City for water and sewer and no changes will be made.

Drainage from the site is currently managed by a concrete ribbon feeding an existing storm drain. This will be reviewed by the township engineer after submission of this application per their instruction.

Exterior lighting at 716 Boon Street currently consists of one barn light rated for a max of 300W above the front entrance and one above the east entrance, both which point toward the ground. No changes shall be made to the current lighting.

Our intention is to provide a professional workspace for ourselves and other creatives where we can create, serve our clients and build community. This is in alignment with other businesses located nearby, including Tru-Fit Trouser and the live-work space, Work Centre on Centre Street. In addition, our intended use of the space fits within the suggestions of Article 3, Section 323 that states non-industrial uses are "complementary to existing and future industrial uses of the districts."

Responsible parties:

Jamie Kirschner 1450 W Outer Dr Traverse City MI, 49685

Nicole Martin 11149 E Meadow View Drive Suttons Bay, MI 49682

Ryan Wells PO Box 452 Traverse City, MI 49685

Charter Township of Garfield Planning Department Report No. 2023-96					
Prepared:	August 3, 2023	Pages: 11			
Meeting:	August 9, 2023 Planning Commission	Attachments:			
Subject:	Bish's RV – Site Plan Review and Access R	eview			
Applicant:	Taylor Eschbach, Kimley-Horn of Michigan	, Inc.			
Owner:	Brinkerhoff Properties, LLC				
File No.	SPR-2023-08				
Parcel No.	05-032-002-10 and 05-032-002-15				

BRIEF OVERVIEW:

- 705 N US 31 South southwest corner of Meadow Lane Drive and US 31
- Approximately 6.89 acres over two parcels; existing RV dealership
- Both parcels zoned as C-G General Commercial
- Both parcels have a Future Land Use designation of Commercial

BACKGROUND / PURPOSE OF APPLICATION:

This application is for site plan review of proposed parking lot and site improvements at the existing RV dealership, Bish's RV (formerly TCRV), at 705 N US 31 South at the southwest corner of Meadow Lane Drive and US 31. The applicants have also requested a proposed additional access driveway to Meadow Lane Drive. Vehicle Dealership, with Outdoor Sales is a use permitted with special conditions in the C-G district and it would typically be reviewed administratively. However, because the Planning Commission has the authority to review access per Section 512.1.a of the Zoning Ordinance, the Zoning Administrator has deferred review of this application to the Planning Commission. The Planning Commission discussed this application at their July 12, 2023 regular meeting but no actions were taken. The applicants provided a response letter, dated July 28, 2023, to Planning Department Report 2023-82 which was included in the packet for the July 12, 2023 Planning Commission meeting.





ACCESS DRIVEWAY REVIEW:

Per Section 512.1.a of the Zoning Ordinance, the "Planning Commission shall be the reviewing authority regarding access for the development of property and shall have the authority to require a reduction in current or proposed road access locations and/or require shared access to one (1) or more parcels."

The applicants have requested an additional access driveway to Meadow Lane Drive. In the aerial image shown above, an unpaved driveway can be seen to the west of the existing access driveway on to Meadow Lane Drive. Staff have researched prior approvals for this site and are not aware of any approvals for this unpaved driveway access to Meadow Lane Drive. The applicants supplied additional information on their request in their letter dated July 5, 2023, stating the following:

"The requested access point along Meadow Lane Drive has been located 300 feet west of the eastern access point to comply with the spacing requirements listed above. If granted, this access point would be only the second point of access along the more than 700 feet of property frontage on Meadow Lane Drive. This access point is being requested to improve on-site circulation and safety by limiting the area of passenger vehicle and RV overlap in the parking lot. Also, there are no existing or proposed access points along US Route 31 so without approval of this secondary access point there would only be a single point of access for emergency vehicles and responders for an almost 7 acre property. Meadow Lane is a significantly less traveled roadway than US Route 31 and therefore would be a much more beneficial location for a secondary access point."

The applicants supplied further information in their response letter from July 28, 2023, stating:

"At staff's suggestion, we have been in contact with Steve Barry, Permit Agent for the **Grand Traverse County Road Commission.** He confirmed that a commercial driveway permit would be required but did not express concerns with providing a secondary point of access to the site considering that the site has approximately 700 feet of frontage along Meadow Lane Drive. Steve stated that the County Road Commission will require the access points to be at least 300 feet apart and meet the details and specifications of their "Commercial Drive Approach" detail which

Steve has provided to us. The proposed location and geometry of the secondary access point as shown on the civil engineering drawings, meets the County standards.

We have also been in contact with the **Grand Traverse Metro Fire Department**. In discussions with the Fire Department, they stated that although they do not explicitly *require* two points of access to a property, they always prefer to have multiple points of access for fire and life safety."

According to Section 512.3.a., Qualifying Standards for Additional Access, "Access to land fronting a County Road may be permitted to exceed one (1) driveway or road access per existing parcel provided that each of the following standards can be met:"

- i. The request is not a result of a self-created issue by current or previous ownership.
- ii. The request is not contrary to a previously approved plan or project that limited access to the parcel.
- iii. Cross-access easements are provided to adjacent properties and all parcels are interconnected to achieve the intent of this Section.
- iv. Each additional access is located in such a manner that there is a minimum of 300 feet of separation measured from centerline to centerline of current and proposed road access.

Staff offers the following comments regarding the Qualifying Standards for Additional Access:

i. The request is not a result of a self-created issue by current or previous ownership.

The Planning Commission may find this standard to be **NOT MET** for the following reasons:

- Staff are not aware of any prior approvals for the existing unpaved driveway to Meadow Lane Drive as depicted in the aerial image above. With no prior approvals for an additional access driveway, this request could be considered a self-created issue by the property owners.
- In their response letter dated July 28, 2023, the applicant states: "It does appear that patrons in the past have accessed the site via the area located near where Bish's RV is requesting the second access to improve circulation safety on-site as well as provide additional emergency vehicular access. Additionally, this secondary access is consistent with typical commercial developments of this size." However, no prior approvals or permits for this secondary access driveway have been provided.

ii. The request is not contrary to a previously approved plan or project that limited access to the parcel.

The Planning Commission may find this standard to be **NOT MET** for the following reasons:

- Staff are not aware of any prior approvals for the existing unpaved driveway to Meadow Lane Drive as depicted in the aerial image above. Based on this information, an additional access driveway would appear to be contrary to a previously approved plan for this site.
- In their response letter dated July 28, 2023, the applicant states the "previously approved site plan may have only shown a single point of access to the site but that was for a significantly smaller development that was utilizing less than half of the property area. We believe the intent of this standard was to ensure that no additional access points are granted which violate any deed restrictions, no-build easements, etc. previously approved for the property." This language does not appear to be consistent with the intent of Section 512, Access Management and Restrictions, which states the following:

o "The intent of this Section is to provide safe and efficient travel along public roadways within Garfield Township. Due to the rapid and continuous growth of our community, the implementation of access management standards is necessary for undeveloped lands and the redevelopment of land. These roadways tend to serve higher volumes of regional traffic and require increased access control measures to preserve their traffic functionality and safety. There is no inherent right to receiving access or additional access to a parcel or parcels."

iii. Cross-access easements are provided to adjacent properties and all parcels are interconnected to achieve the intent of this Section.

The Planning Commission may find this standard to be **NOT MET** for the following reasons:

- No information has been provided to indicate that any cross-access easements have been provided to adjacent properties in accordance with this standard.
- In their response letter dated July 28, 2023, the "applicant is open to discussing cross-access easements, but we do not feel that they are applicable to this site-specific situation," but the standard above indicates cross-access easements are required to qualify for additional access.

iv. Each additional access is located in such a manner that there is a minimum of 300 feet of separation measured from centerline to centerline of current and proposed road access.

The Planning Commission may find this standard to be **MET** for the following reasons:

• The proposed additional access appears to be 300 feet from the other access driveway to Meadow Lane Drive as measured from centerline to centerline.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

Staff offer the following comments regarding the site design and Zoning Ordinance compliance. Section 424.F (1) indicates an "administrative site plan or site development plan shall conform to all provisions of this ordinance and to the following site development standards which shall be reflected on the plan:"

Required Information

Staff sent a completeness review to the applicants on June 26, 2023 and received their response on July 5, 2023. The site plan has also been updated since the previous Planning Commission meeting on July 12, 2023. Comments on individual items are included throughout this staff report.

Outside Agencies

The application is subject to additional reviews from several outside agencies, including but not limited to Township Engineer, Grand Traverse County Road Commission, and Metro Fire. An escrow application and an escrow amount for stormwater review was submitted on June 22, 2023. Correspondence from the Road Commission is included as an attachment to this report.

Essential Facilities and Services

The proposed project is an improvement to an existing site. No adverse impacts are anticipated regarding highways, streets, police, fire protection, refuse disposal, or schools compared with the existing site.

Natural Features

There are no known wetlands or sensitive natural features on this site.

Site Design

Per Section 424.F (1)(e), "All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood."

The proposed changes to the site are the parking lot extension for additional RV storage, the stormwater management improvements, pathway, fence, and requested additional access. Comments on the specific aspects of the site design are provided below.

Orientation

The main building entrance appears to face Meadow Lane Drive; no changes to the building are proposed.

Vehicle and Pedestrian Systems

Vehicular access is currently from an access driveway on Meadow Lane Drive. A 10-foot-wide multi-use non-motorized pathway is proposed along the US 31 frontage which will connect to other pathways in the area. A sidewalk and crosswalk will connect this pathway to the building entrance.

Shared Drives

Vehicular access is currently from an access driveway on Meadow Lane Drive. The applicants request an additional access driveway as noted above. No information has been provided to indicate that any cross-access easements or shared drives have been proposed.

Impervious Surfaces

The proposal includes an expansion of the impervious surface on the site to accommodate additional RV storage areas. This standard indicates to review that the "amount of impervious surface has been limited on the site to the extent practical." This standard can be addressed through the provision of landscaping as described below and through storm water review as conducted by the Township Engineer.

Master Plan

The Future Land Use Map identifies the site as Commercial, thus the development does not conflict with future land use policies.

ARTICLE 5 – DEVELOPMENT STANDARDS:

Lots

This site has frontage along both US 31 and Meadow Lane Drive. According to Section 510.F., a corner lot shall have 2 front setbacks along the roadways and 2 side yard setbacks. Article 2, Definitions, of the Zoning Ordinance includes the following definitions:

- Yard, Front: A yard, extending across the front of the lot between the side lot lines and measured between the front line of the lot and the building line.
- <u>Building Line</u>: That portion of a site defined by the minimum front, side, and rear yard setbacks within which no building or structure may be located.

The definitions of the front yard and building line affect several site plan elements, including the location of fences. Comments on these site plan elements are included throughout this letter below.

The site consists of 2 separate parcels. Because the proposed development and improvements encompass both parcels, these parcels need to be merged. The applicant response letter dated July 28, 2023 indicates that they are willing to merge the two parcels.

Fences, Outdoor Storage, and Outdoor Display

Two different types of fencing are proposed. A 4-foot wrought iron fence will be used along the frontage of US 31 and Meadow Lane Drive, and a 6-foot chain link fence around the RV storage areas. Details of these proposed fences are provided on Sheet L2.0.

According to Section 515.C, fence height is limited to 4 feet in the front yard and 7 feet in the side or rear yard. The wrought iron fence on US 31 and Meadow Lane Drive is proposed to be 4 feet and is entirely within the front yard area. Per the Zoning Ordinance definitions for "Yard, Front" and "Building Line" as described above, most of the proposed 6-foot chain link fence is in the rear yard. However, a portion of the proposed 6-foot chain link fence is in the existing entrance. No portion of the front yard areas may contain a 6-foot chain link fence.

Regarding the proposed 6-foot chain link fence for the side and rear yards which encompasses the outdoor storage of the site inventory, the following Zoning Ordinance sections are relevant:

- Section 515.B.(2)(b) on fencing material: "chain link may be acceptable when not in prominent view from a public street and provided a vegetative screen of living plant material is incorporated to provide screening and vegetative enhancement. Chain link fencing shall not incorporate "slats" for screening purposes." Public streets include US 31 and Meadow Lane Drive.
- Section 515.B(2)(c) regarding screening: "Where fencing is to be used for screening purposes, the Zoning Administrator upon review of a site plan or the Planning Commission upon review of a special use may require additional landscaping or allow an alternative fencing material or combination of plantings and materials to adequately screen a use."
- Section 613.A.(1)(b): "Outdoor storage of inventory is permitted within the side or rear yard provided such inventory is appropriately screened from public view by a fence, wall, landscaping, or combination thereof, and provided further that no storage may occur within a no-build buffer zone or required landscaping area."

Staff recommends the portions of the proposed chain-link fencing facing the US 31 and Meadow Lane Drive frontage include additional landscaping to provide enhanced screening per Section 515.B(2)(b) of the Zoning Ordinance. One suggested potential option is to provide a 5-foot-wide row of arbor vitae or other evergreens with plantings spaced 3-4 feet on center; other fencing materials may also be considered.

Section 613.A.(1)(c) allows for designated areas of product display for large inventory items, including RVs, provided that such display area shall not be in a no-build buffer zone or required landscaping area, and shall be located to avoid interference with parking lots, vehicular maneuvering lanes, sidewalks, and pathways. Some areas of outdoor display are shown on the site plan along the frontage of both US 31 and Meadow Lane Drive.

Dumpster Enclosure

Details of the dumpster enclosure are provided on Sheet L2.0. The enclosure will be PBR metal siding to match the building in accordance with Section 516.A. The previous site plan showed that the gate will be cedar in accordance with the requirement in Section 516.B. for an opaque wood gate, but this information is not on the current site plan. Details for both the enclosure and gate need to be provided on the site plan.

Lighting

Lighting standards of Section 517 of the Zoning Ordinance are described by the following:

Zoning Ordinance Lighting Standard	Subject Site
A. Applicability – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.
B. Shielding and Filtration – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	The site plan and photometric plan show two new light poles proposed. A cut sheet for the proposed light fixtures was included. No proposed fixtures appear to direct light upwards. These fixtures do not appear to direct any glare beyond the lot lines.
C. Illumination – Average illumination levels shall not exceed 3.0 foot-candles (FC) for the main parking area, 2.0 FC for the peripheral parking area, 5.0 FC for main drive areas, and 20.0 FC directly below the lighting fixture. The illumination levels shall also not exceed 1.0 FC adjoining another nonresidential zoning district along a property line, or 2.0 FC along an arterial. Average lighting values of illuminated areas ranging from 0.5 to 1.5 FC are recommended.	The highest illumination level on the photometric plan under any light fixture is 13.3 FC. The site adjoins other nonresidential zoning districts along US 31, an arterial. Average illumination appears to be below 2.0 FC, which is below the maximum according to Table 5-8. The average illumination levels for the parking areas, main drive areas, and below the fixture appear to be met.
D. Color Temperature – All proposed lamps shall emit light measuring 3,500 K or warmer.	The cut sheet indicates that the color temperature is adjustable to 3,000 K, 4,000 K, or 5,000 K. Clarification is needed that the selected fixture will be the 3,000 K temperature fixture to meet this requirement.
E. Prohibitions – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	No prohibited lighting elements are proposed.
F. Pole Height – All pole-mounted lighting shall not exceed the maximum zoning district height.	The maximum heigh in the C-G district is 35 feet. The pole heights shown on the photometric plan appear to be 20 feet.

Pedestrian and Non-Motorized Circulation

As described above, a 10-foot-wide multi-use non-motorized path is proposed along the US 31 frontage which will connect to other pathways in the area, and a proposed sidewalk and crosswalk will connect this path to the building entrance.

Landscaping

Landscaping requirements are described within the table below for each length of greenspace area (e.g., without including ingress and egress drives) for each lot line and for the parking lot interior area. Staff comments on the proposed landscaping are provided following this table.

According to Section 530.C., when "a building or parking lot is enlarged, the requirements of greenspace apply on an incremental basis such that landscaping shall be required in the same proportion that the enlarged building area or off-street parking area has to the existing development (e.g., a 10 percent increase requires 10 percent of the required landscaping)." The proposed improvements are primarily an expanded parking lot area including an outdoor storage area. The applicant provided calculations for the existing paved area and new paved area and indicated the new paved area represents 61% of the site area. Thus, an increment of 61% of the required landscaping is proposed. Staff is of the opinion that the 61% increment is reasonable given the nature of the proposed improvements. The table below reflects 61% of the overall landscaping requirements.

Lot Line	Adjacent	Buffer Planting	Amount Required	Amount Provided
(Length)	Land Use	Requirement	(61% increment)	
East (385 ft.)	Arterial Road (US 31)	Type "D" Buffer – ground cover as specified in Section 530.J, plus 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area, and a minimum width of 20 feet.	10 large trees 8 med./small trees 8 evergreen trees 20-foot width	10 large trees 7 ornamental trees 1 existing flowering tree (10' tall; 1:2 credit) 1 existing evergreen tree (16+' tall; 1:4 credit) 20-foot width Wrought-iron fence (4') Still needed: 4 evergreens
North (605 ft.)	Local Road (Meadow Lane Drive)	Type "C" Buffer – ground cover as specified in Section 530.J, plus 3 large trees, 3 medium or small trees, and 1 evergreen or coniferous tree per 100 linear feet of greenspace area, and a minimum width of 10 feet.	12 large trees 12 med./small trees 5 evergreen trees 10-foot width	4 large trees 12 ornamental trees 5 evergreen trees 2 existing canopy trees (9-12" cal.; 1:4 credit 2x) 20-foot width
West (665 ft.)	Commercial	Type "B" Buffer – ground cover as specified in Section 530.J, plus 2 large trees, 1 medium or small trees, and 4 shrubs per 100 linear feet of greenspace area, and a minimum width of 10 feet.	9 large trees 5 med./small trees 17 shrubs 10-foot width	13 large trees 5 ornamental trees 25 shrubs 10-foot width
South (910 ft.)		Type "B" Buffer – ground cover as specified in Section 530.J, plus 2 large trees, 1 medium or small trees, and 4 shrubs per 100 linear feet of greenspace area, and a minimum width of 10 feet.	12 large trees 7 med./small trees 23 shrubs 10-foot width	10 large trees 18 ornamental trees 27 shrubs 10-foot width Still needed: 2 large trees, although west buffer has 4 large trees beyond required

- The proposed landscaping on the east buffer is slightly under the requirements. The landscaping plan shall include 4 additional evergreens along the east buffer.
- The proposed landscaping on the south buffer is slightly under the requirements by 2 large trees, but the west buffer has 4 large trees beyond the requirement. This buffer can be understood to be met given that the west and south function as a continuous buffer along the perimeter of the site.
- The proposed landscaping buffers on the north and west both meet the requirements.
- The applicant has provided information on the sizes of existing trees to be used for credit towards landscaping requirements per Section 530.L.
- Proposed planting sizes have been revised to meet the minimum planting size standards of Table 530.F, including a 2-inch caliper for canopy trees and 6 feet height for evergreen trees.
- Only two of the proposed plant species are listed as native species in the ISN Planting Guidelines. The applicant should consult with the Invasive Species Network / Grand Traverse Conservation District regarding whether the other proposed species are acceptable for planting and verify that no invasive species are proposed as landscaping materials.

Parking, Loading, and Snow Storage

The parking requirements for "Automotive sales and service establishments" are described in Table 5-47 of the Zoning Ordinance and are described by the following:

- Minimum: 1 per 400 square feet of floor area of the sales room
- Maximum: 1 per 200 square feet of floor area of the sales room + 1 per auto service stall

The site plan indicates 6,529 square feet of sales floor area and 4 RV service stalls. Thus, the minimum parking required is 17 spaces with a maximum of 37 spaces. There are 8 parking spaces shown near the building and 29 spaces in the northwest corner of the site for 37 total parking spaces.

Per Section 522.C, bicycle parking is required at the ratio of 2 bicycle spaces for every 25 motor vehicle spaces. Four bike parking spaces are provided, and details are included on Sheet C6.0.

Per Section 551.E.(6), a ratio of 10 square feet of snow storage is required per 100 square feet of parking area. The site plan indicates a total paving area of 222,800 square feet, required snow storage of 22,280 square feet, and provided snow storage of 23,000 square feet. Some of the proposed snow storage area is the storm water retention area. The Township Engineer is reviewing the storm water management for the site and can comment on the proposed snow storage in the storm water retention basin.

The site plan states that the building has 12,489 square feet of gross floor area. Per Section 552, 1 small loading space measuring at least 10 feet by 20 feet is required and is shown near the dumpster enclosure.

Signs

Signs require sign permit review and are not approved under the site plan review process; a note has been added to "General Notes" on Sheet C2.0 stating, "Any proposed signs are subject to sign permit review."

SUPPLEMENTAL USE REGULATIONS - OUTDOOR SALES:

According to Section 762.A of the Zoning Ordinance, the sale of automobiles, trailers, boats, and similar large items may be permitted provided the following conditions can be met:

(1) The property has at least one property line on a major thoroughfare.

The site has a property line on US 31, a major thoroughfare.

(2) Access is limited to one (1) driveway approach to any public street and shall comply with Grand Traverse County Road Commission or MDOT requirements.

The existing access driveway is on Meadow Lane Drive. Access driveways to Meadow Lane Drive require review and approval by the Grand Traverse County Road Commission.

(3) No driveway or curb cut shall be located closer than 10 feet to an adjoining property.

None of the proposed access driveways are within 10 feet of an adjoining property.

(4) The property has an approved commercial retail business and structure located on the property that meets the standards of the Ordinance.

The outdoor sales use is tied to an existing retail use.

(5) The sales area shall be paved and adequately maintained so as to provide a smooth dustless surface.

The applicants are proposing paving an additional area as part of an expanded RV sales lot.

(6) All development standards of Article 5 can be met.

Please see the above section of this letter for comments on Article 5 standards.

RECOMMENDATION:

The applicants have requested additional access to Meadow Lane Drive. Based on the review provided in this letter, the following motion is suggested for consideration by the Planning Commission:

MOTION THAT the request for additional access to Meadow Lane Drive, as described in application SPR-2023-08 submitted by Taylor Eschbach of Kimley-Horn of Michigan, Inc., BE DENIED based on a review of the request against the requirements of Section 512.1.a of the Garfield Township Zoning Ordinance, as described in Planning Department Report 2023-96.

If the Planning Commission is prepared to decide on the site plan review application, then the following motion is offered:

MOTION THAT application SPR-2023-08, submitted by Taylor Eschbach of Kimley-Horn of Michigan, Inc. for a vehicle dealership, with outdoor sales on parcel #05-032-002-10 and parcel #05-032-002-15, and located at 705 N US 31 South, BE APPROVED, subject to the following conditions (1-9 as listed in Planning Department Report 2023-96):

- 1. The site plan needs to be adjusted to remove the proposed second access from Meadow Lane Drive.
- 2. The two parcels described in this application need to be merged.
- 3. No portion of the front yard areas may contain a 6-foot chain link fence.
- 4. The portions of the proposed chain-link fencing facing the US 31 and Meadow Lane Drive frontage shall include additional landscaping to provide enhanced screening per Section 515.B(2)(b).
- 5. Details for both the enclosure and gate need to be provided on the site plan.
- 6. Clarification that the selected lighting fixture will have a 3,000 K color temperature to meet the color temperature standards of Section 517.D.

- 7. The landscaping plan shall include 4 additional evergreens along the east buffer.
- 8. Verification is needed that no invasive species are proposed as landscaping materials.
- 9. All agency reviews, including stormwater and utility review by the Township Engineer, shall be received, and deemed compliant prior to issuing a Land Use Permit or Building Permit.

Additional information deemed necessary by the Planning Commission should be added to this motion.

Attachments:

- 1. Applicant Response Letter to Planning Department Report No. 2023-82 dated July 28, 2023.
- 2. Final Engineering and Landscape Plans dated July 28, 2023.
- 3. Photometric Plan dated July 20, 2023.
- 4. Lighting Cutsheet
- 5. Completeness Review Response Letter dated July 5, 2023.
- 6. Site Plan Review Application dated June 6, 2023.
- 7. Planning Commission Memorandum dated June 8, 2023.



July 28, 2023

Charter Township of Garfield Planning Commission 3848 Veterans Drive Traverse City, MI 49684

Attention: Stephen Hannon, AICP

Re: Application for Site Plan Review – Bish's RV

705 N US-31 South, Traverse City, MI 49685

Parcel #05-032-002-10 and Parcel #05-032-002-15

Response Letter to Planning Department Report No. 2023-82

Dear Mr. Hannon,

We have received a copy of your Planning Department Report No. 2023-82 dated July 6, 2023 and have listened to the discussion at the July 12, 2023 Planning Commission meeting. Below are a summary of responses and actions taken in response to Township comments:

ACCESS DRIVEWAY REVIEW:

Regarding the request for a secondary access point to Meadow Lane Drive, the applicant would like to continue to pursue this access as it has a significant impact to the operations and performance of the business on-site. The applicant respectfully offers the following additional information for the Plan Commission's consideration.

At staff's suggestion, we have been in contact with Steve Barry, Permit Agent for the **Grand Traverse County Road Commission**. He confirmed that a commercial driveway permit would be required but did not express concerns with providing a secondary point of access to the site considering that the site has approximately 700 feet of frontage along Meadow Lane Drive. Steve stated that the County Road Commission will require the access points to be at least 300 feet apart and meet the details and specifications of their "Commercial Drive Approach" detail which Steve has provided to us. The proposed location and geometry of the secondary access point as shown on the civil engineering drawings, meets the County standards.

We have also been in contact with the **Grand Traverse Metro Fire Department**. In discussions with the Fire Department, they stated that although they do not explicitly *require* two points of access to a property, they <u>always prefer to have multiple points of access for fire and life safety</u>.

In addition to fire safety, there are other benefits to having two points of access including reduced overlap of RV and passenger vehicle movements as they circulate through the site. This improves safety and reduces incidents of collisions throughout the parking area. By allowing this site to function with two points of access to Meadow Lane Drive, there would be no increase in traffic on the County roadway and no impact to traffic on Route 31.

In regards to the Qualifying Standards for Additional Access in Section 512.3:

i. The request is not a result of a self-created issue by current or previous ownership.

Response: It does appear that patrons in the past have accessed the site via the

area located near where Bish's RV is requesting the second access to improve circulation safety on-site as well as provide additional emergency vehicular access. Additionally, this secondary access is consistent with typical commercial developments of this size.



ii. The request is not contrary to a previously approved plan or project that limited access to the parcel.

Response: The previously approved site plan may have only shown a single point of access to the site but that was for a significantly smaller development that was utilizing less than half of the property area. We believe the intent of this standard was to ensure that no additional access points are granted which violate any deed restrictions, no-build easements, etc. previously approved for the property. To our knowledge, none of those restrictions exist along the property's Meadow Lane Drive frontage. If this standard is interpreted to limit site plan applications to the number of driveways on a previously approved site plan it would not allow for any redevelopment or expansion of a property to secure an additional access point regardless of proposed land use or the percentage of the property that they utilize.

iii. Cross-access easements are provided to adjacent properties and all parcels are interconnected to achieve the intent of this Section.

Response: The applicant is open to discussing cross-access easements, but we do not feel that they are applicable to this site-specific situation. To the east, the site is bordered by Route 31 and to the west, the site is bordered by the MacAllister Rentals property which already has <u>multiple</u> access points of their own to Meadow Lane Drive.

iv. Each additional access is located in such a manner that there is a minimum of 300 feet of separation measured from centerline to centerline of current and proposed road access.

Response: The applicant is open to discussing cross-access easements and their usefulness for this section of Meadow Lane Drive. To the east, the site is bordered by Route 31 and to the west, the site is bordered by the MacAllister Rentals property. The property to the west already has multiple access points directly to Meadow Lane Drive and would most likely not benefit from any shared access along the Bish's RV frontage.

ARTICLE 5 - DEVELOPMENT STANDARDS:

Lots

This site has frontage along both US 31 and Meadow Lane Drive. According to Section 510.F., a corner lot shall have 2 front setbacks along the roadways and 2 side yard setbacks. The front yard is defined as a yard, extending across the front of the lot between the side lot lines and measured between the front lot line and the building line. The site consists of 2 separate parcels. Because the proposed development and improvements encompass both parcels, these parcels should be merged.

Response: The applicant is willing to merge the two parcels.

Per Article 2 of the Garfield Township Zoning Ordinance the definition of "Building Line" is stated, "That portion of a site defined by the minimum front, side, and rear yard setbacks within which no building or structure may be located".

Per Table 3-3 of the Zoning Ordinance, Zoning District C-G requires a 40 ft. front yard setback.

Therefore, it is understood that the front yard along both the Meadow Lane Dr. and Route 31 frontages is defined as the first 40 ft into the site and not the entire area to the face of the existing building.



Fences, Outdoor Storage, and Outdoor Display

According to Section 515.C, fence height is limited to 4 feet in the front yard and 7 feet in the side or rear yard. The iron fence along US 31 is proposed to be 4 feet. The 6-foot chain link fence is appropriate for the side or rear yards, but some of the chain link fence is proposed for the front yard areas and should be removed.

Response: The limits of the iron fence have been extended to the 40ft setback line along both roadway frontages per the definition above. Please refer to Sheet C2.0 for updated fence limits. All other chain link fence proposed is beyond the limits of the front yard.

Section 613.A.(1)(b) indicates that the outdoor storage of inventory is permitted within the side or rear yard provided such inventory is appropriately screened from public view by a fence, wall, landscaping, or combination thereof, and provided further that no storage may occur within a no-build buffer zone or required landscaping area. The front and side yards are defined by the building line. The site plan shows that some of the outdoor storage is encroaching into the front yard areas and should be relocated to the side yards. Outdoor storage shall be screened in accordance with Section 515. Chain link fence shall not be used in areas in prominent view from a public street (e.g., US 31 and Meadow Lane Drive).

Response: As defined above, the front yard is limited to the first 40 feet of the property. The proposed Sales Lot and Service & Detail Lot are over 129 feet from the Meadow Lane Drive right-of-way, well beyond the limits of the front yard. All fencing proposed in prominent view from Route 31 is called out to be iron fence. The nearest chain link fence to Route 31 is approximately 80 feet from the right-of-way line and located behind a landscape buffer, a decorative fence, and the RV display lot. Along Meadow Lane Drive, the proposed chain link fence is approximately 129 feet from the right-of-way and also behind a landscape screen.

Section 613.A.(1)(c) allows for designated areas of product display for large inventory items, including RVs, provided that such display area shall not be in a no-build buffer zone or required landscaping area, and shall be located to avoid interference with parking lots, vehicular maneuvering lanes, sidewalks, and pathways. Some areas of outdoor display are shown on the site plan along the frontage of both US 31 and Meadow Lane Drive.

Response: The proposed Display Lot location is consistent with existing conditions, is located outside of the required landscape area, and is not located in a no-build buffer zone.

Dumpster Enclosure

Details of the dumpster enclosure gate are provided on Sheet L2.0, which will be cedar and conforms to the requirement in Section 516.B. for an opaque wood gate. Details need to be included for the entirety of the enclosure to determine if all the standards of Section 516 have been met.

Response: Updated dumpster enclosure details have been provided on the Landscape Plans. The revised enclosure materials will be consistent with the existing building as described in Section 516.B.

Lighting

A complete lighting plan, including photometric plan and cut sheets of all the proposed fixtures, shall be provided to ensure Section 517 Lighting standards are met.

Response: A proposed lighting plan has been included with the resubmittal providing locations of proposed light fixtures, photometrics, and cut sheets.



Landscaping

• The proposed landscaping along the west and south buffers are slightly under the requirements. Adjustments can be made to these to meet the requirements.

Response: Revisions have been made to the proposed landscape plan to meet the West and South buffer requirements.

The proposed landscaping along the east and north buffers are under the requirements. According to Section 530.C., when "a building or parking lot is enlarged, the requirements of greenspace apply on an incremental basis such that landscaping shall be required in the same proportion that the enlarged building area or off-street parking area has to the existing development (e.g., a 10 percent increase requires 10 percent of the required landscaping)." The proposed improvements are primarily an expanded parking lot area including an outdoor storage area. The applicant should provide calculation for the existing paved area and new paved area to determine the percent enlargement in paved area, and thus the incremental landscaping required.

Response: Calculations have been provided on the Landscape Plan showing the percent enlargement of paved area and resulting incremental landscaping requirement. The Landscape Plan has been updated to show a significant increase in plantings within the east and north buffers to meet this incremental requirement which equates to approximately 60% of the total requirement.

Existing vegetation can be used for credit towards landscaping requirements per Section 530.L, however information is needed on existing sizes to determine how much credit may be granted.
 Response: Additional detail has been added to the Landscape Plan describing the four existing trees to remain. There is one deciduous tree and one every remain.

the four existing trees to remain. There is one deciduous tree and one evergreen tree along Route 31 and there are two deciduous trees along Meadow Lane Drive to remain that have been counted towards the landscape requirements.

• The minimum planting size standards of Table 530.F. need to be met, including a 2-inch caliper for canopy trees and 6 feet height for evergreen trees.

Response: The proposed planting sizes have been revised to meet code.

 Only two of the proposed plant species are listed as native species in the ISN Planting Guidelines. The applicant should consult with the Invasive Species Network / Grand Traverse Conservation District on whether the other proposed species are acceptable for planting.

Response: The proposed plant species have been revised to provide additional species from the native species list.

Parking, Loading, and Snow Storage

The site plan indicates 6,529 square feet of sales floor area and 4 RV service stalls. Thus, the minimum parking required is 17 spaces with a maximum of 37 spaces. There are 8 parking spaces shown near the building and 39 spaces in the northwest corner of the site for a total of 47 parking spaces.

Response: The applicant maintains that exterior sales area should be included in this calculation for a seasonal use like the one proposed and a use where the product (RVs) are too large to locate interior to the building. Nevertheless, ten surface parking spaces have been eliminated from the Site Plan in order to comply with the maximum parking count of 37 spaces.



Per Section 551.C.(2)(b), the Planning Commission may allow for an applicant to exceed the maximum number of spaces permitted provided the additional spaces are constructed of pervious pavement, pavers or similar material. The site plan does not show any pervious pavement proposed.

Response: The amount of proposed parking spaces has been reduced to comply with the ordinance.

Signs

Signs require sign permit review and are not approved under the site plan review process. A note should be added to the site plan indicating that "Signs are subject to sign permit review."

Response: The note above has been added as note 7 on the Site Plan (Sheet C2.0).

We hope that the responses above and the revisions made to the plans adequately address your comments.

If you have any questions or require any additional information, please contact me to 630-487-3392 or taylor.eschbach@kimley-horn.com.

Sincerely,

Taylor Eschbach, P.E.



FINAL ENGINEERING AND LANDSCAPE PLANS BISH'S RV

705 US-31 S TRAVERSE CITY, MICHIGAN 49685

UTILITY AND GOVERNING AGENCY CONTACTS

ZONING DEPARTMENT
CHARTER TOWNSHIP OF GARFIELD
3848 VETERANS DRIVE
TRAVERSE CITY, MI 49684
TEL: (231) 941-1620
EMAIL: MGREEN@GARFIELD-TWP.COM
CONTACT: MIKE GREEN

FIRE DEPARTMENT
GRAND TRAVERSE METRO FIRE DEPARTMENT
FIRE PREVENTION BUREAU
897 PARSONS ROAD
TRAVERSE CITY, MI 49686
TEL: (231) 947-3000 X1236
EMAIL: KFORDYCE@GTMETROFIRE.ORG
CONTACT: KATHY FORDYCE

ROADWAY AUTHORITY
GRAND TRAVERSE COUNTY ROAD COMMI
1881 LAFRANIER ROAD
TRAVERSE CITY, MI 49696
TEL: (231) 922-4848
EMAIL: SBARRY@GTCRC.ORG

CONTACT: STEVE BARRY

PROJECT TEAM

DEVELOPER
BISH'S RV
1200 N MAIN BOX 160
MERIDIAN, ID 83680
TEL: (208) 477-8256
CONTACT: JEFFREY L. KING

ARCHITECT
JESSE S. GOLDMAN ARCHITECT
2696 S COLORADO BLVD, SUITE 525
DENVER, CO 80222
TEL: (208) 343-4635
CONTACT: TIFFANI NORMAN, AIA

CIVIL ENGINEER

KIMLEY-HORN OF MICHIGAN, INC.

1000 TOWN CENTER, SUITE 1900

SOUTHFIELD, MI 48075

TEL: (630) 487-5550

EMAIL: TAYLOR.ESCHBACH@KIMLEY-HORN.COM
CONTACT: TAYLOR ESCHBACH

SOIL EROSION & SEDIMENT CONTROL

GRAND TRAVERSE COUNTY

TRAVERSE CITY, MI 49686

EMAIL: EH@GTCOUNTYMI.GOV

CHARTER TOWNSHIP OF GARFIELD

EMAIL: SHANNON@GARFIELD-TWP.COM CONTACT: STEPHEN HANNON. AICP

ENVIRONMENTAL HEALTH

2650 LaFRANIER ROAD

TEL: (231) 995-6051

3848 VETERANS DRIVE

TEL: (231) 225-3156

LANDSCAPE ARCHITECT

KIMLEY-HORN OF MICHIGAN, INC.

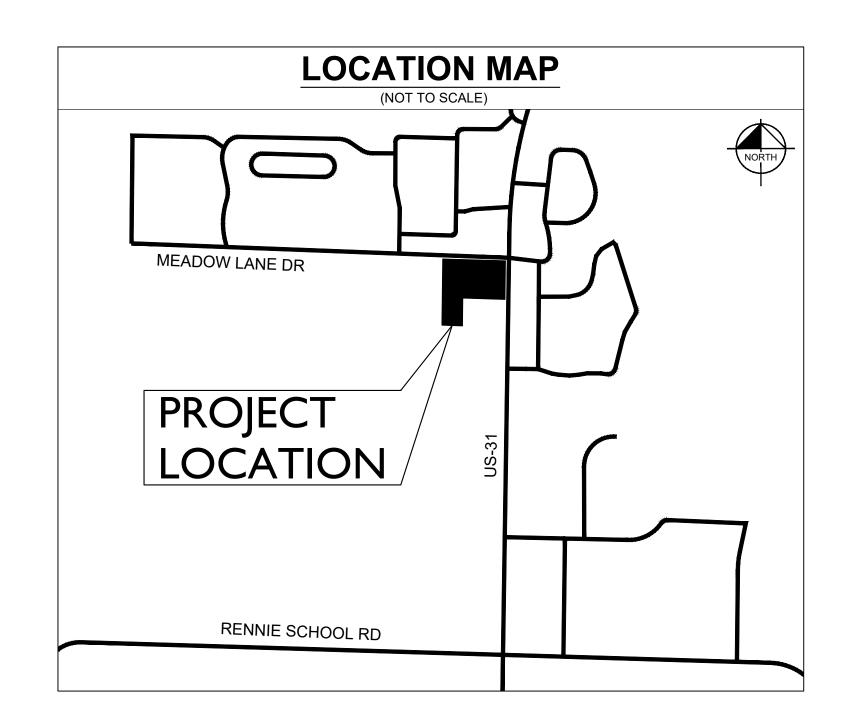
1000 TOWN CENTER, SUITE 1900

SOUTHFIELD, MI 48075

TEL: (630) 487-5550

EMAIL: CHRIS.WILSON@KIMLEY-HORN.COM
CONTACT: CHRIS WILSON

SURVEYOR
HOLMBERG LAND SURVEYING, LLC
310 W. FRONT ST, SUITE 208
TRAVERSE CITY, MI 49684
TEL: (231) 357-4785
CONTACT: DAVID L. HOLMBERG



LEGAL DESCRIPTION

TAX DESCRIPTION: PID 05-032-002-15

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS COM NE COR SEC 32 TH S 0°17'30" E 1667.74' FOR POB TH S 0°17'30" E 53.45' TH N 89°18'53" W 500.07' TH S 0°17'30" E 280.04' TH N 89°15'21" W 205.04' TH N 0°17'30" W 332.2' TH S 89°20'38" E 705.1' TO POB EXCEPT US-31/M-37 ROW.

TAX DESCRIPTION: PID 05-032-002-10

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS N1/2 E 705.09' N 1/2 S 1/2 NE 1/4 EXCEPT HWY US 31/M-37 ROW.

LEGAL DESCRIPTION: TRUSTEE'S DEED, DOCUMENT #2012R-14601, GRAND TRAVERSE COUNTY RECORDS

PART OF THE NORTHEAST 1/4 OF SECTION 32, T27N, R11W, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 32; THENCE S 00°17'30" E, 1334.15 FEET ALONG THE EAST LINE OF SECTION 32 AND THE CENTERLINE OF U.S. 31 & M-37 TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST SECTION LINE AND CENTERLINE S 00°17'30" E, 387.04 FEET; THENCE N 89°18'53" W, 500.07 FEET; THENCE S 00°17'30" E, 280.04 FEET; THENCE N 89°15'21" W, 205.04 FEET; THENCE N 00°17'30" W, 665.63 FEET; THENCE S 89°22'24" E, 705.09 FEET TO SAID EAST SECTION LINE AND CENTERLINE AND POINT OF BEGINNING. EXCEPT PARCEL CONVEYED TO THE STATE HIGHWAY COMMISSIONER OF THE STATE OF MICHIGAN IN WARRANTY DEED RECORDED IN LIBER 236, PAGE 374.

Sheet List Table			
Sheet Number	Sheet Title		
C0.0	COVER SHEET		
C0.1	GENERAL NOTES		
V0.0	TOPOGRAPHIC SURVEY		
C1.0	EX. CONDITIONS & DEMO PLAN		
C2.0	SITE PLAN		
C3.0	EROSION CONTROL PLAN		
C3.1	EROSION CONTROL DETAILS		
C4.0	GRADING AND DRAINAGE PLAN		
C5.0	STORMWATER PLAN		
C6.0	CONSTRUCTION DETAILS		
L1.0	LANDSCAPE PLAN		
L2.0	LANDSCAPE NOTES AND DETAILS		
L2.1	LANDSCAPE NOTES DETAILS		

PROFESSIONAL ENGINEER'S CERTIFICATION

I, DERIK LEARY, A LICENSED PROFESSIONAL ENGINEER OF MICHIGAN, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF BISH'S RV BY KIMLEY—HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 28TH DAY OF JULY, A.D., 2023.

MICHIGAN LICENSED PROFESSIONAL ENGINEER 6201066961



ichigan, Inc.
1900

A REVISED PER TOWNSHIP COMMENTS
No. REVISIONS

E Kimley Horn
of Michigan, Inc.
© 2023 KIMLEY—HORN OF MICHIGAN, INC.
1000 TOWN CENTER, SUITE 1900
SOUTHFIELD, MI 48075
PHONE: 313—572—1560
www.KIMLEY—HORN.COM

DRAWN BY: TRW CHECKED BY: TRE



OVER SHE

SISH'S RV 705 US-31 S

ORIGINAL ISSUE: 07/20/2023 KHA PROJECT NO. 268398001

SHEET NUMBER

C0.0

GENERAL NOTES

EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A DRAWING PREPARED BY:

310 W. FRONT ST, SUITE 208 TRAVERSE CITY, MI 49684 TELE: (231) 357-4785 CONTACT: DAVID L. HOLMBERG

- COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.
- 2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- 3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF:
 A. "STANDARD SPECIFICATIONS FOR CONSTRUCTION," AS PREPARED BY MICHIGAN DEPARTMENT OF
- TRANSPORTATION, LATEST EDITION.

 B. "MICHIGAN ADMINISTRATIVE CODE" AS PUBLISHED BY THE OFFICE OF REGULATOR REINVENTION,
- DEPARTMENT OF LICENSING AND REGULATOR AFFAIRS, LATEST EDITION.

 C. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE CHARTER TOWNSHIP OF GARFIELD, UNLESS OTHERWISE NOTED ON THE PLANS.
- D. THE NATIONAL ELECTRIC CODE.
- E. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- S. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT.
- 6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND
- 8. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY—HORN OF MICHIGAN, INC, THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S)
- 9. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY.
 EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION. THE
- 12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS.

CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

- 13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 14. NOTIFICATION OF COMMENCING CONSTRUCTION:
- 14.1. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE CHARTER TOWNSHIP OF GARFIELD, AND THE OWNER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
- 14.2. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE CONTRACTOR.
- 15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE CITY.
- 16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- 17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER MDOT SECTION 201.05. THE RIGHT—OF—WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE
- 18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.
 ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE
- ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS A PAY ITEM IS LISTED ON THE BID LIST.

 21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAYEMENT, SIDEWALK, CURB, CURB AND
- GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH DISPOSAL.
- 22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
- 23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE CHARTER TOWNSHIP OF GARFIELD. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CHARTER TOWNSHIP OF GARFIELD PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY.
- 24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL, AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL MISS DIG SYSTEM, INC. (1-800-482-7171) AND THE CHARTER TOWNSHIP OF GARFIELD FOR UTILITY LOCATIONS.
- 26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK.
- 28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

- 29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE CITY UPON FINAL INSPECTION OF THE PROJECT.
- 30. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.
- 32. ALL UTILITIES INSTALLED WITHIN THE MDOT RIGHT-OF-WAY SHALL BE BACKFILLED WITH FLOWABLE FILL "CONTROLLED, LOW-STRENGTH MATERIAL, BACKFILL" WITHIN THE RIGHT-OF-WAY, MEETING MDOT REQUIREMENTS.
- 33. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN O.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL—COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING.
- 34. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.
- 35. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
- 36. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

 37. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DEQ REGULATIONS AND MDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER. HAS DEVELOPED.
- 38. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS.
- 39. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON—SITE AT ALL TIMES.

 40. ALL DISTURBED AREAS OF THE RIGHT—OF—WAY SHALL BE FULLY RESTORED TO PRE—CONSTRUCTION
- 41. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED
- 42. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY
 THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER

CONDITIONS WITH A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER MDOT

- FOR REVIEW AND APPROVAL.

 43. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.
- 44. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER.
- 45. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE CHARTER TOWNSHIP OF GARFIELD, AS NECESSARY.

EARTHWORK NOTES

GENERAL

- .1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.
- 1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.
- 1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.
- 1.4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.
- 1.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.
- 1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
- 1.7. EXISTING SUBSURFACE CONDITIONS WERE OBTAINED FROM A GEOTECHNICAL PREPARED BY:

17515 W 9 MILE ROAD SOUTHFIELD, MI 48075

MISCELLANEOUS. THE CONTRACTOR SHALL:

- 2. TOPSOIL EXCAVATION INCLUDES:
- 2.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
- 2.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
- 2.3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
- 2.4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING THREE (3) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
- 2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.

 3. EARTH EXCAVATION INCLUDES:
- 3.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
- 3.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.
- 3.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- 3.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.
- 4. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- 5.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
- 2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
- 5.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
- 5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
- 6.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER. (SEE PAVING

6.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX—WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER

PAVING NOTES

- 1.1. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN—UP AND ALL
- 1.2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)]: SUBGRADE = 93%; SUBBASE = 95%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = 95% OF MAXIMUM DENSITY, PER MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) HIGHWAY STANDARDS.
- 1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE CHARTER TOWNSHIP OF GARFIELD
- 2. SUBGRADE PREPARATION
- 2.1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
- 2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF—ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING
- 2.2.1. SCARIFY, DISC, AND AERATE.
- 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
- 2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.
- 2.2.4. USE OF GEOTEXTILE FABRIC.
- MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE—QUARTER (1/4) INCH TO ONE—HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.

 2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE—GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL
- SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
- 2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER.
- . CONCRETE WORK

 3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT

 LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX
- ÀLL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.

 3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE-MOLDED FIBER EXPANSION JOINTS, WITH TWO 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH

(6) BAG MIX AND`SHALL DEVELOP A $\,$ MINIMUM OF 4,200 PSI COMPRESSIVE STRENGTH AT 28 DAYS .

- METAL EXPANSION TUBES

 3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE MICHIGAN BUILDING CODE AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED,
- FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.

 3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF
- 3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 50-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.
- 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER MDOT STANDARDS. TWO (2) COATS OF MDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.
- 3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.
- 4. FLEXIBLE PAVEMENT
- 4.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, MDOT 22A (OR SIMILAR), BITUMINOUS CONCRETE LEVELING COURSE, MDOT 13A; AND BITUMINOUS CONCRETE SURFACE COURSE, MDOT 13A, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.
- 4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE LEVELING COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE MDOT APPROVED.
- 4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE LEVELING COURSE SHALL BE CLEANED AND TACK—COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE LEVELING COURSE, BASE, OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER MDOT STANDARDS.
- 4.4. SEAMS IN BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.

 5. TESTING AND FINAL ACCEPTANCE.
- 5.1. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE ENGINEER.

5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN

- REQUIRED BY THE CHARTER TOWNSHIP OF GARFIELD, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.

 5.3. WHEN REQUIRED BY THE CHARTER TOWNSHIP OF GARFIELD, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE
- ADJUSTED FOR BY THE METHOD REQUIRED BY MDOT STANDARDS.

 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.
- 6. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CHARTER TOWNSHIP OF GARFIELD. WHEN CONFLICTS ARISE BETWEEN CITY CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE.

SIGNAGE AND PAVEMENT MARKING NOTES

- . ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARDS.
- . SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080—INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD.

 . POSTS: SIGN POSTS SHALL BE A HEAVY—DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT, SUCH AS A TYPE B METAL POST, AS PER THE MDOT STANDARDS (OR 2—INCH PERFORATED STEEL TUBE).

 . SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH MDOT STANDARDS.
- 5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC HOT ROLLED INTO PAVEMENT.
- PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH MDOT STANDARDS.
 COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCH AND

DEGREES FAHRENHEIT AND RISING.

LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE.

THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50

DEMOLITION NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.

2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL

LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

- 4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE—ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING MOOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND
- USING MDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.

 6. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS
- 6. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.

ENVIRONMENTAL SITE ASSESSMENT AND ASBESTOS REPORT FOR SITE SPECIFIC CONDITIONS AND

- 7. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.

 8. PRIOR TO BIDDING AND CONSTRUCTION. CONTRACTOR TO REFER TO OWNER PROVIDED PHASE I
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS
 EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION. REFER
- 11. REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. SEE ARCHITECTURAL DRAWINGS FOR LIMITS AND PROPER DEMOLITION OF EXISTING BUILDING. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:
- SIDEWALK AND ON—SITE PAVEMENT
 BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
 DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
 ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL
- DEPTH AT THE EDGES PRIOR TO REMVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.

 CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL
- DISPOSAL OF DEMOLISHED MATERIALS REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED
- STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.
- AND TREE PROTECTION AND REMOVAL SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.

 LUTILITY SERVICES EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT—OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA—1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S
- 5. <u>UTILITY PROTECTION</u> UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "MISS DIG" (1-800-482-7171) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING WINCIPPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN—KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 41 HOURS BEFORE
- 6. POLLUTION CONTROLS USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.

CONSTRUCTION COMMENCES.



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△A. REVISED PER TOWNSHIP COMMENTS 07/28/23

No. REVISIONS DATE

Kimley >> Horigan, In of Michigan, In a 2023 KIMLEY-HORN OF MICHIGAN, IN

DESIGNED BY: TRE
DRAWN BY: TRW
CHECKED BY: TRF



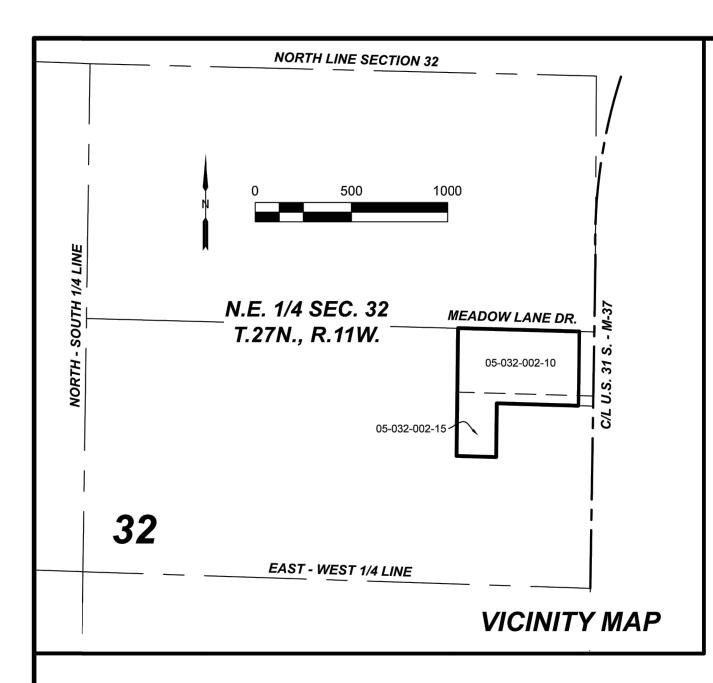
GENERAL NOTES

ISH'S RV705 US-31 S
WERSE CITY, MI 49685

ORIGINAL ISSUE: 07/20/2023 KHA PROJECT NO 268398001

C0.1

SHEET NUMBER



TAX DESCRIPTION: PID 05-032-002-15

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS COM NE COR SEC 32 TH S 0*17'30" E 1667.74' FOR POB TH S 0*17'30" E 53.45' TH N 89*18'53" W 500.07' TH S 0*17'30" E 280.04' TH N 89*15'21" W 205.04' TH N 0*17'30" W 332.2' TH S 89*20'38" E 705.1' TO POB EXCEPT US-31/M-37 ROW.

TAX DESCRIPTION: PID 05-032-002-10

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS N1/2 E 705.09' N 1/2 S 1/2 NE 1/4 EXCEPT HWY US 31/M-37 ROW.

LEGAL DESCRIPTION: TRUSTEE'S DEED, DOCUMENT # 2012R-14601, GRAND TRAVERSE COUNTY RECORDS

Part of the Northeast 1/4 of Section 32, T27N, R11W, Garfield Township, Grand Traverse County, Michigan, more fully described as follows:

Commencing at the Northeast corner of Section 32; thence S 00°17'30" E, 1334.15 feet along the East line of Section 32 and the Centerline of U.S. 31 & M-37 to the point of beginning; thence continuing along said East Section line and Centerline S 00°17'30" E, 387.04 feet; thence N 89°18'53" W, 500.07 feet; thence S 00°17'30" E, 280.04 feet; thence N 89°15'21 "W, 205.04 feet; thence N 00°17'30" W, 665.63 feet; thence S 89°22'24" E, 705.09 feet to said East Section line and Centerline and Point of Beginning. Except parcel conveyed to the State Highway Commissioner of the State of Michigan in Warranty Deed recorded in Liber 236, page 374.

SURVEY NOTES:

PARCEL NO. 05-032-002-10, 05-032-002-15

ADDRESS: 705 S US-31 NORTH TRAVERSE CITY, MI 49685

SETBACKS ACCORDING TO C-G DISTRICT, GARFIELD ZONING ORDNANCE FRONT: 40' SIDE & REAR: 10% OF WIDTH NO MORE THAN 25', NO LESS THAN 10'

MAX BUILDING HEIGHT: 35' **MINIMUM BUILDING WIDTH: 24'**

VERTICAL DATUM USED IS NAVD88

THE BEARINGS AND DISTANCES SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.

THERE MAY BE OTHER EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD NOT SHOWN.

THE PAVEMENT SHOWN HEREON IS APPROXIMATE DUE TO SNOW COVERAGE.

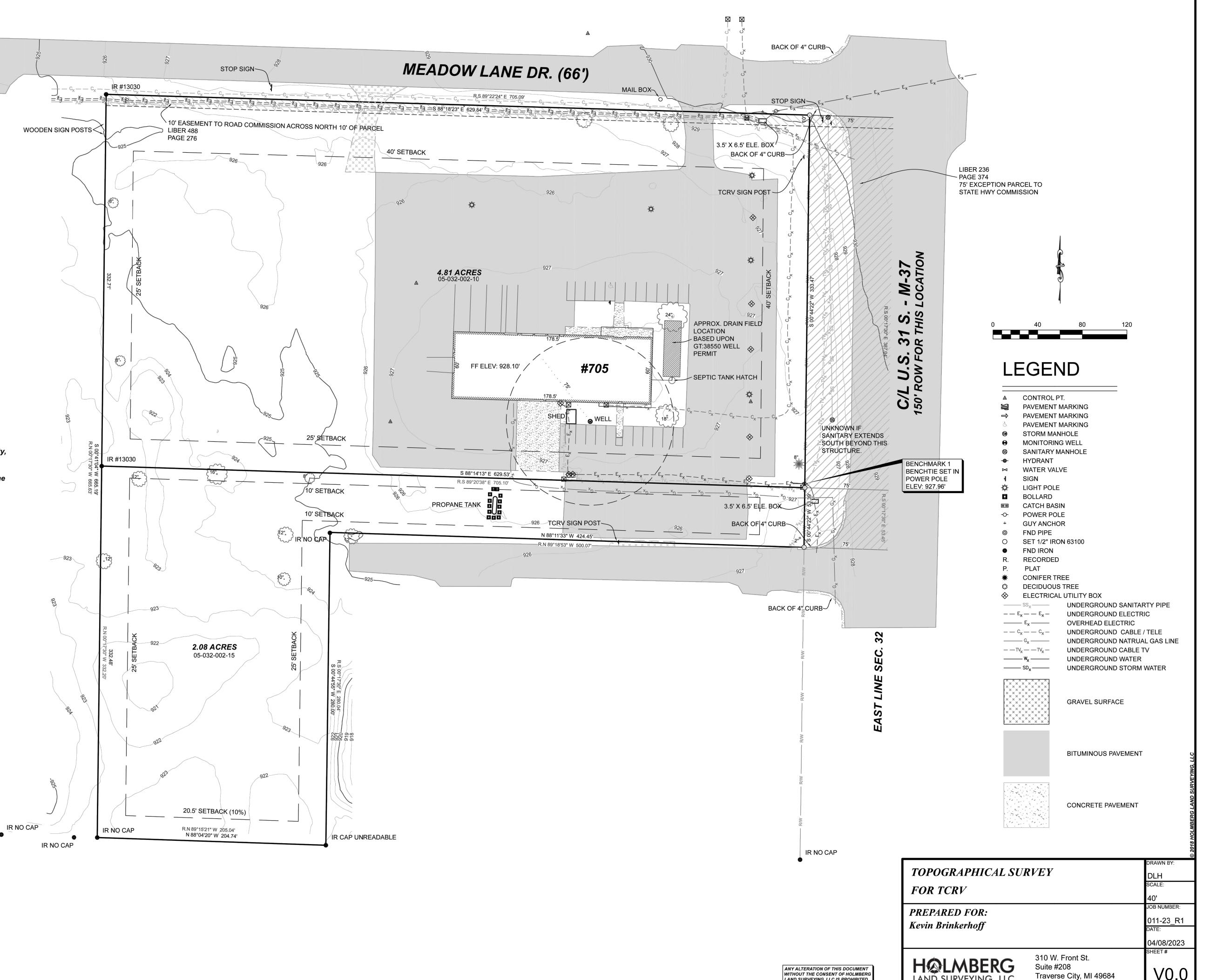
MEASURED BEARINGS AND DISTANCES ARE BASED UPON S.P.C. NAD83(2011), DISTANCES ARE INTERNATIONAL FT.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PROFESSIONAL SURVEYOR

No. 、4001063100 /

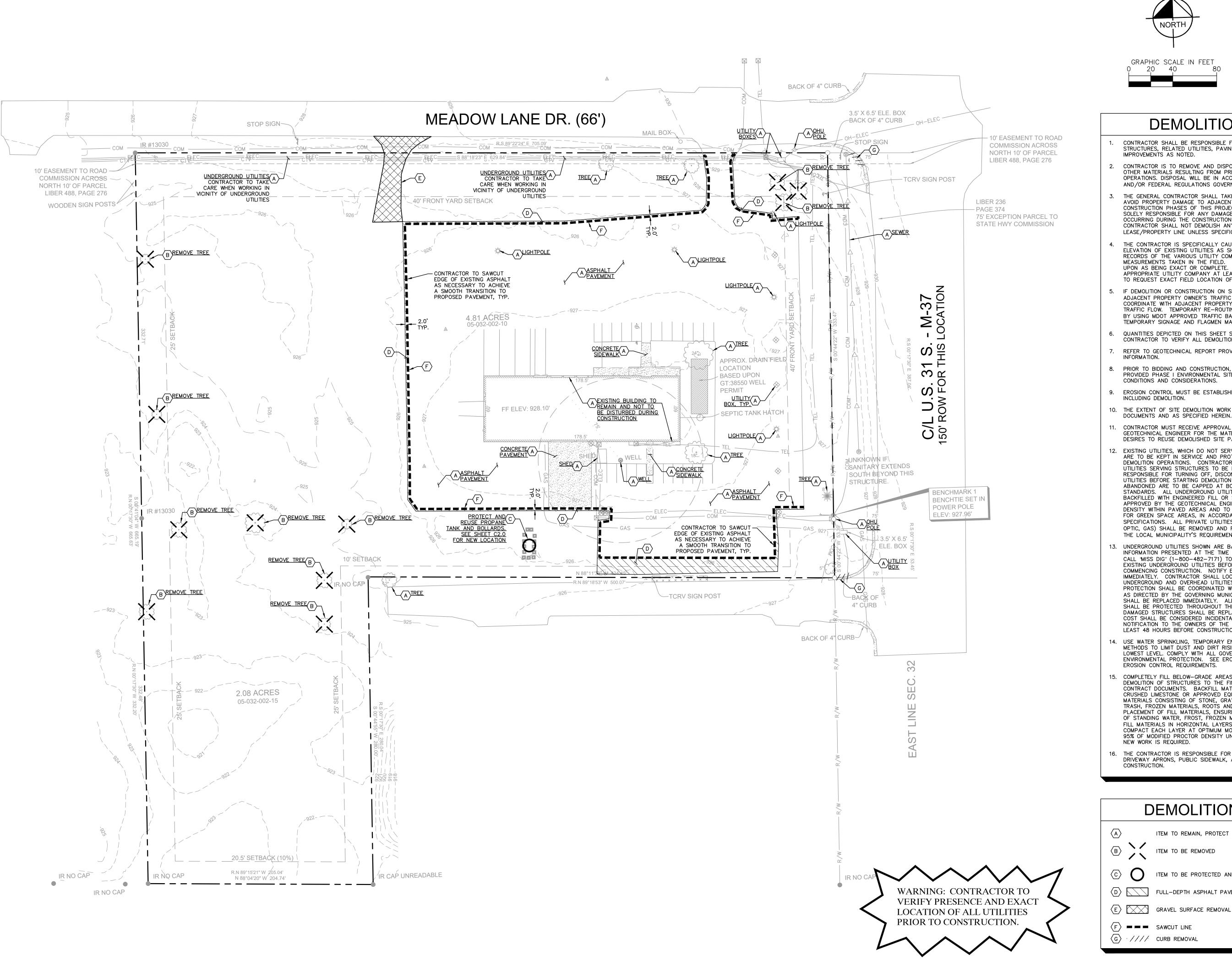
Professional Land Surveyor, #63100, under the laws of the State of Michigan, have surveyed and mapped the land described above.



LAND SURVEYING, LLC

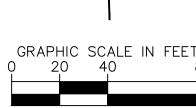
231-357-4785

LAND SURVEYING, LLC IS PROHIBITED.









DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING MDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- 6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE
- 8. PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR TO REFER TO OWNER PROVIDED PHASE I ENVIRONMENTAL SITE ASSESSMENT FOR SITE SPECIFIC CONDITIONS AND CONSIDERATIONS.
- 9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- 10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT
- 11. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- 12. EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO E ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED PER CITY STANDARDS. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS. IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- 13. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'MISS DIG" (1-800-482-7171) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- 14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO TH LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- 15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE MDOT APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING DRIVEWAY APRONS, PUBLIC SIDEWALK, AND CURBS THAT TAKES PLACE DURING CONSTRUCTION.

DEMOLITION LEGEND

ITEM TO BE REMOVED

ITEM TO REMAIN, PROTECT DURING CONSTRUCTION

ITEM TO BE PROTECTED AND REUSED

(D) FULL-DEPTH ASPHALT PAVEMENT REMOVAL

E GRAVEL SURFACE REMOVAL

 $\langle F \rangle = = = SAWCUT LINE$

Kimley » Horn
of Michigan, Inc.

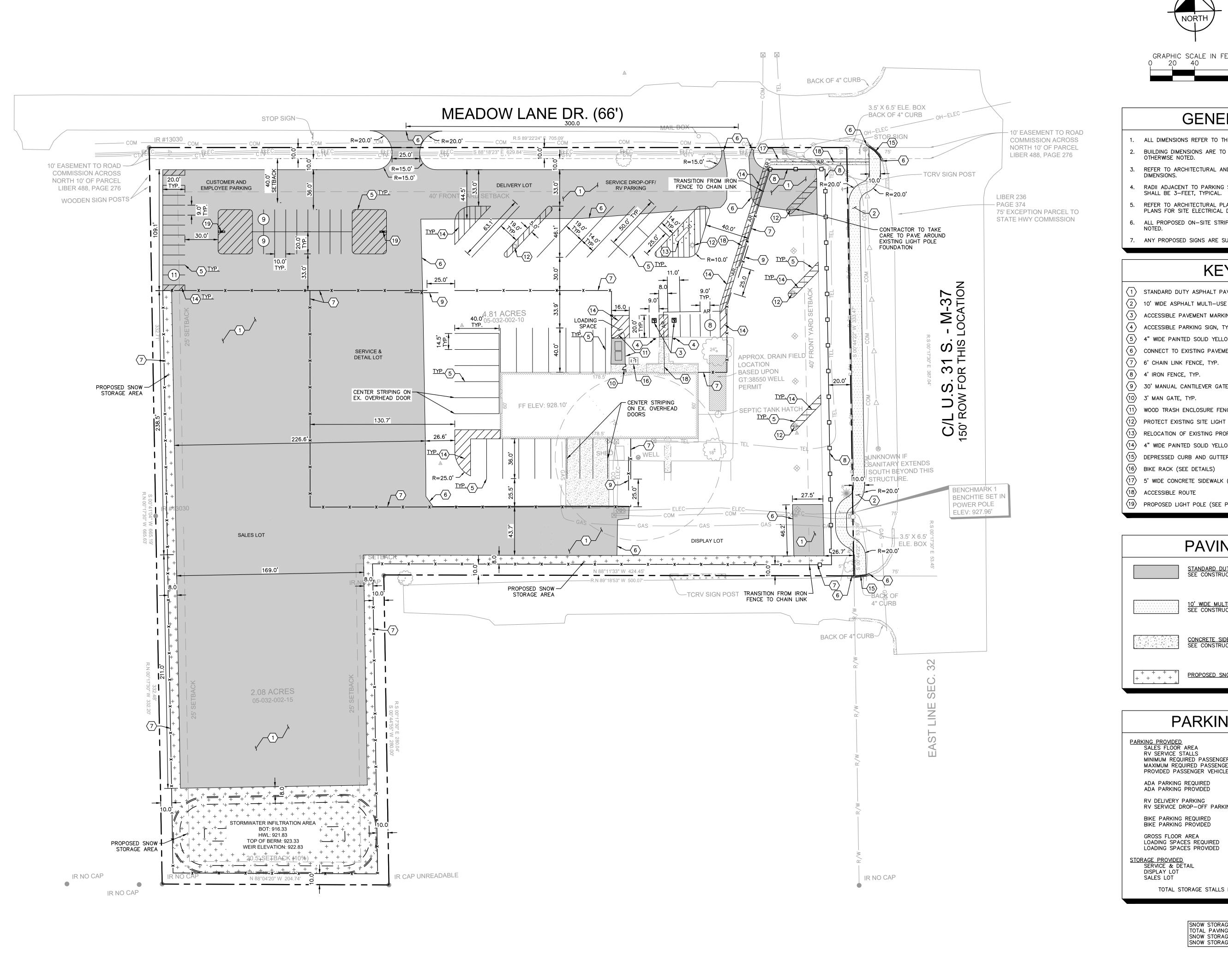


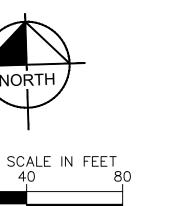
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ORIGINAL ISSUE: 07/20/2023 KHA PROJECT NO. 268398001

SHEET NUMBER

C1.0







GRAPHIC SCALE IN FEET

GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE
- ANY PROPOSED SIGNS ARE SUBJECT TO SIGN PERMIT REVIEW

KEY NOTES

- (1) STANDARD DUTY ASPHALT PAVEMENT (SEE DETAILS)
- (2) 10' WIDE ASPHALT MULTI-USE PATH (SEE DETAILS)
- (3) ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- $\langle 4 \rangle$ ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7–8, SEE DETAILS)
- (5) 4" WIDE PAINTED SOLID YELLOW LINE, TYP.
- 6 CONNECT TO EXISTING PAVEMENT, SIDEWALK, TYP.
- (8) 4' IRON FENCE, TYP.
- 9 30' MANUAL CANTILEVER GATE (CHAIN LINK)
- $\langle 10 \rangle$ 3' MAN GATE, TYP.
- (11) WOOD TRASH ENCLOSURE FENCE WITH 9' SWING GATE
- 13) RELOCATION OF EXISTING PROPANE TANK AND BOLLARDS
- (14) 4" WIDE PAINTED SOLID YELLOW LINE, 45 DEGREES, 3 FT ON CENTER
- (15) DEPRESSED CURB AND GUTTER (MATCH EXISTING WIDTH)
- (16) BIKE RACK (SEE DETAILS)
- (17) 5' WIDE CONCRETE SIDEWALK (SEE DETAILS)
- (18) ACCESSIBLE ROUTE
- (19) PROPOSED LIGHT POLE (SEE PHOTOMETRIC PLAN FOR DETAILS)

PAVING LEGEND

STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

10' WIDE MULTI-USE PATH
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

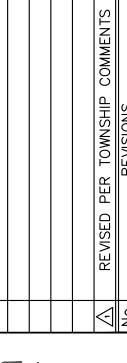
CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

PROPOSED SNOW STORAGE AREA + + + +

PARKING SUMMARY

PARKING PROVIDED
SALES FLOOR AREA =6,529 SF = 4 STALLS RV SERVICE STALLS MINIMUM REQUIRED PASSENGER PARKING = 20 SPACES MAXIMUM REQUIRED PASSENGER PARKING = 37 SPACES = 37 SPACES PROVIDED PASSENGER VEHICLE PARKING ADA PARKING REQUIRED = 2 SPACES ADA PARKING PROVIDED = 2 SPACES = 4 SPACES = 7 SPACES RV DELIVERY PARKING RV SERVICE DROP-OFF PARKING BIKE PARKING REQUIRED = 4 SPACES BIKE PARKING PROVIDED = 4 SPACES GROSS FLOOR AREA =12,489 SF LOADING SPACES REQUIRED = 1 SPACE = 1 SPACE LOADING SPACES PROVIDED STORAGE PROVIDED
SERVICE & DETAIL = 49 SPACES DISPLAY LOT SALES LOT = 38 SPACES = 121 SPACES =208 SPACES TOTAL STORAGE STALLS PROVIDED

> SNOW STORAGE: TOTAL PAVING AREA: 222,800 SF SNOW STORAGE REQUIRED: 22,280 SF SNOW STORAGE PROVIDED: 23,000 SF



Kimley»Horn

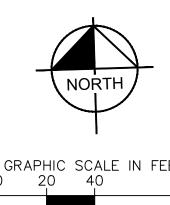


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√ Horn



EROSION CONTROL NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH
- STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR
- INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE. PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL
- CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
- PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
- ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS
- ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY. BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
- FROM OFF-SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO
- 13. SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
- MEASURES AS INDICATED ON THIS SHEET.
- 15. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA
- 16. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR
- 17. STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF
- FINAL STABILIZATION IS ACHIEVED.TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED
- 19. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.

_____XXX_____

PROPOSED CONTOURS

- WHERE THE INITIATION OF STABILIZATION MEASURE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
- 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

- THE PHASING OF THE PAVEMENT REPLACEMENT.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- COST TO THE OWNER.
- PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- 10. ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER
- 12. ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
- 14. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL
- EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- ADMINISTRATOR.
- IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE. 18. ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER
- OF PRIOR TO PERMANENT STABILIZATION.
- 20. SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:

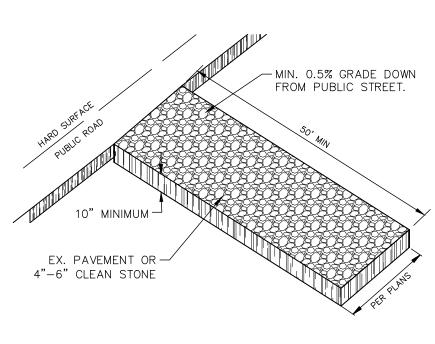
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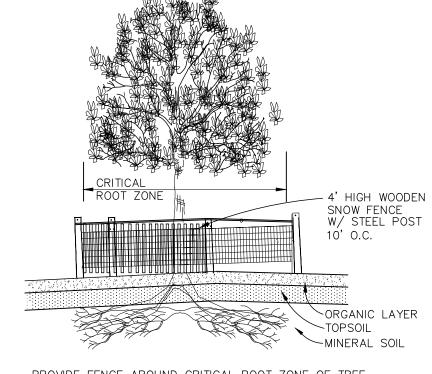
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CONSTRUCTION ENTRANCE

N.T.S.

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE. FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND FOR INDIVIDUAL TREES OR STANDS

TREE PROTECTION

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	ост.	NOV.	DEC.
PERMANENT SEEDING			● ^A			*	*		-			
DORMANT SEEDING	В										В	-
TEMPORARY SEEDING			<u>C</u>				D		-			
SODDING			<u>E</u> **						-			
MULCUING	F											_
MULCHING												

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE

LBS/ACRE MIXED WITH PERENNIAL

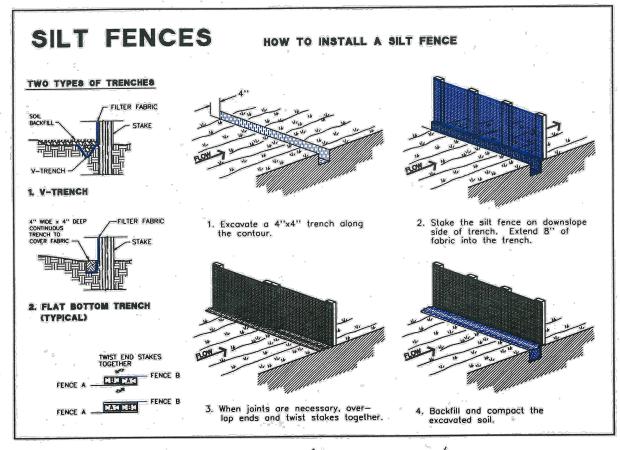
RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE

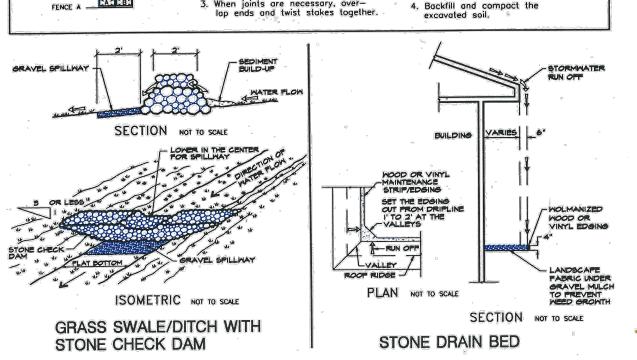
B KENTUCKY BLUEGRASS 135

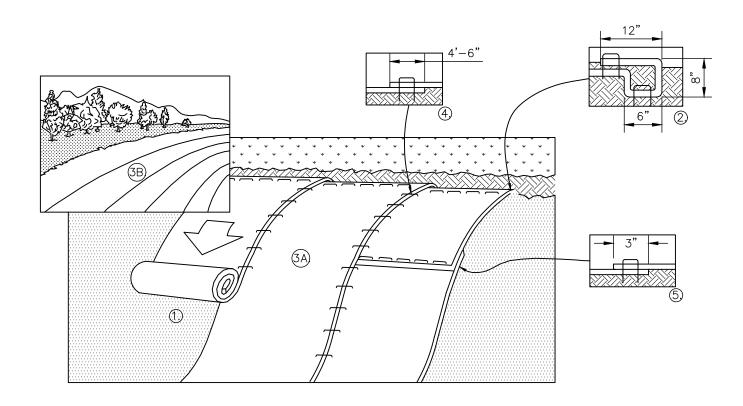
- C SPRING OATS 100 LBS/ACRE D WHEAT OR CEREAL RYE 150 LBS/ACRE
- * WATERING NEEDED DURING JUNE AND JULY ** WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD
- F STRAW MULCH 2 TONS/ACRE

SEEDING CHART

Commonly Used Erosion Controls







- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP—SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION.
 THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED FND OVER END (SHINGLE STYLE) WITH AN APPROXIMATE

- 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. 6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
- 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.
- 3. PERVIOUS LAND WITH SLOPES RUNNING GREATER THAN OR EQUAL TO 4:1 SHALL CONTAIN SLOPE STABILIZATION BLANKET

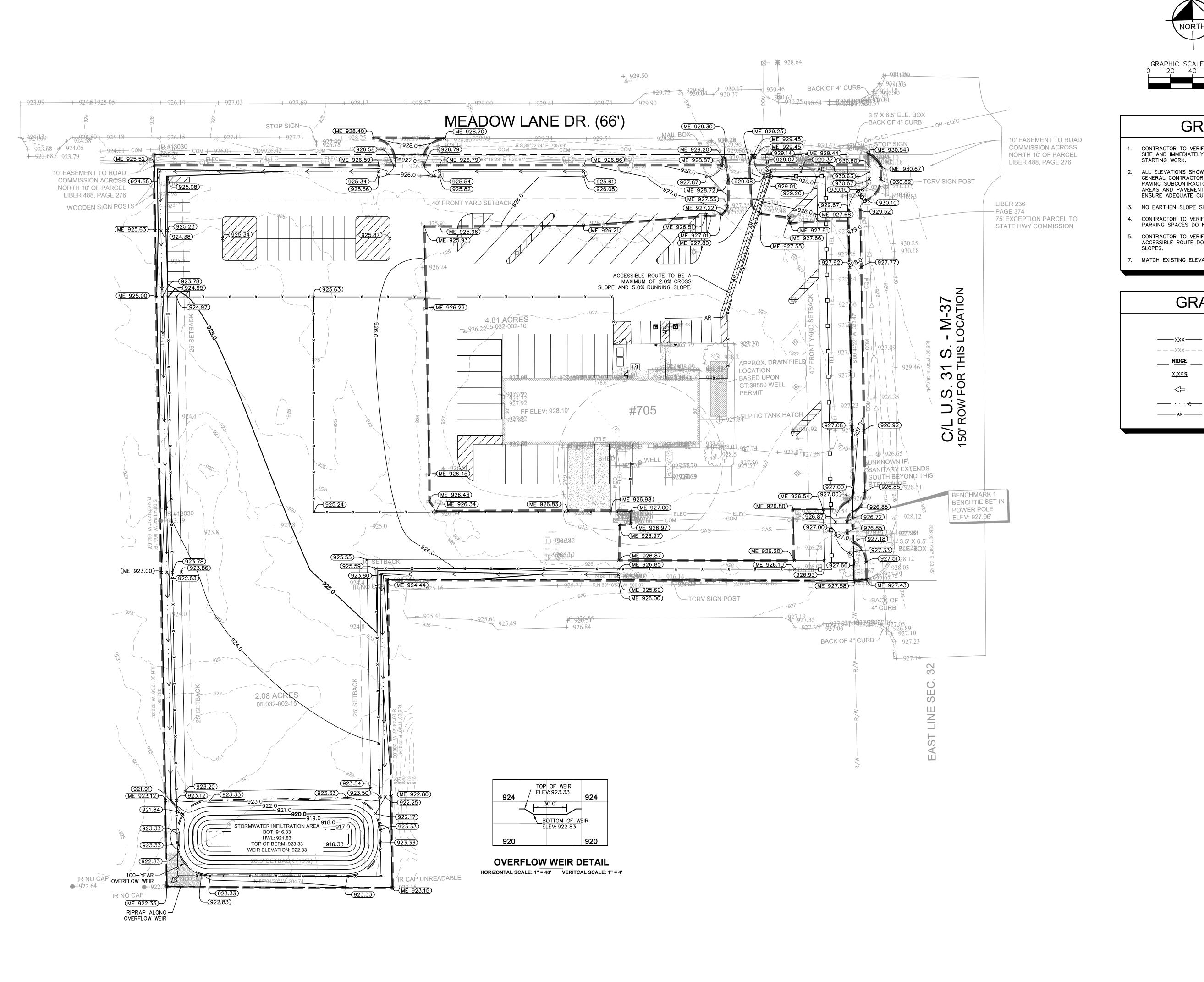
EROSION CONTROL BLANKET (SLOPE INSTALLATION)

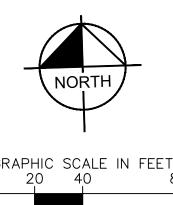
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GRAPHIC SCALE IN FEET

GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- CONTRACTOR TO VERIFY THAT EXISTING PAVEMENT SLOPES WITHIN THE ADA PARKING SPACES DO NOT EXCEED 2.0% IN ANY DIRECTIONS.
- CONTRACTOR TO VERIFY THAT EXISTING PAVEMENT SLOPES ALONG THE ACCESSIBLE ROUTE DO NOT EXCEED 5% RUNNING SLOPES AND 2% CROSS
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

GRADING LEGEND

ME = MATCH ELEVATIONPROPOSED CONTOUR EXISTING CONTOUR RIDGE LINE

SLOPE AND FLOW DIRECTION DETENTION BASIN 100-YEAR EMERGENCY OVERFLOW ROUTE

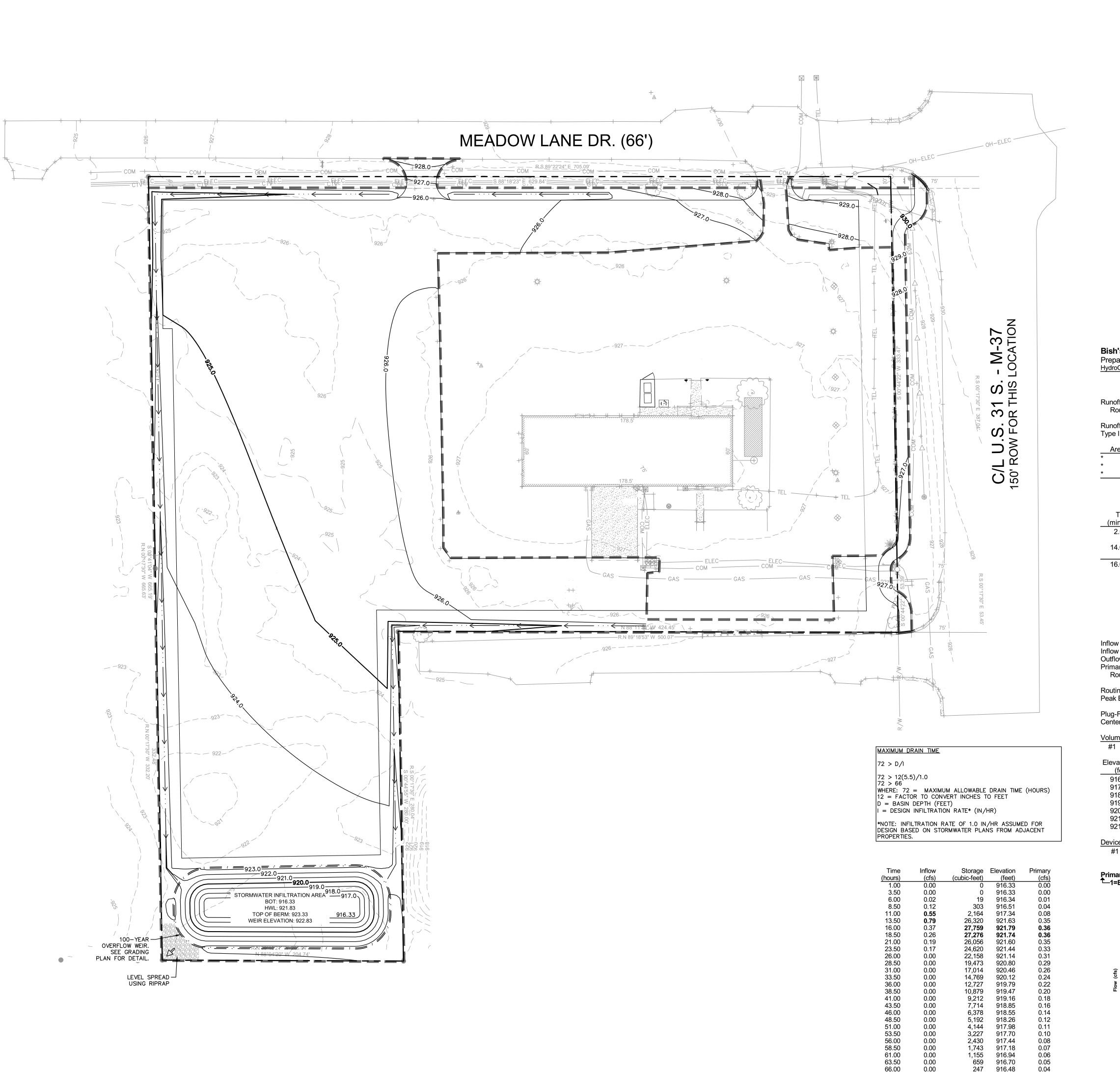
PROPOSED SWALE ACCESSIBLE ROUTE Kimley» Horn

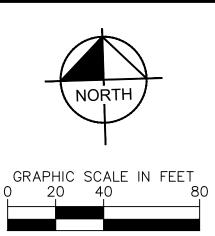
AND PLAN

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Kimley»Horn

STORMWATER LEGEND PROPOSED CONTOUR ——XXX—— $---\times\times\times---$ EXISTING CONTOUR INFILTRATION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE PROPOSED SWALE LIMITS OF DISTURBANCE

Bish's RV - Traverse City, MI Prepared by Kimley-Horn & Associates
HydroCAD® 10.20-2b s/n 02344 © 2021 HydroCAD Software Solutions LLC

Type II 24-hr Post-Dev 25-yr Rainfall=3.89"

Summary for Subcatchment 1S: Post-Dev

Runoff = 13.69 cfs @ 12.08 hrs, Volume= Routed to Pond 3P : Infiltration Basin

0.934 af, Depth= 2.72"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs Type II 24-hr Post-Dev 25-yr Rainfall=3.89"

	Area (ac)	CN	Description
*	3.380	98	Pavement Area
*	0.440	39	Open space - good condition - Type A soil
*	0.300	61	Open space - good condition - Type B Soil
	4.120	89	Weighted Average
	0.740		17.96% Pervious Area
	3.380		82.04% Impervious Area

Tc Length Slope Velocity Capacity Description Sheet Flow, Parking Lot Sheet Flow 56 0.0030 0.46 Smooth surfaces n= 0.011 P2= 2.09" Shallow Concentrated Flow, 14.0 953 0.0050 1.14

68.50

71.00

0.00

916.34

0 916.33

0.00

0.00

Summary for Pond 3P: Infiltration Basin

Unpaved Kv= 16.1 fps

4.120 ac, 82.04% Impervious, Inflow Depth = 2.72" for Post-Dev 25-yr event 13.69 cfs @ 12.08 hrs, Volume= 0.934 af 0.36 cfs @ 16.06 hrs, Volume= 0.934 af, Atten= 97%, Lag= 238.7 min 0.36 cfs @ 16.06 hrs, Volume= 0.934 af Primary = Routed to nonexistent node 4R

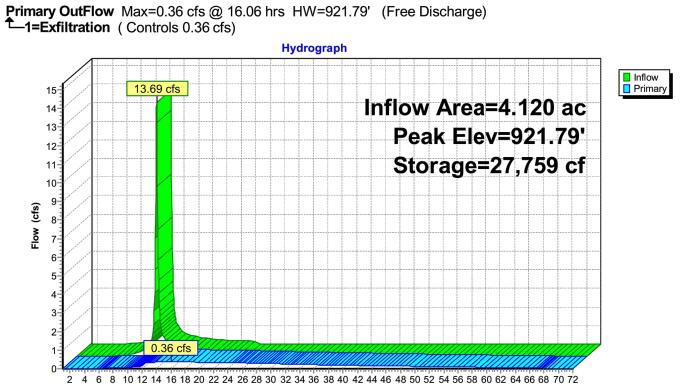
Routing by Stor-Ind method, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs Peak Elev= 921.79' @ 16.06 hrs Surf.Area= 9,110 sf Storage= 27,759 cf

Plug-Flow detention time= 1,013.0 min calculated for 0.934 af (100% of inflow) Center-of-Mass det. time= 1,013.0 min (1,822.7 - 809.7)

Invert Avail.Storage Storage Description

01011110	1111011 7 110	aniotorage otorag	0 200011011011		
#1	916.33'	28,091 cf Custo	m Stage Data (Cor	nic) Listed below (Re	calc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)	
916.33	1,566	0	0	1,566	
917.00	2,330	1,297	1,297	2,337	
918.00	3,554	2,921	4,217	3,576	
919.00	4,878	4,199	8,416	4,920	
920.00	6,303	5,575	13,991	6,369	
921.00	7,829	7,052	21,043	7,924	
921.83	9 171	7 048	28 091	9 293	

916.33' 1.000 in/hr Exfiltration over Wetted area Conductivity to Groundwater Elevation = 913.00'



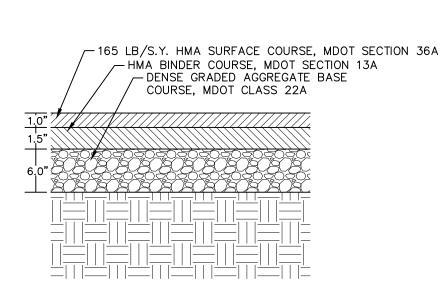
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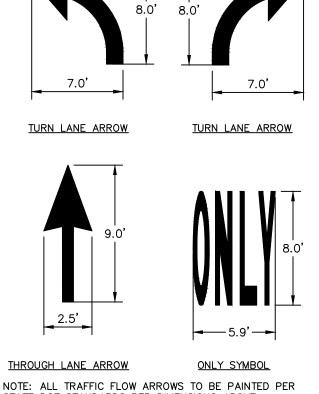
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- NOTE: PROCTOR MAXIMUM DRY DENSITY PROPOSED PAVEMENT SECTION PROVIDED PER CLIENT
- 2. SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK-COAT REQUIREMENTS.

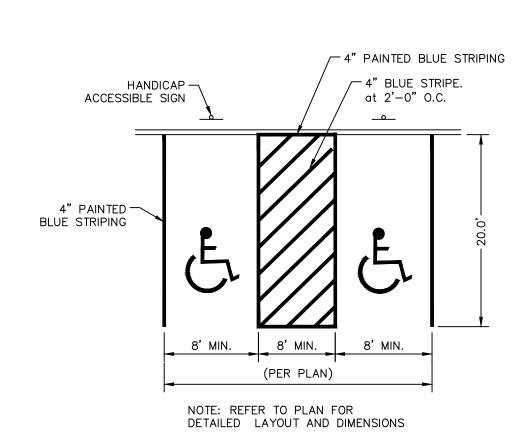
STANDARD DUTY **ASPHALT PAVEMENT SECTION**



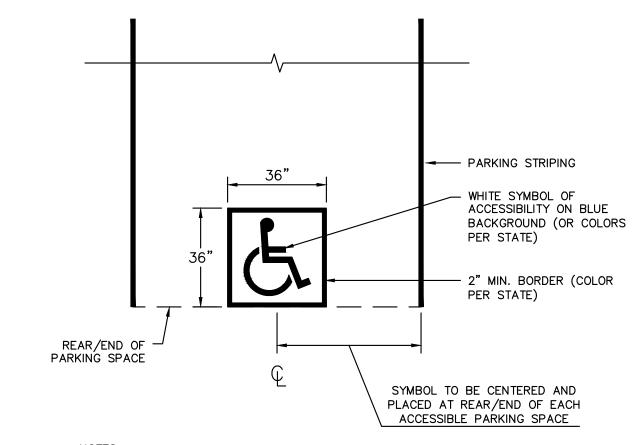
MULTI-USE PATH ASPHALT PAVEMENT SECTION



STATE DOT STANDARDS PER DIMENSIONS ABOVE. TRAFFIC FLOW ARROW

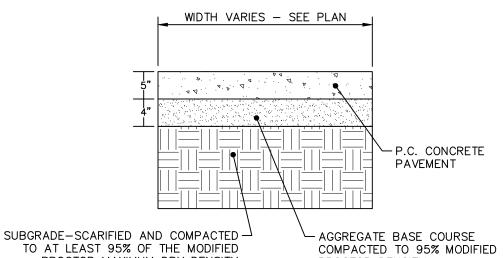


TYPICAL HANDICAP STRIPING



1. PAVEMENT MARKING STROKE WIDTH = 2" MINIMUM 2. CONTRACTOR SHALL ONLY PAINT IN SYMBOL OF ACCESSIBILITY IN PARKING SPACES DESIGNATED WITH ADA PARKING SIGNS.

ACCESSIBLE PARKING SYMBOL N.T.S.



PROCTOR MAXIMUM DRY DENSITY PROCTOR DENSITY 1. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH

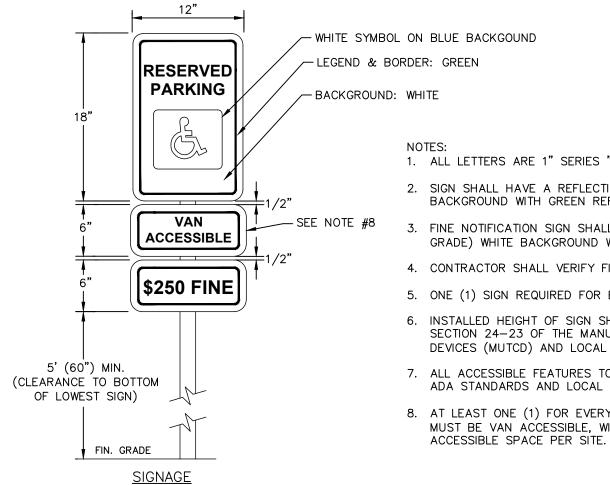
- 2. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
- 3. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2" 4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS

PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION

JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM

- EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE 5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW
- SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK. 6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

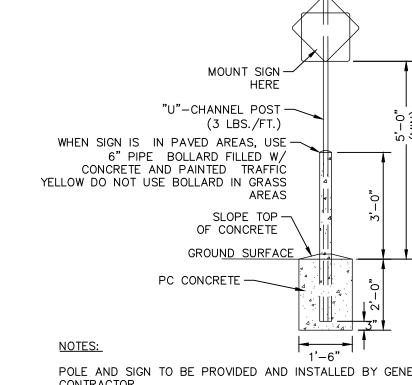
CONCRETE SIDEWALK



1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD.

- 2. SIGN SHALL HAVE A REFLECTIVE (ENGINEERING GRADE) WHITE BACKGROUND WITH GREEN REFLECTIVE LEGEND AND BORDER.
- 3. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTIVE (ENGINEERING GRADE) WHITE BACKGROUND WITH GREEN LEGEND AND BORDER.
- 4. CONTRACTOR SHALL VERIFY FINE AMOUNT.
- 5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
- 6. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH
- SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL ADA CODE.
- 7. ALL ACCESSIBLE FEATURES TO BE IN STRICT ACCORDANCE WITH ADA STANDARDS AND LOCAL LAWS.
- 8. AT LEAST ONE (1) FOR EVERY SIX (6) ACCESSIBLE SPACES MUST BE VAN ACCESSIBLE, WITH A MINIMUM OF ONE (1) VAN

ACCESSIBLE PARKING SIGNAGE

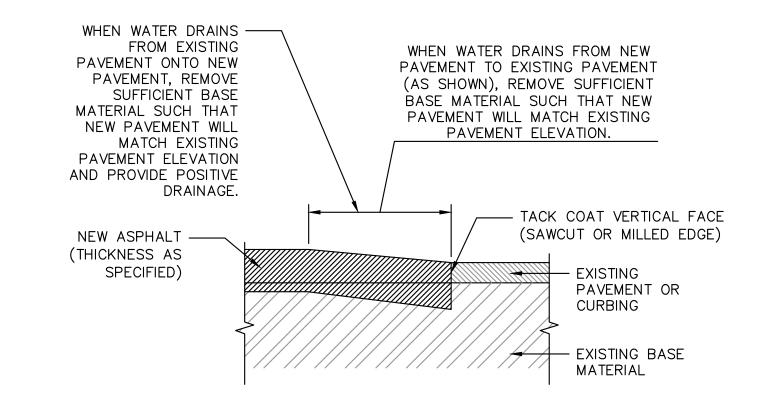


POLE AND SIGN TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

> STANDARD SIGN BASE N.T.S.

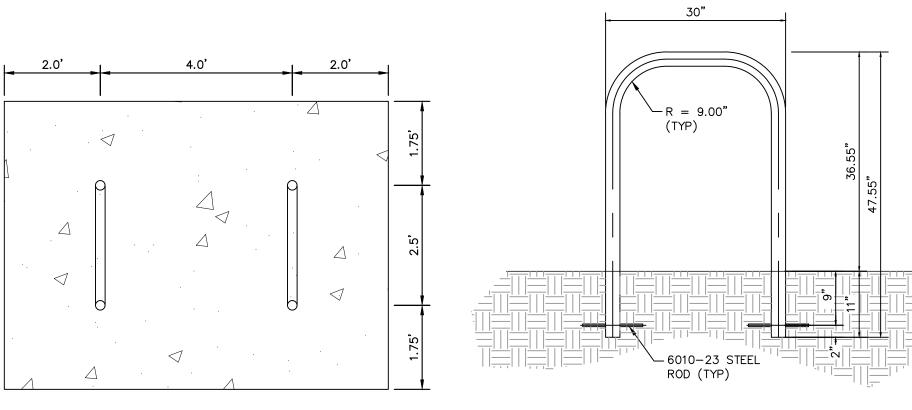
BUTT JOINTS ARE TO BE USED IN AREAS WHERE THE PROPOSED ASPHALT SECTION IS THICKER THAN THE EXISTING ASPHALT SECTION AND A PORTION OF THE EXISTING BASE MATERIAL MUST BE REMOVED TO ALLOW THE PROPOSED ASPHALT SECTION TO BE MAINTAINED TO PREVENT DRAINAGE OBSTRUCTION WHEN TYING INTO ADJACENT PAVEMENTS OR STRUCTURES.



1. CONTRACTOR TO BE SURE TO NOT CREATE ANY "LIPS" IN PAVEMENT SURFACE, UNLESS SPECIFICALLY NOTED ON THE PLANS. CONTRACTOR SHALL PROVIDE BUTT JOINTS FOR NEW PAVEMENT TO TIE INTO, AND BE FLUSH WITH, EXISTING PAVEMENT ELEVATIONS. CONTRACTOR TO CREATE SMOOTH TRANSITIONS AND ENSURE POSITIVE DRAINAGE.

2. IF AGGREGATE BASE COURSE IS NOT PRESENT CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY. 3. CONTRACTOR MAY HAVE TO REMOVE SOME ADDITIONAL AGGREGATE BASE MATERIAL TO RE-PAVE FULL PAVEMENT SECTION AT BUTT JOINT LOCATIONS. CONTRACTOR SHALL ENSURE MINIMUM ASPHALT OVERLAY IS PROVIDED IN ALL AREAS PER ASPHALT REPAIR DETAILS.

ASPHALT BUTT JOINT N.T.S.



NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
FINISH IS ELECTROPLATED IN CHROMATE
COLOR TO BE STANDARD BLACK

BIKE RACK

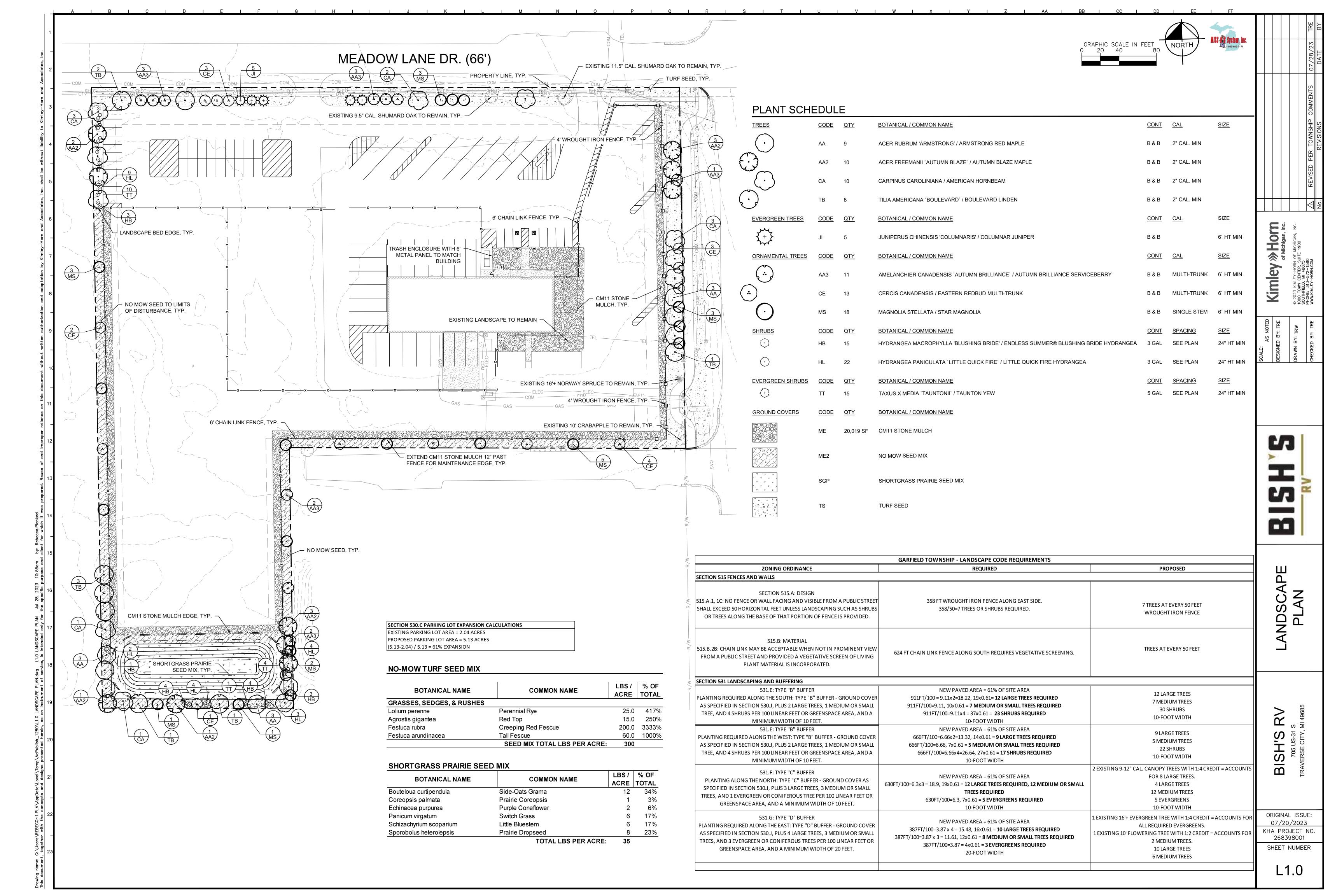
N.T.S.

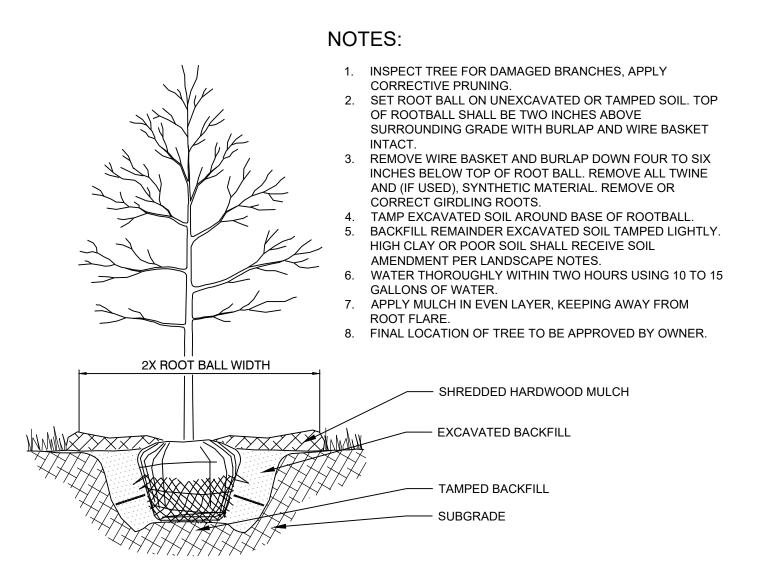
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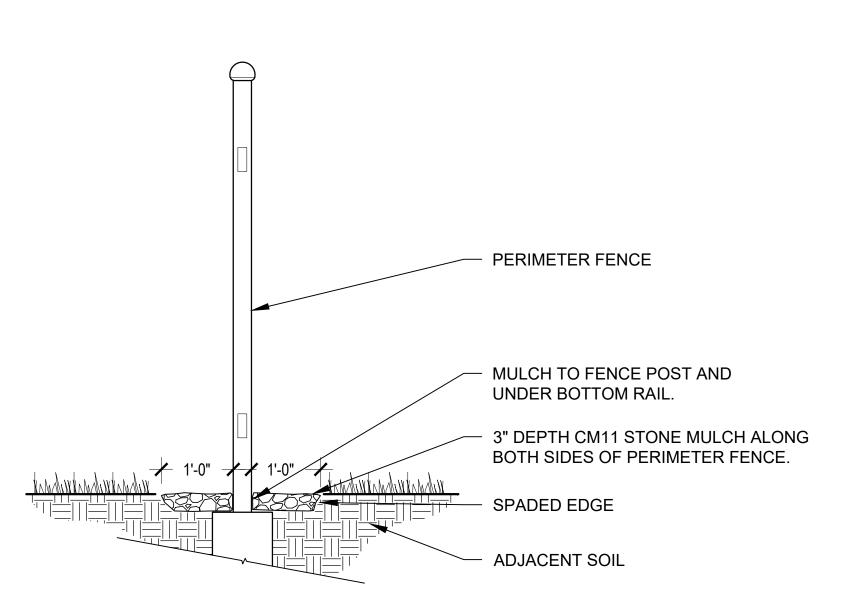




SHREDDED HARDWOOD MULCH AMENDED SOIL

- APPLY CORRECTIVE PRUNING. 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS. REMOVE CONTAINER AND LOOSEN ROOTS
- 4. REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH

SHRUB PLANTING



PERIMETER FENCE STONE MULCH BED

3/4" = 1'-0" 1. CHAINLINK FABRIC SHALL BE GALVANIZED STEEL. 2. ALL POSTS, RAILS, AND FITTINGS SHALL BE STAINLESS STEEL. 3. REFER TO MANUFACTURERS SPECIFICATIONS FOR DETAILS. 4. SEE PLANS FOR GATE LOCATIONS VARIES, SEE PLANS. 8' MAX. — TERMINAL DOME CAP ─ FENCE POST — TERMINAL POST TENSION BAR WIRE TIE - RAIL END BOTTOM RAIL FENCE POST FOOTING ` CHAINLINK FENCE 3/4" = 1'-0"

SEE PLAN

8'-0", TYP.

4" MAX.

CONCRETE FOOTING, TYP.

' WROUGHT IRON FENCE

TREE PLANTING

THOSE SHRUBS. PRIOR TO INSTALLATION.

THOROUGHLY WITHIN TWO HOURS.

LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 15. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF 16. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE 17. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE 18. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW 19. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS

THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR

5. ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND

SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION. 2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO

NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN

FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE

FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR

DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF

OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE

DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT

6. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED,

7. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR

PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT

10. TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW

11. PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70%

12. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE

13. EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A

14. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB,

UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND

AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.

REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE

OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS

FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.

UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.

LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.

KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND

9. PRUNE PLANTS AS NECESSARY- PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR

TOP RAIL, WOOD 2X4"

CENTER RAIL, WOOD 2X4"

BOTTOM RAIL, WOOD 2X4"

FENCE POSTS

FOOTINGS

SET IN CONCRETE

L2.0

ORIGINAL ISSUE:

07/20/2023 KHA PROJECT NO. 268398001

SHEET NUMBER

LANDSCAPE NOTES

THE IMMEDIATE AREA.

THIS CONTRACT.

ANNUAL BEDS.

OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.

BRANCHING OF EXISTING AND PROPOSED TREES.

NOT REQUIRED ALONG CURBED EDGES.

SITE UNLESS OTHERWISE NOTED ON PLAN.

A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.

VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.

FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.

DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.

3/4" = 1'-0"

PBR METAL SIDING

TO MATCH BUILDING

WOOD POST, 4X4"

TRASH ENCLOSURE ELEVATION

1/2" = 1'-0"

10" DIA.

END BRACKET, BX102

 $-3 - 1\frac{1}{2}$ " $\times \frac{1}{2}$ " $\times \frac{1}{8}$ " RAILS

1. TYPICAL FENCE DETAIL. REFER TO MANUFACTURERS SPECIFICATIONS.

CONCRETE FOOTING VARIES BASED ON LOCAL SOIL CONDITIONS. 4. ALL POSTS, RAILS, AND PICKETS TO BE POWDER COATED SATIN BLACK.

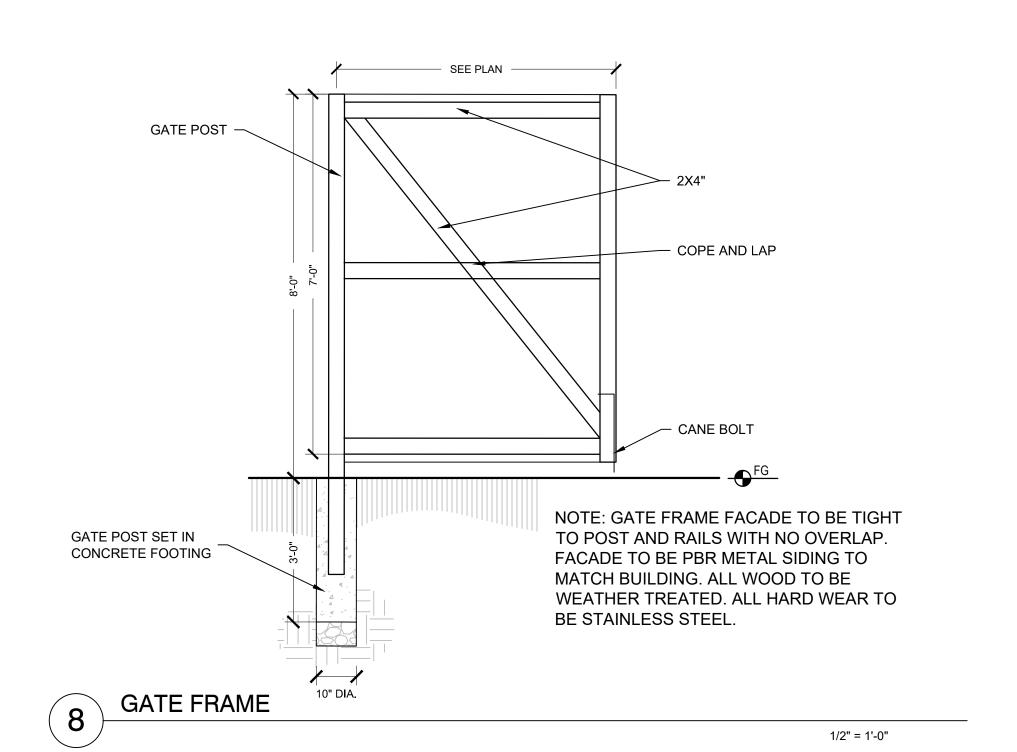
POST SIZE VARIES BY FENCE HEIGHT AND WIND LOAD.

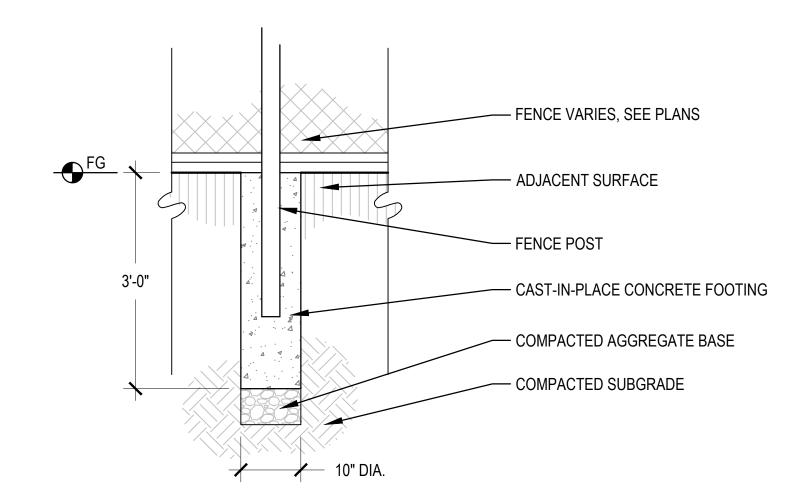
5. HARDWARE TO BE STAINLESS STEEL

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♦ 5

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9 FENCE POST FOOTING

3/4" = 1'-0"

System, Inc.

REVISED PER TOWNSHIP COMMENTS 07/28/23

Kimley// Horn
of Michigan, Inc.
© 2023 KIMLEY-HORN OF MICHIGAN, INC.
1000 TOWN CENTER, SUITE 1900
SOUTHFIELD, MI 48075
PHOME: 313-572-1560
WWW.KIMLEY-HORN.COM

DESIGNED BY: TRE

DRAWN BY: TRW

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SO
SO
SO

LANDSCAPE NOTES AND

> BISH'S RV 705 US-31 S TRAVERSE CITY, MI 49685

ORIGINAL ISSUE:
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268398001
SHEET NUMBER

L2.1

Jesse S. Goldman ARCHITECT





PRELIMINARY - NOT FOR CONSTRUCTION

(E) ASPHALT/ CONCRETE

(N) ASPHALT

(E) LANDSCAPE

Scale: 1" = 30'

23055.0002

Site Plan Exhibit A 1PS 1



Prepared For: Tricia Piaz Jesse S Goldman Architect

Job Name: Bish's RV Traverse City Scale: as noted

Date:7/20/2023

Filename: Bish's Draewings.AGI

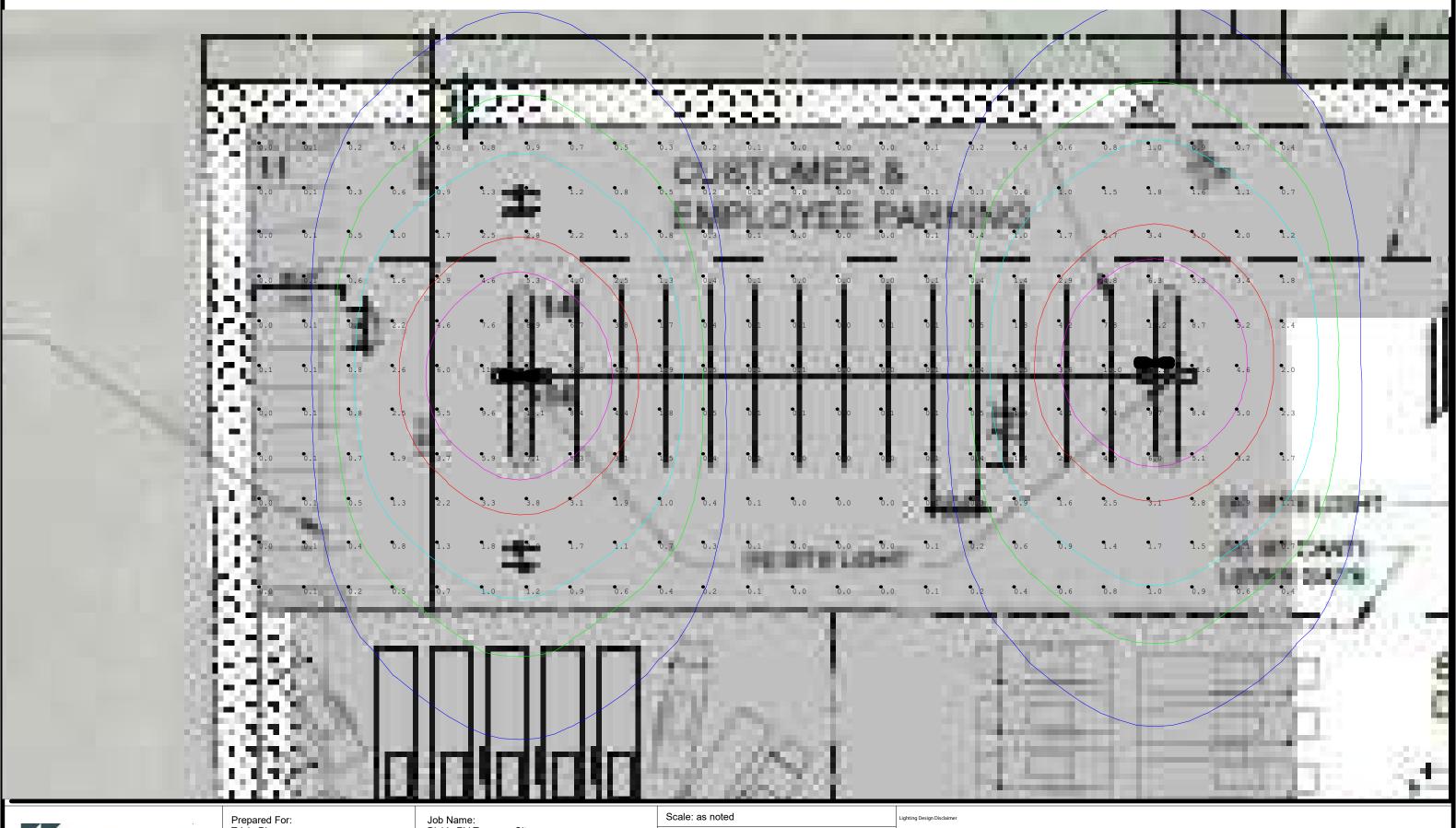
Drawn By: Ray McDonough

Lighting Design Disclaimer

Ine Lighting Analysis, et 24-yout, Energy Analysis and/or Visual simulation (Lighting Design) provided by McDonough et Associates represents an anticipated prediction of lighting heading based upon design parameters and information supplied by others. These design parameters and information be field conditions. McDonough & Associates recommends that design parameters and information be field verified by McDonough & Associates neither warranties, either implied or stated with respiral to actual measured light levels or energy consumption levels a compared to those illustrated by the Lighting Design McDonough & Associates neither warranties, either implied or stated with respiral to actual measured light levels or energy consumption levels a compared to those illustrated by the Lighting Design McDonough & Associates neither warranties, either implied or stated with respiral to actual measured light levels or energy consumption levels a compared to those illustrated by the Lighting Design McDonough & Associates neither warranties, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by McDonough & Associates. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.

Filename: C:\Users\RayMcDonough\OneDrive - MCDONOUGH & ASSOCIATES\Documents\AGI\Bish's Draewings.AGI

BALESLOT





Prepared For: Tricia Piaz Jesse S Goldman Architect Bish's RV Traverse City

Date:7/20/2023

Filename: Bish's Draewings.AGI

Drawn By: Ray McDonough

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The Lighting Analysis, et.a.yout, Leregy Analysis and/or Visual simulation (Lighting Design) provided by McDonough et Associates represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information base have not been field exrifted by McDonough & Associates neither warranties, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. McDonough & Associates neither warranties, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. McDonough & Associates neither warranties, either implied or stated, nor represents the appropriateness, or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by McDonough & Associates. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
New Lot	Illuminance	Fc	1.82	13.3	0.0	N.A.	N.A.		10	10	Horizontal

Lum	inaire	Sche	عليياء
Luiii	III Iaii E	SCITE	uuie

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename
	2	A17XFU100Y	Back-Back	13514	1.000	A17XFU100Y at 0_ CCT Setting	100.8	201.6	403.2	A17XFU100Y.ies

LumNo	Label	X	Υ	MTG HT	Orient	Tilt
1	A17XFU100Y	774	875	20	180	0
1	A17XFU100Y	780	875	20	360	0
2	A17XFU100Y	917	878	20	180	0
2	A17XFU100Y	923	878	20	360	0

NOTES

- * The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.
- * Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.
- * The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of *YOUR COMPANY*.
- * Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- * *YOUR COMPANY* luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

A & Associates	McDonough & Associates
	0 ^

Prepared For: Tricia Piaz Jesse S Goldman Architect Job Name: Bish's RV Traverse City Scale: N.T.S.

Date:7/20/2023

Filename: Bish's Draewings.AGI

Drawn By: Ray McDonough

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Color: Bronze Weight: 13.2 lbs

Project:	Туре:
Prepared By:	Date:

Driver Info)	LED Info	
Type	Constant Current	Watts	150W
120V	1.50A	Color Temp	Field Adjustable
208V	0.80A	Color Accuracy	71-73 CRI
240V	0.70A	L70 Lifespan	100,000 Hours
277V	0.06A	Lumens	11168-21875.1 lm
Input Watts	69.8-151.22W	Efficacy	134-165.9 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Field Adjustable Light Output: 150W/100W/70W (factory default 150W) Color temperature (selectable by 3000K, 4000K and 5000K)

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

IP Rating:

Ingress protection rating of IP65 for dust and water

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: PADC57LP

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60Hz, 120V: 1.50A, 208V: 0.80A, 240V: 0.70A, 277V: 0.60A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

Surge Protection:

10kV

7-Pin Receptacle:

ANSI C136.41 7-pin receptacle, compatible with wireless control systems

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Ambient Temperature:

Max Power Temp Rating: 40°C (104°F) Middle Power Temp Rating: 51°C (123°F) Low Power Temp Rating: 56°C (132°F)

Lens

Polycarbonate lens

Housing:

Die-cast aluminum housing, lens frame and mounting arm

Vibration Rating:

3G vibration rating per ANSI C136.31

EPA:

1 Fixture: 0.46

2 Fixtures at 90°: 0.60

2 Fixtures at 180°: 0.93

3 Fixtures at 90°: 0.93

4 Fixtures at 90°: 0.93

EPA with Slipfitter & Adjustable Arm Mounting Accessories (Sold Separately)

1 Fixture: 0.66

2 Fixtures at 90°: 0.80

2 Fixtures at 180°: 1.32

3 Fixtures at 90°: 1.32

4 Fixtures at 90°: 1.32

A17XFU150



Technical Specifications (continued)

Mounting:

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

LEDs:

Long-life, high-efficiency, surface-mount LEDs

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Optical

BUG Rating:

B5 U0 G4

Other

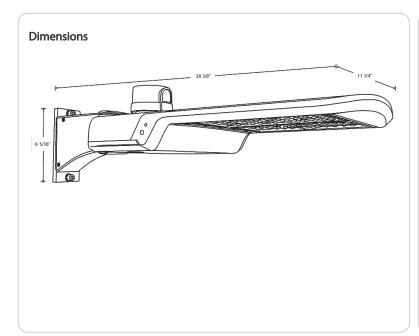
5 Yr Limited Warranty:

The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.





Features

Color Adjustable: 5000K/4000K/3000K Power Adjustable: 70W/100W/150W

3-pin twistlock and shorting cap included

Integrated NEMA 7-pin receptacle enables easy upgrade to smart controls

0-10V Dimming, standard 100,000-hour LED lifespan 5-Year, limited warranty

Ordering Matrix

Family Wattage Options
A17 XFU 150

150 = 70/100/150W Blank = No Option /LC = Lightcloud® Controller

> A17 XFU comes standard with: Adjustable Universal Pole Mount 7-Pin Receptacle Twistlock Photocell Shorting Cap



July 5, 2023

Charter Township of Garfield Planning Commission 3848 Veterans Drive Traverse City, MI 49684

Attention: Stephen Hannon, AICP

Re: Application for Site Plan Review – Bish's RV

705 N US-31 South, Traverse City, MI 49685 Parcel #05-032-002-10 and Parcel #05-032-002-15

Completeness Review Letter

Dear Mr. Hannon,

We are in receipt of your completeness review comments dated June 26, 2023, for the Bish's RV Site Improvements. Below is a summary of the actions taken in response to the comments:

- 1. The review of the request for additional access to Meadow Lane Drive is subject to the Township Zoning Ordinance Section 512 Access Management and Restrictions, 3.a. Qualifying Standards for Additional Access which states that "Access to land fronting a County Road may be permitted to exceed one (1) driveway or road access per existing parcel provided that each of the following standards can be met:"
 - The request is not a result of a self-created issue by current or previous ownership.
 - The request is not contrary to a previously approved plan or project that limited access to the parcel.
 - Cross-access easements are provided to adjacent properties and all parcels are interconnected to achieve the intent of this Section.
 - Each additional access is located in such a manner that there is a minimum of 300 feet of separation measured from centerline to centerline of current and proposed road access.

Given these standards, if the applicant has any information beyond that included in the application for the Planning Commission to consider regarding the request for additional access, please provide such information as part of the application.

Response: The requested access point along Meadow Lane Drive has been located 300 feet west of the eastern access point to comply with the spacing requirements listed above. If granted, this access point would be only the second point of access along the more than 700 feet of property frontage on Meadow Lane Drive. This access point is being requested to improve on-site circulation and safety by limiting the area of passenger vehicle and RV overlap in the parking lot. Also, there are no existing or proposed access points along US Route 31 so without approval of this secondary access point there would only be a single point of access for emergency vehicles and responders for an almost 7 acre property. Meadow Lane is a significantly less traveled roadway than US Route 31 and therefore would be a much more beneficial location for a secondary access point.



- 2. Please provide typical details of proposed site elements to determine if the following standards of the Zoning Ordinance are met:
 - Fences (Section 515 Fences and Walls)
 - Dumpster enclosure and gate (Section 516 Dumpster Enclosures)

Response: The requested details have been added to sheet L2.0.

3. A complete lighting plan, including photometric plan and cut sheets of all proposed fixtures, shall be provided to ensure Section 517 Lighting standards are met.

Response: A photometric plan and cut sheets are currently being prepared by the architect and will be provided as soon as possible.

4. Per Section 522.B, "For safety purposes, sidewalks shall be constructed within the interior of the development to link buildings with other destinations, such as, but not limited to, parking, adjoining streets, mailboxes, trash disposal, adjoining sidewalks or greenways, and on-site amenities..." The site plan shows a proposed trail along US 31. A sidewalk / crosswalk connection shall be provided from the building entrance to this trail.

Response: An ADA compliant route has been added connecting the main building entrance to the proposed trail at the intersection of Meadow Lane Drive and US-31 to provide pedestrian access to the building. Refer to sheet C2.0.

5. Landscaping requirements are in Section 531.C. Required plantings are as follows:

Direction	Adjacent Land Use	Planting Required
East	Arterial Road	Type "D" Buffer – ground cover as specified in Section 530.J, plus 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area, and a minimum width of 20 feet.
North	Local Road	Type "C" Buffer – ground cover as specified in Section 530.J, plus 3 large trees, 3 medium or small trees, and 1 evergreen or coniferous tree per 100 linear feet of greenspace area, and a minimum width of 10 feet.
West and South	Commercial	Type "B" Buffer – ground cover as specified in Section 530.J, plus 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace area, and a minimum width of 10 feet.



Staff offers the following comments:

Please provide proposed landscaping for the north and east buffers. Existing
vegetation can be credited towards the landscaping requirements according to
Section 530.L, but please provide information on existing sizes to determine how
much credit may be granted.

Response: Vegetative buffer has been added to the North and East perimeters of the site. Due to site restraints along both the North and East by utilities, easements, and hardscape, Buffer Type "D" and Buffer Type "C" are not able to be met. Canopy Trees have been incorporated at a spacing no greater than 35', Ornamental Trees have been incorporated between Canopy Trees where feasible. Evergreen Trees have not been provided due to proximity to pedestrian and vehicular areas, for safety.

Please provide the landscaping requirement calculations for each buffer and how the
proposed landscaping will meet these requirements. Please also indicate where
these buffers are applied. For example, the entire perimeter of the site from the
southwest corner of the retention pond to the southern point of the US 31 frontage
may be included as part of the south buffer.

Response: Landscape Code Calculations have been added to Sheet L1.0 with applicable Buffer requirements. The East Buffer area runs along the East property line from the corner of Meadow Lane Drive and US-31, South to the adjacent property. The South Buffer runs from the Southeast corner of the site to the adjacent property at US-31 down to the Southwest corner of the site. The West Buffer runs the entire length of the Western side of the site up to Meadow Lane Drive. The North Buffer runs the entire length of the site adjacent to Meadow Lane Drive to the East corner at US-31.

- 6. Parking requirements for "Automotive sales and service establishments" are listed in Table 5-47 of the Zoning Ordinance and are described as follows:
 - Minimum: 1 per 400 square feet of floor area of the sales room
 - Maximum: 1 per 200 square feet of floor area of the sales room + 1 per auto service stall

Please indicate the floor area of the existing sales room(s) and any auto service stalls as part of the parking calculations to determine if parking requirements of the Zoning Ordinance have been met. Also, please provide information pertaining to the standards for Bicycle Parking (Section 522.C), Snow Storage (Section 551.E.(6)), and Loading (Section 552).

Kimley»Horn

Response: The sales area and RV service stalls within the existing building have been added to the Parking Summary table on sheet C2.0. The resulting maximum parking count using the calculation above is 37 parking spaces. Based on operational data from other Bish's RV locations, they applicant is proposing 47 passenger vehicle parking spaces to meet their needs for both customers and staff parking. For the purposes of this calculation, only the interior sales area has been included; however, a much larger sales area exists outside of the building. Due to the size of the RVs and the sales season so heavy weighted towards summer months, a larger percentage of sales activities happen outside the building than a typical car dealership. The increase in passenger vehicle parking is needed to accommodate this summer sales peak.

4 bicycle parking spaces have been added to the front of the building to comply with the requirement.

The limits of proposed snow storage area has been shown in plan view and table format on sheet C2.0.

One loading space is required based on the gross floor area, which is now called out to be located in front of the dumpster enclosure on the north side of the existing building.

We hope that our responses adequately address your comments. If you have any questions or require any additional information, please contact me to 630-487-3392 or taylor.eschbach@kimley-horn.com.

Sincerely,

Taylor Eschbach, P.E.



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

SITE PLAN REVIEW (SPR) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

NI DECLIECTED		
Site Diagram Review	1	
Administrative Site Pl	lan Review	
Site Development Pla	an Review	
ECT / DEVELOPMENT	<u> NAME</u>	
Bish's RV		
CANT INFORMATION	[
Name:	Taylor Eschbach (Kimley-Horn of Michigan, Inc.)	
Address:	1000 Town Center, Suite 1900, Southfield, MI 48075	
Phone Number:	(630) 487-5550	
Email:	Taylor.Eschbach@kimley-horn.com	
<u> INFORMATION</u>		
Name:		
Address:		
Phone Number:		
Email:		
R INFORMATION		
Name:	Brinkerhoff Preperties, LLC	
Address:	9336 Lawrence Drive, Traverse City MI 49685	
Phone Number:	Kevin Brinkerhoff	
Email:	kbrink53@hotmail.com	
	Administrative Site P Site Development Pla ECT / DEVELOPMENT Bish's RV CANT INFORMATION Name: Address: Phone Number: Email: INFORMATION Name: Address: Phone Number: Email: R INFORMATION Name: Address: Phone Number: Email:	Site Diagram Review Administrative Site Plan Review Site Development Plan Review ECT / DEVELOPMENT NAME Bish's RV CANT INFORMATION Name: Address: 1000 Town Center, Suite 1900, Southfield, MI 48075 Phone Number: (630) 487-5550 Email: Taylor.Eschbach@kimley-horn.com TINFORMATION Name: Address: Phone Number: Email: R INFORMATION Name: Address: Phone Number: Email: Brinkerhoff Preperties, LLC Address: Phone Number: Kevin Brinkerhoff kbrink53@hotmail.com

Page 1 of 7

CONTACT PERSON

Please select one person to be	contact person	for all corres	pondence and	questions:
--------------------------------	----------------	----------------	--------------	------------

Applica	ant:	Taylor Esc	hbach (Kim	nley-Horn)
Agent:				
Owner				
PROPERTY IN	<u>FORMATION</u>			
Proper	ty Address:	705 US-31	S, Travers	e City, MI 49685
Proper	ty Identification	n Number:	05-032-00	2-10, 05-032-002-15
Legal L	Description:		See C0.0 (Cover Sheet
Zoning	District:		C-G (Gene	eral Commercial)
Master	Plan Future L	and Use De	esignation:	
Area o	f Property (acr	es or squar	e feet):	6.89 acres
Existin	g Use(s):	RV Dealership		
Propos	sed Use(s):	RV Dealership		
PROJECT TIMI	<u>ELINE</u>			
Estimat	ted Start Date:		07/31/202	3

REQUIRED SUBMITTAL ITEMS

Estimated Completion Date:

A complete application for a Site Plan Review consists of the following:

10/31/2023

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

✓ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Diagram Review:

- ☑ Two complete stapled 11"x17" paper sets
- One digital set (PDF only)

Ad	Administrative Site Plan:		
	\checkmark	Two complete stapled 11"x17" paper sets	
	✓	Two complete bound 24"x36" paper sets	
	✓	One digital set (PDF only)	
Sit	e De	velopment Plan:	
		Ten complete stapled 11"x17" paper sets	
		Two complete bound 24"x36" paper sets	
		One digital set (PDF only)	

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

- 1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
- 2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Diagram (SD), Administrative Site Plan (ASP), or Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

Page 3 of 7 SPR - Form Date: March 1, 2021

APPROVAL CRITERIA

An administrative site plan or site development plan shall conform to all provisions of the Zoning Ordinance and to the following site development standards which shall be reflected on the plan:

- 1. Required Information. All required information shall be provided.
- 2. Outside Agencies. All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.
- 3. Essential Facilities and Services. Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
- 4. Natural Features. Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.
- 5. Site Design. All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.
- 6. Orientation. Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
- 7. Vehicle and Pedestrian Systems. The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
- 8. Shared Drives. Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
- 9. Impervious Surfaces. The amount of impervious surface has been limited on the site to the extent practical.
- 10.Master Plan. The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

Α.	Sanitary Sewer Service	<u>Yes</u>	<u>No</u>	Not <u>Applicable</u>
1.	Does project require extension of public sewer line?		~	
	If yes, has a Utility Agreement been prepared?			V
2.	Will a community wastewater system be installed?		V	
	If yes, has a Utility Agreement been prepared?			V
	If yes, provide construction plans and specifications			
3.	Will on-site disposal be used?		V	
	If yes, is it depicted on plan?			V

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В.	<u>water Service</u>			
1.	Does project require extension of public water main?		V	
	If yes, has a Utility Agreement been prepared?			V
2.	Will a community water supply be installed?		V	
	If yes, has a Utility Agreement been prepared?			/
	If yes, provide construction plans and specifications			
C.	Public utility easements required?			/
	If yes, show on plan.			
D.	Stormwater Review/Soil Erosion			
1.	Soil Erosion Plans approved by Soil Erosion Office?		V	
	If so, attach approval letter.			
	If no, are alternate measures shown?		V	
2.	Stormwater Plans approved by Township Engineer?		~	
	If so, attach approval letter.			
	If no, are alternate measures shown?		/	
	Note: Alternate measures must be designed and sealed by a regis	tered Engine	er.	
E.	Roads and Circulation			
1.	Are interior public streets proposed?		V	
	If yes, has Road Commission approved (attach letter)?			V
2.	Will public streets connect to adjoining properties or future streets?		~	
3.	Are private roads or interior drives proposed?		~	
4.	Will private drives connect to adjoining properties service roads?		V	
5.	Has the Road Commission or MDOT approved curb cuts?			V
	If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review.
- The Planning Commission may approve, approve with conditions, or deny the application.

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PERMISSION TO ENT	ER SUBJECT PROPERTY
	ranted to Garfield Township staff and Planning Commissioners to enter the premises subject to this
application for the purp	oses of making inspections associated with this application, during normal and reasonable working
hours.	— DocaSiened by:
Owner Signature:	Consistence by:
Applicant Signature:	
Agent Signature:	00/00/0003
Date:	06/06/2023
OWNER'S AUTHORIZA	ATION_
If the applicant is not th	ne registered owner of the lands that is the subject of this application, the owner(s) must complete
the authorization set ou	t below.
	authorize to make this application on my/our behalf ny/our personal information necessary for the processing of this application. Moreover, this shall be t authorization for so doing.
<u>AFFIDAVIT</u>	
The undersigned affirm	s that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application
and all of the information	on submitted in this application, including any supplemental information, is in all respects true and
correct. The undersig	ned further acknowledges that willful misrepresentation of information will terminate this permit
application and any per	mit associated with this document.
	- Description of how

Owner Signature:

K-ZUI)

Date:

06/06/2023

Applicant Signature:

06/06/2023 Date:

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Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)			
Α.	Basic Information		
1.	Applicant's name, address, telephone number and signature		7
2.	Property owner's name, address, telephone number and signature		V
3.	Proof of property ownership		V
4.	Whether there are any options or liens on the property		✓
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		Ø
7.	A vicinity map showing the area and road network surrounding the property		
8.	Name, address and phone number of the preparer of the site plan	П	
9.	Project title or name of the proposed development		
10	Statement of proposed use of land, project completion schedule, any proposed development phasing	 	
11	Land uses and zoning classification on the subject parcel and adjoining parcels		
12	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as		Ø
12.	their name, address and telephone number		✓
D	Site Plan Information		
1.	North arrow, scale, and date of original submittal and last revision		V
2.	Boundary dimensions of natural features		<u> </u>
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%),		
".	beach, drainage, and similar features		~
4.	Proposed alterations to topography and other natural features		7
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<u> </u>
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing		
, ·	structures		Ø
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		V
9.	Proposed finish floor and grade line elevations of any structures	_	
	*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.	□ *	
10.	Existing and proposed driveways, including parking areas		V
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		~
12.	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		V
13	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		V
	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features		
	within and adjacent to the site		V
15.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		~
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		V
17.	Location of water supply lines and/or wells		V
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems		V
19.	Location, specifications, and access to a water supply in the event of a fire emergency		\
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		V
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
23.	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric		
24.	plan, Kelvin rating, as well as the type of fixtures and shielding to be used Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by		V
26.	general location or range of sizes as appropriate Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		
27			

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PLANNING COMMISSION MEMORANDUM

To: Garfield Township

From: Taylor Eschbach, Project Manager

Kimley-Horn of Michigan, Inc

Date: June 8, 2023

Re: Proposed Bish's RV Site Improvements

705 US-31

Traverse City, MI 49685

Introduction

Kimley-Horn of Michigan, Inc., serves as the engineering consultant for Bish's RV. They are proposing to construct parking lot improvements and an additional access to Meadow Lane Drive. The sitework includes demolition, grading, paving, fence installation, and landscape improvements. Applications with the Grand Traverse Metro Fire Department and Grand Traverse County Soil Erosions and Sedimentation Control are currently under review.

Existing Conditions

The existing site at 705 US-31 consists of two parcels. The northerly parcel is currently used as an RV sales lot with a singular one-story building serving as the business center. There is an asphalt driveway along Meadow Lane Drive approximately 180 feet from the middle of the US-31 and Meadow Lane Drive intersection. There is also a secondary gravel access that was installed by a previous owner at some point during the early 2000's. In current conditions, there are RV's parked beyond the limits of the paved lot in the gravel/dirt field to the west.

Proposed Conditions

Bish's RV is proposing parking lot improvements that consist of extending the asphalt parking lot further west and into the southern parcel as well. Along with the addition of the pavement, we are proposing to install the required stormwater improvements and infiltration basin to handle the additional impervious surface. The basin has been designed to infiltrate all the runoff into the ground. A fence is proposed to enclose the entirety of the sales and service sections of the parking lot. An additional asphalt driveway is being proposed to Meadow Lane Drive as the existing gravel access is to be removed.

Charter Township of Garfield Planning Department Report No. 2023-97			
Prepared:	August 2, 2023	Pages:	6
Meeting:	August 9, 2023 Planning Commission Attachments:		
Subject:	Durga R-3 Rezoning – Introduction		
File No.:	Z-2023-02		
Parcel Number:	#05-022-023-00		
Applicant / Owner:	Gerda Durga		

PURPOSE OF APPLICATION:

The applicant has requested rezoning of their parcel (ID #05-022-023-00) at 2624 Hartman Road from the R-R Rural Residential district to the R-3 Multi-Family Residential district via the Zoning Map Amendment process, without restriction.

SUBJECT PROPERTY:

This parcel is located on the north side of Hartman Road near the intersection with Cass Road and is about 5 acres in total. The site contains a single-family home in the southeast corner of the parcel and has a single curb cut on Hartman Road.



Zoomed-out aerial view of the subject property (highlighted in blue) MADYSON ANN RD

Zoomed-in aerial view of the subject property (highlighted in blue)



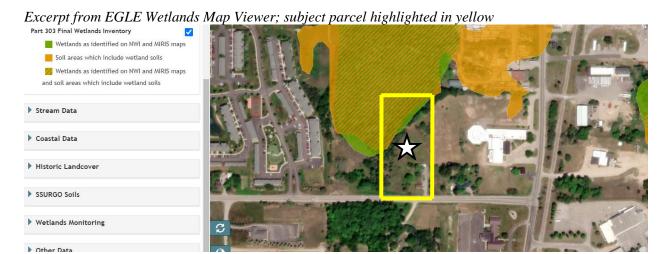
MASTER PLAN CONSIDERATIONS:

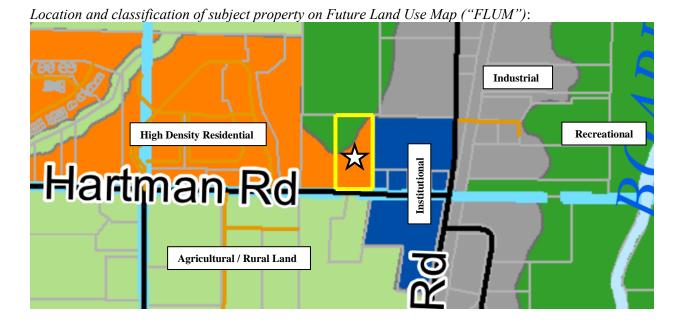
A key factor in considering rezoning requests is whether the request is consistent with the Master Plan. In this case, the Future Land Use Map shows the subject parcel as split between High Density Residential on most of the site with a portion in the northwest corner shown as Recreational. The category of High Density Residential "provides areas for medium- to high-density single- and two-family residential dwelling units mixed with a variety of multi-family residential dwelling types, including apartments where adequate public facilities and services exist with capacity to serve such development." The "Recreational" designation "indicates areas suitable for active and passive recreation, and which are already owned by a municipality or other governmental entity. This classification is not intended to identify future properties which may be acquired as the parkland system grows, but rather to protect and preserve existing parks and sensitive natural areas."

Surrounding Properties	Surrounding Future Land Use Designations
North	Recreational
East	Institutional
South	Agricultural / Institutional
West	High Density Residential / Recreational

The most compatible zoning district for the "High Density Residential" future land use designation is the R-3 Multi-Family Residential district, with R-1 One-Family Residential and R-2 Two-Family Residential also being potentially compatible. The proposed R-3 zoning matches the future land use designation for the front portion of the parcel.

The most compatible zoning district for the "Recreational" future land use designation is the P-R Park and Recreation district. The proposed R-3 zoning does not match the future land use for the back portion of the parcel. The future land use designation of Recreational may be based on wetland data as shown on the map below, which identify wetlands and wetland soils in the back portion of the property:





An excerpt from the Zoning Plan for the R-3 zoning designation is provided below.

Excerpt from Zoning Plan matching proposed R-3 zoning for the subject property:

	ching proposed R-3 zoning for the subject property:
Master Plan Designation	High-Density Residential (6-10 U/A)
[Requested] Zoning	R-3 Multi-Family Residential
Zoning Ordinance District Intent	The R-3 (Multi-Family Residential) districts provide areas for medium- to high-density single and two-family residential dwelling units mixed with a variety of multi-family residential dwelling types, including apartments where adequate public facilities and services exist with capacity to serve such development. The districts are composed mainly of areas containing an existing mix of these dwelling types as well as areas within which such development appears likely and desirable. They are intended to encourage more intensive development in and near the core areas of the Township. The R-3 districts are designed to encourage a suitable neighborhood environment for family life by including among the permitted uses such facilities as schools, places of worship and parks that will promote a sense of community, urban vitality and the efficient provision of infrastructure. R-3 district regulations are designed to allow for market and design flexibility while preserving the neighborhood character and permitting applicants to cluster development in order to preserve environmentally sensitive and natural land areas.
Potentially Compatible District	R-2 (Two-Family Residential) / R-1 (One-Family Residential)
Considerations for Downzoning (Less Density)	Allowing a downzoning in designated redevelopment areas may be detrimental to the overall redevelopment plan. In some cases, however, when platted subdivisions are in play, a downzoning may accelerate the redevelopment process. Areas designated as R-3 are typically located close to the City core and amenities. The R-3 district is consistent with the High Density Residential Zoning classification; however, where platted subdivisions are prevalent, an R-1 or R-2 designation may be more appropriate and compatible.
Considerations for Upzoning (More Density)	The R-3 district allows the greatest density possible.

ZONING FOR SUBJECT SITE AND SURROUNDING SITES:

The zoning for the existing property is R-R Rural Residential, shown below in medium green. Zoning for surrounding sites is as follows:

Zoning classifications for subject site and surrounding sites:

C-L - Local Commercial

R-R - Rural Residential

LEGGETT DR

MADYSON ANN RD

A - Agricultural

Surrounding Properties	Surrounding Zoning
North	R-R – Rural Residential
East	R-R – Rural Residential
South	A – Agricultural
West	R-R – Rural Residential

USES OF SUBJECT SITE AND SURROUNDING SITES:

The subject site is currently used for single-family residential. Uses of surrounding sites are as follows:

Surrounding Properties	Surrounding Uses
North	Miller Creek Nature Reserve (Township parkland)
East	TCAPS Sabin Data Center
	Vacant parcel owned by Grand Traverse County Road Commission
South	Existing single-family home
	Vacant parcel
West	Vacant parcel owned by Grand Traverse County Road Commission

STAFF COMMENT:

Upon preliminary review of the Master Plan and Future Land Use designation for the subject site, Staff is of the opinion that this proposed Map Amendment is justifiable. For most of the property, the future land use designation of High Density Residential matches the proposed zoning of R-3 Multi-Family Residential. For the northwest corner of the site with the Recreational designation, the presence of wetlands and wetland soils in this area would preclude building in this area regardless of its zoning classification.

PRELIMINARY APPROVAL CRITERIA DISCUSSION:

To focus the discussion on the factors relevant to approving a Map Amendment, the following approval criteria are included below for reference:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E (1) Master Plan Consistency through § 421.E (8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:

- 1. Master Plan Consistency
- 2. Adverse Impacts on Neighboring Lands
- 3. Suitability as Presently Zoned
- 4. Changed Conditions
- 5. Health, Safety, and Welfare
- 6. Public Policy
- 7. Size of Tract
- 8. Other Factors

ACTION REQUESTED:

The item is placed on tonight's agenda to introduce the rezoning application and consider scheduling it for public hearing at the Planning Commission regular meeting on September 13, 2023. If, after the applicant's presentation and following discussion, the Planning Commission is prepared to schedule the application for a public hearing, then the following motion is suggested:

MOTION THAT application Z-2023-02 BE SCHEDULED for public hearing for the September 13, 2023 Planning Commission regular meeting.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

- 1. Application for Zoning Ordinance Map Amendment dated June 19, 2023
- 2. Impact Statement for Zoning Ordinance Map Amendment for the Durga Property dated July 4, 2023
- 3. Legal Description and Map



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

ZONING ORDINANCE AMENDMENT (ZOA) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTIO	N REQUESTED		
\checkmark	Map Amendment (Re	zoning)	
	Text Amendment		
	Conditional Rezoning		
PROJE	CT / DEVELOPMENT	NAME	
	28-05-022-023-00 Ha	rtman Road	
4 D D L 14			
APPLIC	CANT INFORMATION		
	Name:	Gerda Durga	
	Address:	230 West Street, Mandeville, La 70448	
	Phone Number:	231 941-0952	
	Email:	durgagerda@gmail.com	
AGEN1	INFORMATION		
	Name:		
	Address:		
	Phone Number:		
	Email:		
OWNE	R INFORMATION	<u> </u>	
	Name:	same as applicant	
	Address:		
	Phone Number:		
	Email:		

CONTACT PER		be contact person for all correspondence and questions:
	•	
Applic		Gerda Durga (also owner)
Agent:		
Owner	7	
PROPERTY IN	IFORMATION	
Proper	ty Address:	2624 Hartman Road
Proper	ty Identification	n Number: 28-05-022-023-00
Legal	Description:	? see attadriment
-	District:	?RR
Maste	r Plan Future L	and Use Designation: ? Ligh Derigita Residential
Area o	f Property (acı	res or square feet): 5 acres (verify?)
Evictir	ng Use(s):	residential
	sed Use(s):	multi-family residential (or what is possible?)
т торо	300 030(3).	(c
REQUIRED SU	JBMITTAL ITE	MS
A complete app	lication for a Z	oning Ordinance Amendment consists of the following:
Applica	ation Form:	
Ø	One original	signed application
×	One digital co	opy of the application (PDF only)
Applica	ation Fee:	
		ablished by resolution of the Garfield Township Board and are set out in the current Fee
		listed on the Planning Department page of the Township website (http://www.garfield-
		ease make check out to Charter Township of Garfield.
П	Fee	·
Escrov	/ Fee:	
	Additional fee	es may be required if a review by independent professional help is deemed necessary by the
	Township. If	required, such additional fees must be placed in escrow by the applicant in accordance with
	the escrow p	olicies of the Township and prior to any further processing of this application. Any unused
		shall be returned to the applicant. Please complete an Escrow and Review (ER) Application
	form.	
For Ma		Amendment only, the following must be included:
	Diagram	and an analysis of the second

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One digital copy of the Impact Statement for Map (Rezoning) Amendment (PDP only)

Ten paper copies of the Impact Statement for Map (Rezoning) Amendment

☐ Ten complete stapled 11"x17" paper sets

☐ One digital set (PDF) only

Supporting Information

For Text	t Amendment only, the following must be included:
	☐ Ten paper copies of the Impact Statement for Text Amendment
	☐ One digital copy of the Impact Statement for Text Amendment (PDF only)
For Con	ditional Rezoning only, the following must be included:
	Site Development Plan
	☐ Ten complete stapled 11"x17" paper sets
	☐ Two complete bound 24"x36" paper sets
	☐ One digital set (PDF only)
	Supporting Information
	☐ Ten paper copies of the Impact Statement for Conditional Rezoning
	☐ One digital copy of the Impact Statement for Conditional Rezoning (PDF only)
	☐ Ten paper copies of the Offer of Conditions for Conditional Rezoning
	☐ One digital copy of the Offer of Conditions for Conditional Rezoning (PDF only)

IMPACT STATEMENT FOR ZONING ORDINANCE MAP AMENDMENT

Digital items to be delivered via email or USB flash drive

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

- 1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
- 2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
- 3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
- 4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
- 5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.
- 6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
- 7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no

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- intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.
- 8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

IMPACT STATEMENT FOR ZONING ORDINANCE TEXT AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

- 1. Master Plan Consistency. A text amendment should be consistent with the intent and purpose of the adopted master plan.
- 2. Changed Conditions. The Township shall consider whether any conditions have changed since the zoning ordinance was adopted that might justify the amendment.
- 3. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas.
- 4. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
- 5. Other Factors. The Township may consider any other factors relevant to a zoning text amendment application under state law.

IMPACT STATEMENT FOR CONDITIONAL REZONING

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

- 1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
- 2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
- 3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
- 4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
- 5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

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- 6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
- 7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.
- 8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

OFFER OF CONDITIONS FOR CONDITIONAL REZONING

A written offer of Conditions as described in § 422.B(3) of the Zoning Ordinance. An owner of land may voluntarily offer, in writing, conditions relating to the use and/or development of land for which a rezoning is requested.

- 1. The owner's offer of conditions may not purport to authorize uses or developments not permitted in the requested new zoning district.
- 2. The owner's offer of conditions shall bear a reasonable and rational relationship to the property for which rezoning is requested.
- 3. Any use or development, proposed as part of an offer of conditions that would require a special land use permit under the terms of this ordinance, may only be commenced if a special land use permit for such use or development is ultimately granted in accordance with the provisions of this ordinance.
- 4. Any use or development, proposed as part of an offer of conditions that would require a variance under the terms of this ordinance, may only be commenced if a variance for such development is ultimately granted by the Zoning Board of Appeals in accordance with the provisions of this ordinance.
- 5. Any use or development, proposed as part of an offer of conditions that would require site plan approval under the terms of this ordinance, may only be commenced if site plan approval for such use or development is ultimately granted in accordance with the provisions of this ordinance.
- 6. The offer of conditions may be amended during the process of rezoning consideration, provided that any amended or additional conditions are entered voluntarily by the owner.

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

- The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
- The Director of Planning may waive a particular element of information or data otherwise required for a
 Site Development Plan upon a finding that the information or data is not necessary to determine
 compliance with this ordinance or that such information or data would not bear on the decision of the
 approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

ADDITIONAL INFORMATION

If applicable, provide the following further information:			Not
A. Sanitary Sewer Service	<u>Yes</u>	<u>No</u>	<u>Applicable</u>
1. Does project require extension of public sewer line?			
If yes, has a Utility Agreement been prepared?			
2. Will a community wastewater system be installed?			
If yes, has a Utility Agreement been prepared?			
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?			
If yes, is it depicted on plan?			
B. Water Service	_	_	_
 Does project require extension of public water main? 			
If yes, has a Utility Agreement been prepared?			
2. Will a community water supply be installed?			
If yes, has a Utility Agreement been prepared?			
If yes, provide construction plans and specifications			
C. Public utility easements required?			
If yes, show on plan.			
D. Stormwater Review/Soil Erosion			_
 Soil Erosion Plans approved by Soil Erosion Office? 			
If so, attach approval letter.			
If no, are alternate measures shown?			
2. Stormwater Plans approved by Township Engineer?			

	If so, attach approval letter. If no, are alternate measures shown?				
	Note: Alternate measures must be designed and sealed by a regi	stered Engin	eer.		
Ε.	Roads and Circulation				
1.	Are interior public streets proposed?				
	If yes, has Road Commission approved (attach letter)?				
2.	Will public streets connect to adjoining properties or future streets?				
3.	Are private roads or interior drives proposed?				
4.	Will private drives connect to adjoining properties service roads?				
5.	Has the Road Commission or MDOT approved curb cuts?				
	If yes, attach approved permit.				
<u>01</u>	THER INFORMATION				
lf 1	there is any other information that you think may be useful in the re-	view of this	application, p	ease attach it	to this
ар	plication or explain it on a separate page.				

REVIEW PROCESS

- 1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- 2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- 3. Following the public hearing, the Planning Commission will make a recommendation on the application to the Township Board.
- 4. Prior to making a decision, the Township Board will hold a second public hearing on the application. Following the public hearing, the Township Board will make a decision to approve or deny the application.
- 5. If a Conditional Rezoning is approved or approved with conditions, the decision of the Township Board shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working bours

hours.		
Owner Signature:	(Pardo Dusela	
Applicant Signature:	37,44	
Agent Signature:		
Date:	June 19. 23	

Page 7 of 9 ZOA - Form Date: March 1, 2021

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

INVe Corela	- Doger	authorize to make this application on my/our behalf
and to provide any of my	/our personal information necessary	for the processing of this application. Moreover, this shall be
your good and sufficient	authorization for so doing.	
Owner Signature:	Carde Dubble	l.
Date:	6,19,23	
<u>AFFIDAVIT</u>		
The undersigned affirms	that he/she or they is (are) the owner	r, or authorized agent of the owner, involved in the application
and all of the information	n submitted in this application, inclu	ding any supplemental information, is in all respects true and
correct. The undersign	ed further acknowledges that willfu	I misrepresentation of information will terminate this permit
application and any pern	nit associated with this document.	
Owner Signature:	(Paselle Disto	Q.
Date:	6.19.23	
Applicant Signature:	9	
Date:		

	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A.	Basic Information	RIVE.	
1.	Applicant's name, address, telephone number and signature		
2.	Property owner's name, address, telephone number and signature		
3.	Proof of property ownership		
4.	Whether there are any options or liens on the property		
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
7.	A vicinity map showing the area and road network surrounding the property		
8.	Name, address and phone number of the preparer of the site plan		
9.	Project title or name of the proposed development		
10.			
	Land uses and zoning classification on the subject parcel and adjoining parcels		
11.			
12.			
_	their name, address and telephone number		
	Site Plan Information		
1.	North arrow, scale, and date of original submittal and last revision		
2.	Boundary dimensions of natural features		
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		
4.	Proposed alterations to topography and other natural features		
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	14	
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals,		
о.	salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county,		
_	state or federal government authorities Proposed finish floor and grade line elevations of any structures		
9.		□ *	
10	*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.		
	Existing and proposed driveways, including parking areas		
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		
	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		
	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		
14.	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		
15.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
17.			
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems		
19.	Location, specifications, and access to a water supply in the event of a fire emergency	THE REAL PROPERTY.	
	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV,	- 100	
20	telephone and steam		
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		
26.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	164	
	with all the companied within within all with any markets are size.		

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Impact Statement for Zoning Ordinance Map Amendment for the Durga Property

LEGAL DESCRIPTION:

GA 304-C PART OF S 1/2 OF SE 1/4 OF SW 1/4 COM AT PT 624' E
OF SW COR TH N 40 RD TH W 20 RD TH S 40 RD TH E 20 RD TO POB SEC 22 T27N R11W 5 A

July 4, 2023

To Whom It May Concern:

The Durga Family property, also identified as #05-022-023-00, is a five acre parcel located just on Hartman Road and is currently zoned as rural residential (R-R). I, the owner, am requesting that Garfield Township consider changing the current zoning to multi-family residential (R-3) in an effort to be more aligned with Garfield Township's Master Plan and the adjacent surrounding properties. Until now, this property was used as rural residential and after my father-in-law passed has been used for rental income property.

Garfield Township has grown and changed over the last 50 years. The original R-R zoning of the property and now the request for rezoning of the property to R-3 is a reflection of the changing development needs and growth in Garfield Township. This request in rezoning is also aligned with the Garfield Township's Master Plan. The current zoning does not complement adjacent property zoning. Rezoning this parcel to multi-residential use would have minimal adverse impact to the adjacent properties and be well suited for families as it is located near a public school. In short, the rezoning of this parcel would create more opportunity to develop and plan for housing for the citizens of Garfield Township.

Thank you for your time and consideration to review this zoning request.

Respectfully submitted,

Gerda Durga

Legal description

GA 304-C PART OF S 1/2 OF SE 1/4 OF SW 1/4 COM AT PT 624' E OF SW COR TH N 40 RD TH W 20 RD TH S 40 RD TH E 20 RD TO POB SEC 22 T27N R11W 5 A.

Ch Pla	narter Township of Garfield anning Department Report No. 202	23-98			
Prepared:	August 2, 2023	Pages: 6			
Meeting:	August 9, 2023 Planning Commission	Attachments:			
Subject:	Portable Storage Solutions Special Use Per	mit-Introduction			
File No.	SUP-2023-06	Parcel No. 05-022-027-15			
Applicant:	Sarah Keever/Northview 22 LLC				
Agent:	**				
Owner:	Barker Creek Holdings LLC				

BRIEF OVERVIEW:

• Location: 2550 Cass Road, north of Miller Creek Drive

• Parcel area: 4.11 acres

Existing land use: Existing building and outdoor storage yardExisting zoning: I-G - General Mixed-Use Industrial Business

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit for Retail, Industrial Primary at the subject site. Retail, Industrial Primary is a use permitted via Special Use Permit in the I-G General Mixed-Use Industrial Business zoning district.

Aerial image of the subject property (property lines highlighted in blue):





SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- 1) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding the use, site design and compliance with the Zoning Ordinance:

Use

On February 8, 2023, the Township issued the owner a Letter of Information regarding unapproved storage containers in a parking lot which was a violation of Section 613 of the Zoning Ordinance. A subsequent

Violation Notice was issued on March 1, 2023 regarding the storage containers and a change of business sign without permitting. It is anticipated that review and approval of a Special Use Permit application will bring the use and site in compliance with the Zoning Ordinance and resolve the cited violations.

According to the General Manager of Portable Storage Solutions in an email dated February 16, 2023, they "rent and sell empty shipping containers, semi-trailers and mobile office trailers for storage/office space purposes and deliver them to customers locations for use. We do not ship anything with contents in them now. We also will be converting shipping containers to mobile offices as well to add those to our rental and sales fleet." Based on this description, Staff determined that Retail, Industrial Primary was the appropriate definition of the use.

As part of Retail, Industrial Primary, outdoor display is permitted. According to Section 770.A(2) of the Zoning Ordinance, "display areas shall be suitably landscaped. Such landscaping shall include shrubs and trees in sufficient quantity to mitigate any adverse impact of the outdoor display." Details of the outdoor display landscaping are needed. Suitable landscaping may consist of a narrow planting strip with mulch and low-level shrubs.

Images of the site taken on August 1, 2023 are provided below:







Outdoor Storage – Screening Location

In addition, to the Retail, Industrial Primary use, outdoor storage is proposed on the site. According to Section 613 of the Zoning Ordinance, screening is required for outdoor storage.

Stacking of shipping containers should be restricted as stacking would circumvent the purpose of the required screening of outdoor storage. At a minimum, stacking should be limited to the rear (or east) side of the building.

Outdoor Storage - Screening Material

The applicant is proposing to maintain the existing chain link fence for screening of the outdoor storage. According to Section 515.B(2)(b) of the Zoning Ordinance, "chain link may be acceptable when not in prominent view from a public street and provided a vegetative screen of living plant material is incorporated to provide screening and vegetative enhancement. Chain link fencing shall not incorporate "slats" for screening purposes."

Furthermore, According to Section 515.B(2)(c) of the Zoning Ordinance, "where fencing is to be used for screening purposes, the Zoning Administrator upon review of a site plan or the Planning Commission upon review of a special use may require additional landscaping or allow an alternative fencing material or combination of plantings and materials to adequately screen a use."

The visibility of the south side of the parcel is reduced to a large vegetative buffer and Miller Creek. The east side of the parcel faces the MDOT railroad. The north side of the parcel faces Cass Road Self Storage and shares an existing chain link fence. The west side of the parcel faces Cass Road. The west side shall be improved to meet the intent of the outdoor storage screening requirements.

The applicant proposes two landscaped areas: A northerly 15'x5' screening area with two plantings and a southerly 21'x5' screening area with three plantings. Staff recommends that each screening area be widened to 10 feet with the northerly screening area lengthened to 110 feet and the southerly screening area be lengthened to 50 feet. A third screening area is recommended on the south side of the south gate at a configuration of 15 feet by 10 feet. Additional plantings are required. Evergreen plantings shall be specified in feet in height with the minimum size being 6 feet in height and not by gallon as currently noted on the site plan. Evergreens are recommended to be spaced at intervals of 3 feet.

Parking

The parking requirement for industrial uses is 5 spaces plus 1 space for every one and one-half (1-1/2) employees in the largest working shift. With 8 employees, the parking requirement is 17 spaces. At least 17 spaces are onsite. The existing parking spaces need to be restriped.

Bicycle Parking

Wherever off-street parking is required, a minimum of two bicycle parking spaces are required. For parking areas with greater than twenty-five (25) motor vehicle spaces, bicycle parking shall be provided on a basis of two spaces per twenty-five motor vehicle parking spaces. In this case, two bicycle parking spaces are required in accordance with Section 522.C of the Zoning Ordinance.

Sidewalks

At this location, the Non-Motorized Plan recommends a bike lane/route along Cass Road, therefore no site improvement is required.

Landscaping

According to Section 530.B(4), there are exceptions for which greenspace and landscaping requirements do not apply, including "any use, building, or structure for which only a change of use is requested and which requires no structural modifications that increase its volume or scale." The applicant is proposing no changes to the landscaping buffers.

Lighting

According to Section 517.A(2)(d), "all outdoor light fixtures legally installed prior to the adoption of this ordinance may remain unchanged, except that any replacement of the subject light fixtures shall be done in compliance with this article." The applicant is proposing no changes to the existing light fixtures. The site plan shall state that any replacement of existing lighting shall be done in compliance with the Township Zoning Ordinance.

Dumpster Enclosures

A dumpster location has been identified at the rear of the site, but no details of a screening detail have been provided. According to Section 516 of the Zoning Ordinance, if a dumpster is provided, then dumpster location and a screening detail must be provided.

Snow Storage

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Snow storage areas need to be identified.

Other Reviews

The application is subject to additional reviews, including but not limited to the Township Engineer, Grand Traverse County Road Commission, and Metro Fire. Signs are reviewed by the Township Zoning Administrator.

ACTION REQUESTED:

The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. The following motion is offered for the Planning Commission's consideration:

MOTION THAT application SUP-2023-06, submitted by Northview 22, LLC for a Special Use Permit for a retail, industrial primary use at Parcel 05-022-027-15, BE ACCEPTED, and SCHEDULED for a public hearing for the September 13, 2023 regular Planning Commission meeting, subject to the following additional information being provided by the applicant (items 1-7 as indicated in Planning Department Report 2023-98):

- 1. Details of the outdoor display landscaping.
- 2. Revised details of the outdoor storage landscaped screening on the west side are needed.

- 3. Note restriping of the parking spaces.
- 4. Note two bicycle parking spaces with the required details.
- 5. Note that any replacement of existing lighting shall be done in compliance with the Township Zoning Ordinance.
- 6. Note dumpster location and screening details.
- 7. Note snow storage areas in accordance with requirements.

Any additional information the Planning Commission deems necessary should be added to this motion.

Attachments:

- 1. Application dated June 13, 2023
- 2. Narrative and Impact Statement received July 31, 2023
- 3. Site Plan Set dated July 26, 2023



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

New Special Use Permit

Major Amendment

Minor Amendment

Administrative Amendment

PROJECT / DEVELOPMENT NAME

APPLICANT INFORMATION

Name:

Address:

Phone Number:

Email:

AGENT INFORMATION

Name:

Address: 4033 Eastern Sky Dr, Traverse City, MI 49684

Phone Number:

Email:

OWNER INFORMATION

Name:

Address:

Phone Number:

Email:

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Owner:

PROPERTY INFORMATION

Property Address:

Property Identification Number:

Legal Description:

Zoning District:

Master Plan Future Land Use Designation:

Area of Property (acres or square feet):

Existing Use(s):

Proposed Use(s):

PROJECT TIMELINE

Estimated Start Date:

Estimated Completion Date:

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

One original signed application

One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)

Two complete bound 24"x36" paper sets

One digital set (PDF only)

Written Information:

Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)

One digital copy of the Approval Criteria (PDF only)

Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)

One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:ecial use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

Page 3 of 8 SUP - Form Date: March 1, 2021

The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.

Types of uses and other man-made facilities.

The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.

Phasing of the project including ultimate development proposals. n/a

Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.

The method to be used to serve the development with water and sanitary sewer facilities.

The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction. n/a

If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment. n/a

The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights. n/a

An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.

The proposed density in units per acre for residential developments. n/a

Name(s) and address(es) of person(s) responsible for preparation of statement.

Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office. n/a

Yes

Not

Applicable

No

Type, direction, and intensity of outside lighting.

General description of deed restrictions, if any. n/a

ADDITIONAL INFORMATION

If applicable, provide the following further information:

A. Sanitary Sewer Service

1. Does project require extension of public sewer line?

If yes, has a Utility Agreement been prepared?

2. Will a community wastewater system be installed?

If yes, has a Utility Agreement been prepared?

If yes, provide construction plans and specifications

3. Will on-site disposal be used?

If yes, is it depicted on plan?

- B. Water Service
- 1. Does project require extension of public water main?

If yes, has a Utility Agreement been prepared?

2. Will a community water supply be installed?

If yes, has a Utility Agreement been prepared?

If yes, provide construction plans and specifications

C. Public utility easements required?

If yes, show on plan.

- D. Stormwater Review/Soil Erosion
- Soil Erosion Plans approved by Soil Erosion Office?

If so, attach approval letter.

If no, are alternate measures shown?

2. Stormwater Plans approved by Township Engineer?

If so, attach approval letter.

If no, are alternate measures shown?

Note: Alternate measures must be designed and sealed by a registered Engineer.

Page 5 of 8 SUP - Form Date: March 1, 2021

E. Roads and Circulation

- 1. Are interior public streets proposed?
 - If yes, has Road Commission approved (attach letter)?
- 2. Will public streets connect to adjoining properties or future streets?
- 3. Are private roads or interior drives proposed?
- 4. Will private drives connect to adjoining properties service roads?
- 5. Has the Road Commission or MDOT approved curb cuts?

If yes, attach approved permit.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

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 complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working

hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date:

Docusigned by:

Mark Ray

Docusigned by:

Mark Ray

Docusigned by:

Mark Ray

Docusigned by:

Sarah Signature:

Docusigned by:

Mark Ray

Docusigned by:

Docusigned by:

Mark Ray

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Docusigned by:

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Docusigned by:

Mark Ray

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Docus

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OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Mark Ray, Mana	ager of Barker Creek Holdings II, LL	<u>C</u> authorize to make this application on my/our behalf
and to provide any of	my/our personal information necess	sary for the processing of this application. Moreover, this shall be
your good and sufficie	nt <u>authorizati</u> on for so doing.	
Owner Signature:	Mark Ray	
Date:	June 13, 2023	

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

	DocuSigned by:	
Owner Signature:	Mark Ray	
Date:	June 13, 2023	
Applicant Signature:	Edward Ascione	
Date:	Juñe 204 2023	

	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
Α.	Basic Information		
1.	Applicant's name, address, telephone number and signature		
2.	Property owner's name, address, telephone number and signature		
3.	Proof of property ownership		
4.	Whether there are any options or liens on the property		
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's		
	agent		
3.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
7.	A vicinity map showing the area and road network surrounding the property		
3.	Name, address and phone number of the preparer of the site plan		
9.	Project title or name of the proposed development		
10.	Statement of proposed use of land, project completion schedule, any proposed development phasing		
11.	Land uses and zoning classification on the subject parcel and adjoining parcels		
12.	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		
2	Site Plan Information		
). .	North arrow, scale, and date of original submittal and last revision		
2.	Boundary dimensions of natural features		
<u>2.</u> 3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%),		
ο.			
	beach, drainage, and similar features		
ł. -	Proposed alterations to topography and other natural features		
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
). 	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		
3.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals,		
٥.	salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county,		
	state or federal government authorities		
9.	Proposed finish floor and grade line elevations of any structures		
٥.	*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.	*	
10.	Existing and proposed driveways, including parking areas		
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		
	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared		
12.	, , , , , , , , , , , , , , , , , , , ,		
12	parking areas		
	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		
4.	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		
5.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
17.			
18.	***		
19.	Location, specifications, and access to a water supply in the event of a fire emergency		
20.			
	wastewater lines, clean out locations, connection points and treatment systems		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV,		
	telephone and steam		
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
23.	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
2/1			
<u>.</u> 4.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences,		
) E	walls, trash receptacle screening, and other screening features with cross sections shown		
۷Э.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as its twicel size by		
	is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by		
20	general location or range of sizes as appropriate		
۷٥.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		
	and on the natural environment on and adjacent to the site)		

Page 8 of 8 SUP - Form Date: March 1, 2021

Received by Township 7/31/2023

Portable Storage Solutions

2550 Cass Rd, Traverse City

Zoning: I- G General Industrial

Uses Permitted by Special Use Permit: Retail, Industrial Primary (770)

Section 423

E. Approval Criteria

A special use is permitted only if the applicant demonstrates that:

- (1) The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;
 - a. As identified in the current Master Plan and in this ordinance, this area has been consistently Industrial in use and anticipates continuation of this use in the future. Zoning districts in the Industrial use include zoning districts of I-G and I-L (Garfield Township Master Plan 2018, page 36). This parcel is zoned I-G.
- (2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
 - a. The proposed change in use to <u>Industrial Primary, Retail</u> is located solidly in the midst of I-G Industrial businesses, including Contractor's Establishments, Light Manufacturing, Warehouse/Distribution Centers. The proposed use is consistent and similar to surrounding and adjacent properties.
- (3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
 - a. This parcel and existing structures were used as an active sales, shipping and distribution center. The proposed use has a lesser impact and does not anticipate any activities that would be excessive in any of the reasons listed above.
- (4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
 - a. The proposed change in use for the new business located on this parcel has adopted all existing site features, including existing parking, buildings and fencing. External display spaces adjacent to the front of the building and proposed fence line do not have any adverse affects.
- (5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
 - a. Existing natural features and vegetation are to remain with this proposed change in use.

- (6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
 - a. This change in use will not require additional infrastructure uses and is consistent with the former use conducted on this parcel.
- (7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - a. Proposed use is located within the I-G district and has less impact than many surrounding uses in this district. Outdoor product for sale is fenced for screening and safety and a small display area does not present any detrimental affects.
- (8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
 - a. Public interest and welfare are benefitted by the adaptive reuse of an industrial use and design parcel that could become a blight; the applicant is providing a use in an area suited for this project. Further, the greater community is benefitted- the containers are provided
- (9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads; Charter Township of Garfield Zoning Ordinance Article 4, Page 4-24
 - a. This parcel is already designed for ingress and egress from its former business. No proposed changes are required or necessary for the change in use.
- (10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
 - a. The former business designed the vehicular circulation to be contained within the property and not impeded Cass Road or pedestrians that may be using that street.
- (11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.
 - a. The surrounding parcels are already developed and currently used in similar fashion.

Section 424

- F. Review Standards
- (1) Standards for Approval Site Plan or Site Development

An administrative site plan or site development plan shall conform to all provisions of this ordinance and to the following site development standards which shall be reflected on the plan:

(a) Required Information. All required information shall be provided.

Response: See information provided in submittal.

(b) Outside Agencies. All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.

Response: The applicant is not proposing any construction to occur on the site, which negates the necessary reviews by outside agencies.

- (c) Essential Facilities and Services. Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
 - Response: The property has already been served adequately by these services; the proposed change of use does not increase demand on any of these services.
- (d) Natural Features. Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.

Response: No proposed changes in design. The applicant is preserving all natural buffers and is not creating any disturbance to the surroundings.

(e) Site Design. All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.

Response: Not applicable. No proposed changes in design.

(f) Orientation. Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.

Response: Not applicable. No proposed changes in design.

(g) Vehicle and Pedestrian Systems. The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which Charter Township of Garfield Zoning Ordinance Article 4, Page 4-31 connect and serve adjacent development shall be designed appropriately to carry the projected traffic.

Response: Applicant is reusing the existing vehicular patterns, which are all contained within the property.

(h) Shared Drives. Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.

Response: Not applicable. No proposed changes in design.

(i) Impervious Surfaces. The amount of impervious surface has been limited on the site to the extent practical.

Response: Not applicable. No proposed changes in design.

(j) Master Plan. The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

Response: This parcel is located within the I-G district which has been identified by Garfield Township Master Plan 2018 as the most compatible zoning district for Industrial Use:

INDUSTRIAL

The intent of the industrial areas is to remain primarily industrial in nature while allowing a limited number of non-industrial uses that are envisioned as accessory or complimentary to existing and future industrial uses of the districts. Non-industrial uses of property within these districts are subject to industrial impacts from adjacent parcels including, but not limited to, noise, dust, and vibrations.

Please see the zoning plan for additional information.

Most compatible zoning districts: I-G/I-L

Potentially compatible zoning district: C-L

Impact Assessment

2550 Cass Road is an existing development that previously housed Pepsi Bottling Group. The 4.13 acre site contains two existing structures that were used by Pepsi, along with a fenced storage area to the sides and rear of the property.

The parcel is bordered by Cass Road and surrounded by Industrial zoned parcels. Miller Creek is located on the south end of the parcel (see ALTA survey), which is also part of the Cass Road Drain, with a 50' easement in place. The creek and buffer is heavily vegetated and will remain so. The site also has existing vegetation (street trees and shrubs) along Cass Road.

This proposed Special Use Permit request is for a Change in Use, to allow for the proposed uses by Portable Storage Solutions. No change in intensity, site utilization, number of employees, or change in the structures or infrastructure is proposed. The site is currently served by sewer and water- this proposed use will not increase the expected demand on these systems.

Lighting is existing and consistent with the neighboring parcels.

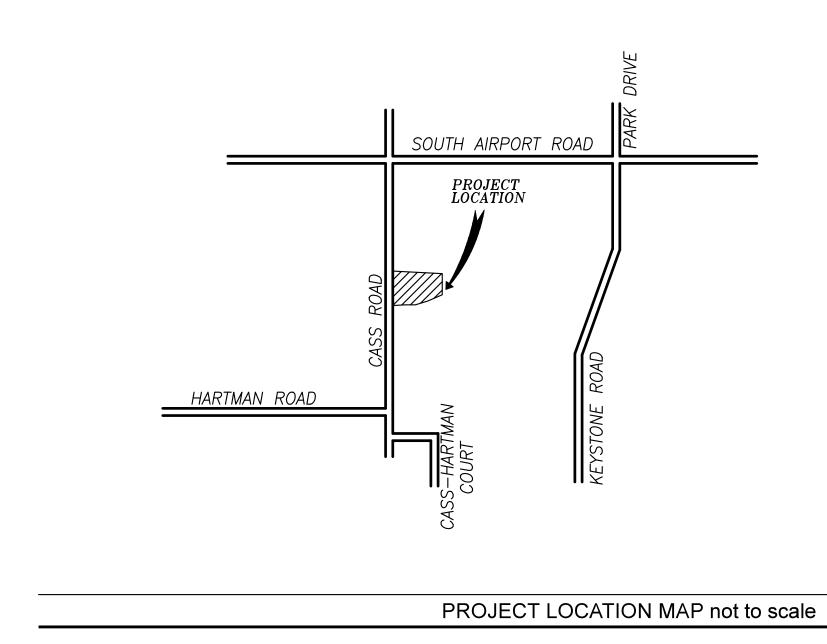
Consistent with prior use, truck access and maneuverability are necessary in the front yard of the site. The existing building has a truck dock on the front elevation and will continue to support truck access for shipping and receiving.

The area is zoned Industrial (I-G and I-L) and this use, Retail, Industrial Primary (770), is compatible within the district and similar in every aspect to the neighboring businesses.

Prepared by: Northview 22, LLC

9908 E Walters Dr. Traverse City, MI 49684

SCALE: 1" = 50'



SOLUTIONS

PORTABLE STORAGE SPECIAL USE PERMIT

PROJECT NO.:

2023-106

COVER

SHEET TITLE SHEET C1.0 COVER

C1.1 SITE PLAN

Portable Storage Solutions is the current owner of the former Pepsi Bottling Group facility located on Cass Rd. P.S.S. provide large scale containers for portable storage rentals and mobile offices at job sites. The adaptive reuse of the existing facility and site at 2550 Cass Road provides space for the outfitting of the containers, existing paved surfaces for product, and a display area for up to 2 containers.

No site changes are proposed, with exception of a fence extension on the north side of the exisitng building. No phasing or additional plans are in place for this site at this

LEGAL DESCRIPTION— AS FURNISHED:

That part of the Southeast quarter of Section 33, Township 28 North, Range 11 West, described as:

Commencing at the South one—quarter corner of said Section 33; thence North 00°53'43" East, along the North & South one—quarter line of said section, 516.05 feet; thence

South 89°37'16" East, 36.04 feet to the Point of Beginning; thence continuing South 89°37'16" East, 493.23 feet to the centerline of the abandoned M & NE Railroad; thence 275.46 feet along said railroad centerline on the arc of a 2663.21

foot radius curve to the right, the Long Chord of which

bears North 00°23'15" East, 275.34 feet; thence North 88°04'07" West, 232.44 feet; thence North 01°46'19" East

131.76 feet; thence North 89°35'39" West, 262.84 feet;

thence South 00°36'57" West 413.49 feet to the Point of Beginning.
4.13 acres, more or less.

LEGAL DESCRIPTION

JOZWIAK PROFESSIONAL ENGINEER JOZWIAK CONSULTING, INC.

ENGINEERS SEAL

PROPERTY OWNER/SITE DATA PORTABLE STORAGE SOLUTIONS 2550 CASS RD. TRAVERSE CITY, MI 49684

Parcel ID: 28-05-022-027-15

Zoning: I-G GENERAL INDUSTRIAL

Setbacks: Front- 40' Side-15'

SCOTT JOZWIAK, PE 231-218-1201

Rear- 20'

Industrial: 5 plus 1 for every 1 1/2 employees in the largest working shift

Employees: 8 Required: 17

Provided: 17 (plus additional in fenced storage area)

Topographic and boundary survey provided by Gourdie Fraser, Inc. File no. 19084.

SITE DATA

SHEET INDEX

NARRATIVE

OVERALL SITE

PROFESSIONAL ENGINEER:

SIGNS ARE SUBJECT TO SIGN PERMIT REVIEW.

/ DECIDUOUS TREE - PRUNE BACK 1/4" ON-SITE SPRAY WITH ANTIDESICCANT ACCORDING TO MANUFACTURER'S INSTRUCTIONS — IF FOILAGE IS PRESENT, DOUBLE STRAND OF 10 GUAGE GARDEN HOSE GALAVANIZED WIRE TWISTED. / 2-1/2" DIA.-10' LONG CEDAR STAKE WITH NOTCHED END (7' EXPOSED) - 2 PER TREE 3 GUYS OF 10 GAUGE TWISTED WIRE 120° FOLD BACK BURLAP FROM TO OF BALL APART - AROUND TURNBUCKLE / BACKFILL WITH TOPSOIL AND PEAT MOSS 3:1 RATIO BY VOLUME IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. 4" SOIL SAUCER > 24" X 2" X 2" STAKE DRIVEN \ FLUSH WITH FINISHED GRADE. DECIDUOUS TREES OVER 1" CAL. WITH BURLAP OR ASPHALTIC KRINKLE NOTE: FOR EVERGREEN TREES, GROUND LINE TO BE THE SAME AS EXISTED AT THE NURSERY 6" (PLANTS UP TO 4' HEIGHT) 8" (PLANTS OVER 4' HEIGHT) EQUALS TWICE BALL DIAMETER EQUALS TWICE BALL DIAMETER EVERGREEN TREE DECIDUOUS TREE

PLANTING DETAIL- TREES AND SHRUBS

KEY SCIENTIFIC NAME COMMON NAME SIZE THUJA ACCIDENTALIS CEDAR, NORTHERN WHITE 5 GAL

PLANT SCHEDULE

FENCE DETAIL

CHAIN LINK FENCE -Know what's below.

Call before you dig.

SOLUTIONS ORTABLE STORAGE
PECIAL USE PERMIT

PROJECT NO.:

2023-106

SITE PLAN

Charter Township of Garfield Planning Department Report No. 2022-99			
Prepared:	August 2, 2023	Pages: 5	
Meeting:	August 9, 2023 Planning Commission	Attachments:	
Subject:	Sign Application for Cherryland Center		
File No.	SPR 2022-22-A	Parcel No. 05-014-049-20	
Applicant:	Traverse City Retail Management VI, LLC		
Agent:	Rachel Miller		
Owner:	Traverse City Curling Club, LLC		

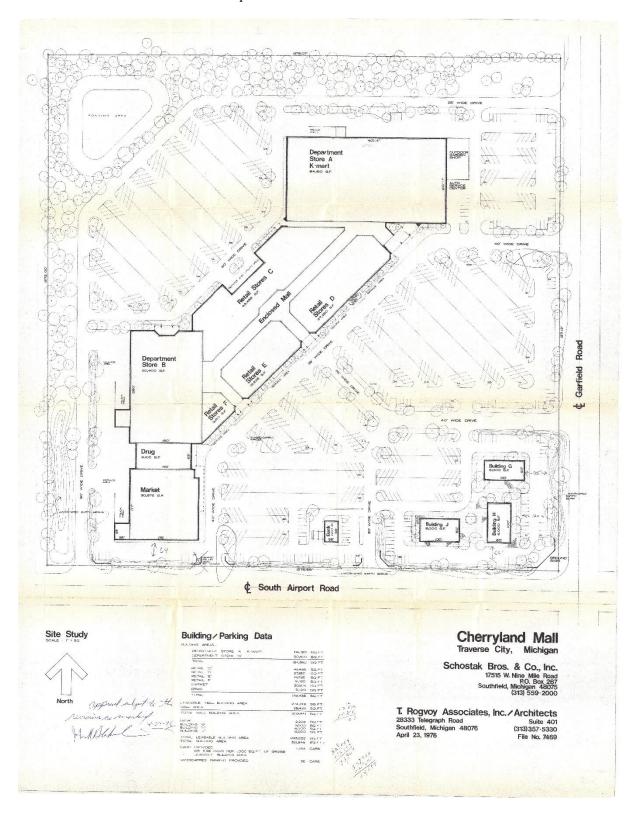
BACKGROUND:

Several parcels zoned C-P Planned Shopping Center constitute the Cherryland Center. The intent of the C-P District is for the development of planned centers located on a single, unified site and are designed and constructed as an integrated unit for shopping and other business activity.

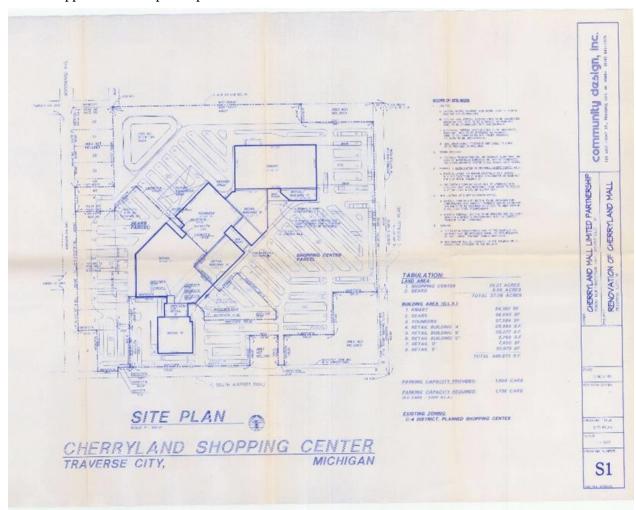
The current zoning of the C-P Planned Shopping Center District for this area matches the Cherryland Center site as illustrated below:



Opened in 1976, the Cherryland Mall (now Cherryland Center) was approved as a single development that includes several parcels and businesses. The Cherryland site boundary was enlarged to the west towards Woodward Avenue in 1980 with the expansion of the Sears store.



Over the years, management of uses and development on this site has been in a cohesive manner, including the conversion of the original enclosed shopping mall to a strip center approved by the Township in 1998. The last approved development plan is below:



SITE PLAN APPROVALS:

A chronology of site plan approvals for Cherryland Mall/Center are as follows:

Site Plan	Approval Date
Cherryland Mall Site Plan	December 6, 1976
Great Lakes Steak House Site Plan (now Margaritas Grill Mexican Restaurant)	June 20, 1978
Sears Building Expansion Site Plan (including Cherryland boundary expansion towards Woodward Avenue)	December 16, 1980
Burger King Site Plan	October 30, 1984
Conversion from Cherryland Mall to Cherryland Center Site Plan	December 8, 1998
Wendy's Site Plan	July 8, 2020
Burger King Renovation Site Plan	March 24, 2021
Biggby Coffee Site Plan	November 10, 2021
7Brew Site Plan	July 13, 2022

OWNERSHIP:

Today, current ownership for the Cherryland Center is illustrated in the attached Cherryland Center Property Ownership map.

STAFF COMMENTS:

- Pursuant to Section 630.R.5. of the Zoning Ordinance, "the Zoning Administrator shall retain the
 right to forward any sign permit applications to the Planning Commission for their review and
 approval." The Zoning Administrator has referred this application to the Planning Commission for
 review.
- Historically, Cherryland and other Planned Shopping Centers were permitted to have one freestanding "development" sign at one entrance on each roadway. Cherryland had two development signs: one on Garfield Avenue and one on South Airport Road. The sign on Garfield Avenue fell into disrepair and was removed. The sign on South Airport Road remains in place. A retail signage plan was adopted for wall signage in the Cherryland Center in 1999 but does not address freestanding individual business signs or development signs.
- Currently, for commercial uses in the C-P Planned Shopping Center district, one (1) freestanding monument sign is permitted at each roadway entrance to the development at a maximum of 40 square feet per sign with a maximum of two (2) signs per roadway frontage. Since there is more than 50,000 square feet of retail space at Cherryland Center, one of the two permitted freestanding signs per roadway frontage may have a maximum of 100 square feet. This provision would allow one 100 square foot freestanding sign on Garfield Avenue and one 100 square foot freestanding sign on West South Airport Road.
- The concept of the shopping center or development sign is also applied to shopping centers in other Commercial districts. In the C-L, C-G, and C-H Districts, a shopping center sign "shall identify the commercial center and/or individual tenants within a multi-tenant commercial center. Individual ground signs for tenants are prohibited." The spirit of the Zoning Ordinance anticipates that shopping centers will have a development sign and not individual business signs.
- The majority owners within the Cherryland Center comprised of Traverse City Curling Club Inc (former Kmart), Traverse Entertainment Group LLC (former Sears), and Cherryland Center LLC (former Younkers and current Big Lots with several smaller units) maintain a reciprocal easement agreement that affords each of them certain rights in developing and operating their site. However, as noted in the site plan above, the C-P district covers a larger area that composes the original Cherryland site plan.
- The proposed application is for an 80-square foot freestanding sign to be located at the southeast corner of Garfield Avenue and the driveway entrance with the traffic signal. The sign would accommodate a group of businesses. However, there is no indication which businesses or property owners would be able to use the sign and it is not part of a comprehensive development plan for Cherryland Center.
- Pursuant to Section 322.D(1) of the Zoning Ordinance, "a comprehensive development plan may be required for the entire center to establish an approved development pattern within the District." Such a plan for the Cherryland Center was last updated in 1998. A site development plan, as noted in Section 956 of the Zoning Ordinance, states that a "sign plan including the location, size and specifications of all signs and advertising features, including cross sections," be required.
- At this point, there is no provision to have freestanding signs in the Cherryland Center for an individual business or small group of businesses as requested. The correct action to address the issue of signage at the Cherryland Center is to update the "comprehensive development plan" and include a sign plan. Both development and sign plans would cover the entire site as shown above and engage all the property and/or business owners.

ACTION REQUESTED:

Following an opportunity for discussion, the following motion is offered for consideration:

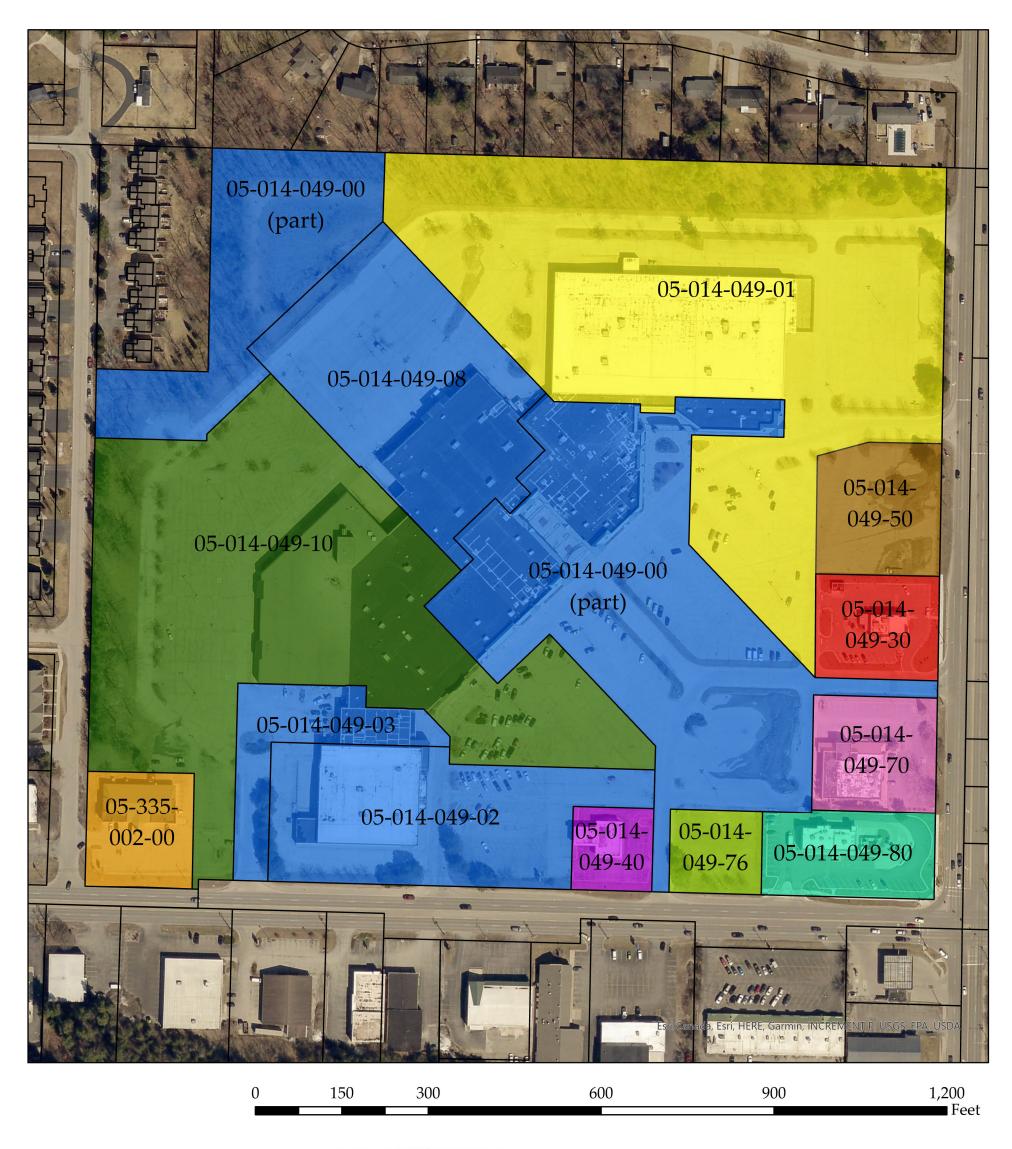
MOTION THAT application SPR 2022-22-A, submitted by Traverse City Retail Management VI, LLC for a Sign Permit for freestanding sign at the Cherryland Center BE DENIED as freestanding signs for individual businesses in the Cherryland Center shopping center development are not permitted in accordance with the Zoning Ordinance.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

- 1. Cherryland Center Property Ownership map (June 27, 2023)
- 2. Sign Application

Cherryland Center Property Ownership



Charter Township of Garfield

3848 Veterans Drive Traverse City, MI 49684 Phone: 231.941.1620

Fax: 231.941.1688



NOT A LEGAL SURVEY

This map is based on digital databases prepared by the Charter Township of Garfield. The Township does not warrant, expressly or impliedly, or accept any responsibility for any errors, omissions, or that the information contained in the map or the digital databases is currently or positionally accurate.

Cherryland Center Ownership

Property Owners

Casciano (Burger King)

V. Kumar Vemulapalli

Traverse City Curling Center

Traverse City Curling Center Future Outlot

Copper Falls (Margaritas Grill)

Family Viedo (Jimmy John's / Qdoba)

7Brew

Biggby Coffee

C. Walls (K1 Indoor Kart Racing)

Wendy's

Printed: 6/27/2023 11:15 AM



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588



PLANNED DEVELOPMENT (PD) PLANNED SHOPPING CENTER (PSC) SIGN APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

<u>ACTIO</u>	N REQUESTED					
	Planned Unit Development Sign Review					
V	Planned Shopping Ce	enter Sign Review				
PROJE	CT / DEVELOPMENT	NAME				
	Cherryland Center					
APPLIC	APPLICANT INFORMATION					
	Name:	Traverse City Retail Management VI LLC				
Address:		30200 Telegraph Rd., Bingham Farms MI 48025				
	Phone Number:	248-909-7072				
	Email:	permits@alrigusa.com				
AGENT	[INFORMATION					
	Name:	Rachel Miller				
	Address: 30200 Telegraph Rd., Bingham Farms MI 48025					
	Phone Number:	248-909-7072				
	Email:	rachel@alrigusa.com				
OWNE	R INFORMATION					
	Name:	Traverse City Curling Club, ATN Kevin Byrne				
	Address:	PO Box 2245 Traverse City, MI 49685				
	Phone Number:					
	Fmail [.]	kevintbyrne@gmail.com				

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Rachel Miller, permits@alrigusa.com

Rachel Miller, rachel@alrigusa.com

Kevin Byrne

PROPERTY INFORMATION

Property Address: 1712 S Garfield Ave., Garfield Twp, MI

Property Identification Number: 28-05-014-049-50

Legal Description: Parcel A of attached certificate of approval - Land division

PLANNED SHOPPING DISTRICT (C-P)

Master Plan Future Land Use Designation: PLANNED SHOPPING DISTRICT (C-P)

Area of Property (acres or square feet): 1.09 AC

Existing Use(s): Surface Parking Lot

Proposed Use(s): Multi-Tenant mixed use development

SIGN REQUIREMENTS

Refer to Section 630 of the Zoning Ordinance for sign requirements.

REQUIRED SUBMITTAL ITEMS

A complete application for a Planned Unit Development Sign Review or a Planned Shopping Center Sign Review consists of the following:

Application Form:

One original signed application

One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

☑ Fee

Site Diagram:

Ten complete stapled 11"x17" paper sets

One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

SITE DIAGRAM

Check that your site plan includes all required elements for a Site Diagram (SD). Please use the Required Site Plan Elements Checklist below

SIGN INVENTORY

List all existing signs located on the property, including type, sign face area, illumination, height, and location in a written table and on the Site Diagram.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- All proposed signs within a Planned Shopping Center Commercial District or a Planned Unit Development shall be submitted to the Planning Commission for final review and approval.
- The Planning Commission may approve, approve with conditions, or deny the proposed sign.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:
Applicant Signature:
Agent Signature:

OWNER'S AUTHORIZATION

Date:

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

INVex Kevint Byrre	_ authorize to make this application on my/our behalt
and to provide any of my/our personal information necessary for the	e processing of this application. Moreover, this shall be
your good and sufficient authorization for so doing.	
Owner Signature: X Kar Parc /	

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:	X Lat Rigin	
Date:	6-26-2623	
Applicant Signature:	88	
Date:	6/22/2023	

	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
Α. Ι	Basic Information		
1.	Applicant's name, address, telephone number and signature	Ø	
2.	Property owner's name, address, telephone number and signature	12	
3.	Proof of property ownership	Ø	
4.	Whether there are any options or liens on the property	Ď D	
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	Ø	
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	ø	
7.	A vicinity map showing the area and road network surrounding the property		
8.	Name, address and phone number of the preparer of the site plan	d	
9.	Project title or name of the proposed development	Ø.	<u> </u>
10.	Statement of proposed use of land, project completion schedule, any proposed development phasing	7	
11.	Land uses and zoning classification on the subject parcel and adjoining parcels	Z	
	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as	Z	
	their name, address and telephone number		
	Site Plan Information	-	
1.	North arrow, scale, and date of original submittal and last revision	Ø	
2.	Boundary dimensions of natural features		
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%),		
	beach, drainage, and similar features		
4	Proposed alterations to topography and other natural features		
5	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	Ø	
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing		
	structures		
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities	311	
9.	Proposed finish floor and grade line elevations of any structures		
э.	*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.	Z *	
10.	Existing and proposed driveways, including parking areas	10	
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		
	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared		
	parking areas	Ø	
	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		
14.	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features		
	within and adjacent to the site		
15.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
17.	Location of water supply lines and/or wells	<u>A</u>	
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems	Ø	
19.	Location, specifications, and access to a water supply in the event of a fire emergency		
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
24.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences,		
25.	walls, trash receptacle screening, and other screening features with cross sections shown A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by		
	general location or range of sizes as appropriate Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities,		
76	statements regarding the project impacts on existing initiatia state (including traine capacity, solicolo, and existing datales,		



To Whom it may concern:

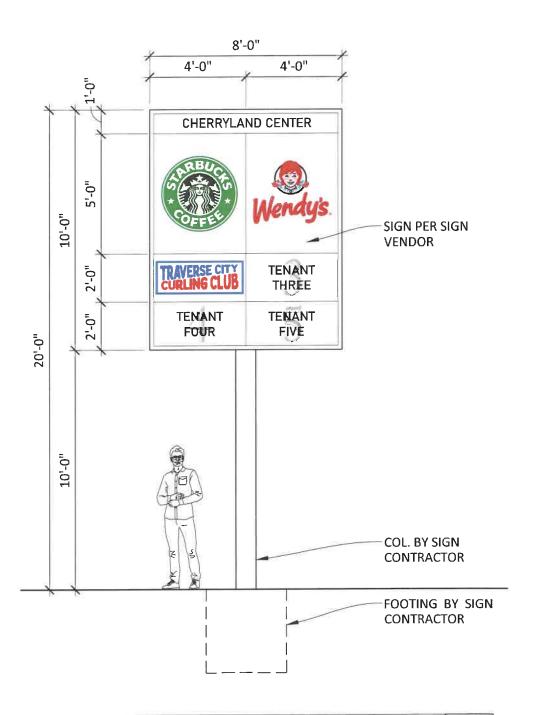
The proposed out-lot project at 1712 S Garfield Ave., Garfield TWP MI will be a mixed used multi-tenant retail center. Prospective tenants include national coffee/café users, bank branches and restaurant groups. This project is to be completed with one phase of construction. The shell building construction schedule is an August start and completion by spring 2024. Tenants are expected to be open for business starting Summer 2024.

Rachel Delaney (Miller)
DIRECTOR OF ACQUISITIONS



30200 Telegraph Rd | Suite 205 Bingham Farms, MI 48025 O: (248) 646.9999 x3004

C: (248) 909.7072 D: (248) 712.1064 www.alrigusa.com



PYLON SIGN

SCALE: 1/4" = 1'-0"

1

MULTI-TENANT SHELL BUILDING

1712 S. GARFIELD AVE. TRAVERSE CITY, MI 49686

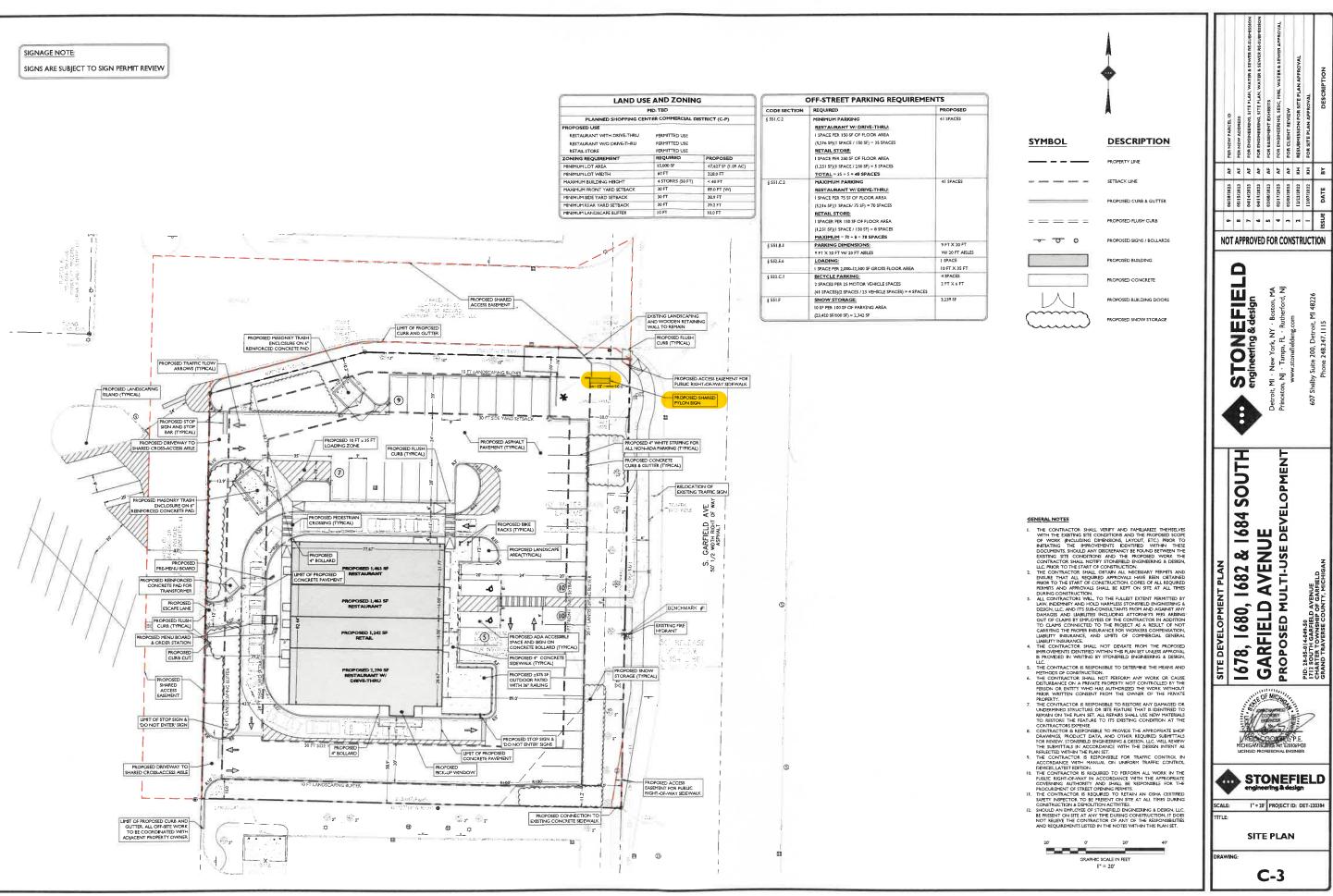


1644 Ford Avenue Wyandotte, MI 48192 734.556.3259 O. www.detroitarch.com JOB#

22-132

SHEET#

SIGN-1



Charter Township of Garfield Planning Department Report No. 2023-100					
Prepared:	August 3, 2023	Pages:	1		
Meeting:	August 9, 2023 Planning Commission	Attachments:	\boxtimes		
Subject:	3566 N US 31 South – Site Plan Withdrawal				
Applicant:	Garfield Retail Management LLC				
Agent:	nt: Stonefield Engineering & Design LLC				
Owner:	Garfield Retail Management LLC				
File No.	SPR-2022-05				
Parcel No.	05-016-016-65				

BACKGROUND:

At its meeting on June 8, 2022, the Planning Commission approved a site plan with conditions submitted by Garfield Retail Management LLC/Alrig USA Acquisitions, LLC for 3566 N US 31 South. The site is on US 31 near the intersection with Franke Road. The site contains a vacant building and was formerly a part of the Price Point/Bill Marsh automobile dealership. The approved development was for a multi-tenant building with spaces for a drive-through restaurant, retail store, and restaurant. The parcel is approximately 2 acres.

The applicant had been working to address the conditions of the approval and obtain a land use permit. Subsequently, we received correspondence from the attorney for the owner of the subject parcel that the purchase agreement had been cancelled. See attached correspondence.

We have since received correspondence from the attorney for Alrig USA Acquisitions, LLC that Alrig rescinds its site plan application. See attached correspondence.

RECOMMENDATION:

This item is placed on the Planning Commission agenda to formally accept withdrawal of the application. The following motion is suggested:

MOTION THAT the WITHDRAWAL of site plan application SPR-2022-05, by Garfield Retail Management LLC/Alrig USA Acquisitions, LLC for 3566 N US 31 South, BE ACCEPTED.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

- 1. Letter dated July 21, 2023 from Gregory M. Luyt, Bowerman, Ford, Clulo & Luyt, PC
- 2. Letter dated August 3, 2023 from Adam D. Grant, Dickinson Wright PLLC

BOWERMAN, FORD, CLULO & LUYT, P.C.

Attorneys and Counselors at Law 620-A Woodmere Traverse City, Michigan 49686 (231) 941-8048 FAX (231) 941-8192

Gary L. Bowerman# Gary M. Ford# Timothy J. Clulo# Gregory M. Luyt* Cynthia A. Anderson* Diane K. Huff * Catherine B. Ballard# Julius S. Moss Also Admitted in:

#Illinois

Pennsylvania

*Of counsel

#Of counsel - retired

July 21, 2023

Garfield Township Planning Department Attn: Mr. John Sych, Planning Director Via E-mail Only - jsych@garfield-twp.com

Re:

3566 N US 31 South, Traverse City

Garfield Township, Grand Traverse County

Dear Mr. Sych:

This firm represents Marsh 31 Development, LLC ("Marsh 31"), the owner of the property located at 3566 N. US 31 South, Traverse City, Michigan (the "Property"). Marsh 31 previously entered into a purchase agreement for the sale of the Property to Alrig USA Acquisitions, LLC ("Alrig"). It is my understanding that after execution of that purchase agreement, Alrig submitted to the Garfield Township Planning Department an application for site plan approval related to the Property.

Be advised that the purchase agreement between Marsh 31 and Alrig has been terminated, and Marsh 31 has entered into a purchase agreement with another purchaser. I understand that the fact that the Alrig application for site plan approval has not been formally withdrawn may be delaying consideration of an inquiry and/or application that has been submitted to the Garfield Township Planning Department by the new buyer. Given the termination of the purchase agreement between Marsh 31 and Alrig, there is no further need to consider the prior Alrig application.

If you have any questions or concerns, or if you need anything further from me to facilitate review of the new buyer's inquiry/application, please advise.

Very truly yours,

Gregory\M. Luyt

GML/

cc:

Marsh 31 Development, LLC (via e-mail only)



1626 WAZEE STREET, SUITE 200

DENVER, CO 80202 TELEPHONE: 303-723-8400 FACSIMILE: 844-670-6009 http://www.dickinsonwright.com

ADAM D. GRANT AGrant@dickinsonwright.com 313-223-3149

August 3, 2023

VIA E-MAIL

John Sych Planning Director Garfield Township, Planning Dept. 3848 Veterans Drive Traverse City, MI 49684

Re: 3566 N US 31 South, Traverse City

Dear Mr. Sych:

This Firm represents Alrig USA Acquisitions, LLC ("Alrig"). Alrig is currently engaged in litigation with Marsh 31 Development, LLC ("Marsh 31") regarding real property located at 3566 N. US 31 South, Traverse City (the "Property").

Please be advised that Alrig hereby rescinds its submission to the Planning Commission for development of the Property. While Alrig intends to vigorously pursue its contractual rights to recover escrowed funds from Marsh 31, Alrig is not moving forward with development of the Property at this time in light of the ongoing litigation with Marsh 31.

Please confirm receipt and please let me know if you need anything further from Alrig with respect to this matter.

Respectfully submitted,

adam Grant

Adam D. Grant

ADG:adg

cc: Gregory M. Luyt