# CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING

Wednesday, July 12, 2023 at 7:00 pm Garfield Township Hall 3848 Veterans Drive Traverse City, MI 49684 Ph: (231) 941-1620

AGENDA

### **ORDER OF BUSINESS**

Call meeting to order
Pledge of Allegiance
Roll call of Board Members

### 1. Public Comment

### **Public Comment Guidelines:**

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

### 2. Review and Approval of the Agenda – Conflict of Interest

**3.** Minutes – June 28, 2023

### 4. Correspondence

### 5. Reports

- a. Township Board
- b. Planning Commissioners
  - i. Zoning Board of Appeals
  - ii. Parks and Recreation Commission
  - iii. Joint Planning Commission
- c. Staff Report
  - i. PD 2023-80 Planning Department Monthly Report July 2023

### 6. <u>Unfinished Business</u>

- a. PD 2023-83 Village at Garfield Special Use Permit Public Hearing
- b. PD 2023-84 716 Boon Street Special Use Permit Public Hearing
- c. PD 2023-85 Birmley Meadows Site Condominium Findings of Fact
- d. PD 2023-86 Ridge45 Phase I-III and Phase IV SUP Amendments Findings of Fact

### 7. New Business

a. PD 2023-82 - Bish's RV - Site Plan Review and Access Review

### 8. Public Comment

### 9. Other Business

### 10. Items for Next Agenda - July 26, 2023

- a. Master Plan Nodes, Districts, and Corridors
- b. Master Plan Community Engagement / Debrief from First Pop-Up Event
- c. Zoning Ordinance R-2 / R-3 Zoning Districts Discussion

### 11. Adjournment

Joe Robertson, Secretary Garfield Township Planning Commission 3848 Veterans Drive Traverse City, MI 49684

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

# CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING June 28, 2023

<u>Call Meeting to Order:</u> Chair Racine called the June 28, 2023 Planning Commission meeting to order at 7:00pm at the Garfield Township Hall.

### Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

### **Roll Call of Commission Members:**

Present: Molly Agostinelli, Pat Cline, Joe McManus, Chris DeGood, Joe Robertson, John Racine and Robert Fudge

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

### 1. Public Comment (7:01)

None

### 2. Review and Approval of the Agenda – Conflict of Interest (7:01)

Sych added Changes to R2 and R3 Zoning Districts under Agenda item #9. McManus moved and DeGood seconded to approve the agenda as presented.

Yeas: McManus, DeGood, Fudge, Agostinelli, Robertson, Cline, Racine

Nays: None

### 3. <u>Minutes (7:02)</u>

### a. June 14, 2023 Regular Meeting

Fudge moved and Robertson seconded to approve the June 14, 2023 Regular Meeting minutes as amended fixing the spelling error of a name in item 1 - Public Comment to "Bauer."

Yeas: Fudge, Robertson, McManus, Cline, DeGood, Agostinelli, Racine

Nays: None

### 4. Correspondence (7:04)

There was no correspondence.

### 5. Reports (7:04)

### **Township Board Report**

Agostinelli had no report.

### **Planning Commissioners**

### i. Zoning Board of Appeals

Fudge had no report.

### ii. Parks and Recreation Commission

DeGood said ongoing work is being done on the trails at the Commons and grant applications have been submitted. Hannon added that a DNR grant visit regarding was rescheduled and another mountain bike subcommittee meeting took place.

### iii. Joint Planning Commission

McManus stated that there will be a new member on the Joint Planning Commission.

### Staff Report

Hannon stated that the Hickory properties rezoning has taken effect and a new Township zoning map is on commissioner's desks.

### 6. Unfinished Business (7:07)

# a. PD 2023-75 Master Plan – Housing, Economic Development and Public Safety (7:07)

Sych reviewed the drafts of the Housing, Economic Development and Public Safety portions of the Master Plan. Hannon mentioned that various maps will be incorporated into the Master Plan. Sych referenced the Township Strategic Plan which states that a goal of the township was to increase availability for various types of housing and be able to give options and opportunities to residents. Commissioners discussed ADU's, housing by right, starter homes and other types of housing. Sych reviewed the seven housing objectives and commissioners discussed the objectives.

Sych talked about economic development in the township and reviewed the three objectives which included quality of place, physical appearance of business districts and retention for businesses. Commissioners discussed the reuse of buildings in the township.

Public Safety within the community was found to be important to residents. Resilience scores and natural hazard mitigation were also discussed. Sych reviewed the goals and objectives of Public Safety with commissioners.

# b. PD 2023-76 – Master Plan – Community Engagement Update/Proposed 1<sup>st</sup> Pop-Up Event (7:49)

Sych stated that one pop-up event is scheduled to gain some feedback from the public on the proposed Master Plan. A Visual Preference Survey will be done since it is an easy way to get feedback on types of developments people would like to see in the township and such a survey also increases awareness about the Master Plan. Sych showed pictures of different types of housing which could be located in the township. Commissioners discussed the proposed event and what facts and opinions could be gathered. Staff will follow up with commissioners with public responses.

### 7. <u>New Business</u> (8:11)

None

### 8. Public Comment (8:11)

None

### 9. Other Business (8:11)

### a. Changes to R-2 and R-3 Zoning Districts

Sych stated that developers and property owners are running into issues with lots located in the R-3 district specifically with lot size requirements. He asked commissioners to consider an amendment to lot width sizes in certain zoning districts. Enough other requirements and standards are in the ordinance which would manage development of a parcel. Commissioners discussed the timing of the potential zoning change and agreed to move forward with changes in the zoning districts at this time.

McManus asked about the Nicolet Bank relandscaping and the proposed single family at Zimmerman and Long Lake Roads.

### 10. Items for Next Agenda – July 12, 2023 (8:31)

- a. Village at Garfield Special Use Permit Public Hearing
- b. 716 Boon Street Special Use Permit Public Hearing Public Hearing
- c. Birmley Meadows Site Condominium Findings of Fact
- d. Ridge 45 Phase I-III Ridge 45 Phase IV SUP Amendments Findings of Fact
- e. Bish's RV Site Plan Review and Access Review

### 11. Adjournment

Fudge moved to adjourn the meeting at 8:33pm.

Joe Robertson, Secretary Garfield Township Planning Commission 3848 Veterans Drive Traverse City, MI 49684 Ref: 1. To consider of application from Brad Oleson for a SUP for amendment of Oleson PUD. Applicant is proposing converting 6,960 sqf of second floor office space into six apartments for multi-family residential use.

- 2. To consider application submitted by Gosling Czubak Engineering service, INC for a SUP for proposed 80- unit multifamily housing development.
- 3. Consideration of application submitted by Jamie Kirschner and Nicole Martin for a proposed new photography studio in existing multi tenet building at 716 boon street.

To Whom It May Concern,

Upon reviewing the above notice, I would like to express my view on the above request. Haggard's Plumbing & Heating is not opposed to the changes of the property and or the request. If a property owner is fortunate enough to have the ability and the resources in this time to either build and or improve their existing property, it would only help the economy continue to grow. It would prove positive for the local, county and state to do all we can to improve and promote in any way possible.

John Haggard

Sincerely,

Haggard's Plumbing & Heating

Charter Township of Garfield Planning Department Report No. 2023-80				
Prepared:	July 5, 2023	Pages:	2	
Meeting:	July 11, 2023 Township Board	Attachments:		
Subject:	Planning Department Monthly Report –	July 2023		

### **PURPOSE:**

Staff provides a monthly report to the Township Board on activities of the Planning Department and the Planning Commission. The presentation of this report also provides a venue for the Township Board to have a dialog with staff about any of the activities or planning-related issues facing the Township.

### **DEVELOPMENTS:**

The Planning Commission is currently conducting the following development review activity:

### Oleson's Food Store - Planned Unit Development Amendment

- Location: 3850 North Long Lake Road, at intersection of North Long Lake and Cedar Run Roads
- Development Description: Proposed amendment to permit six apartments.
- Status: A public hearing is scheduled for the 7/11/2023 Township Board meeting.

### Birmley Meadows - Site Condominium

- Location: North of existing Birmley Hills Estates subdivision, south of Birmley Road
- Development Description: Proposed 26-lot single-family residential site condominium.
- *Status*: A public hearing was held at the 6/14/2023 Planning Commission meeting. Findings of fact will be considered at the 7/12/2023 Planning Commission meeting.

### Ridge45 - Phase I-IV Multi-Family Housing - Special Use Permit Amendment

- Location: Northwest corner of LaFranier and Hammond Roads
- Development Description: Developer is seeking to combine previously approved Ridge45 Phases I-III (400 units) with a revised new plan for Ridge45 Phase IV (196 units) for a total of 596 multi-family housing units. The two existing Special Use Permits will be combined into one Special Use Permit for the entire site, covering all four phases.
- *Status*: A public hearing was held at the 6/14/2023 Planning Commission meeting. Findings of fact will be considered at the 7/12/2023 Planning Commission meeting.

### Professional Photography Studio at 716 Boon Street – Special Use Permit

- Location: 716 Boon Street, between Woodmere Avenue and Barlow Street
- Development Description: Proposed professional photography studio in existing multi-tenant building.
- *Status*: The application was introduced at the 6/14/2023 Planning Commission meeting. A public hearing is scheduled for the 7/12/2023 Planning Commission meeting.

### Village at Garfield – Special Use Permit

- Location: 2051 North Garfield Road, north of Hammond Road
- Development Description: Proposed 80-unit apartment complex.
- *Status*: The application was introduced at the 6/14/2023 Planning Commission meeting. A public hearing is scheduled for the 7/12/2023 Planning Commission meeting.

### Bish's RV - Site Plan Review and Access Review

- Location: 705 N US-31 South at Meadowlane Drive
- Development Description: Proposed business expansion and additional access drive.

• *Status*: The application is under review and is scheduled to be introduced at the 7/12/2023 Planning Commission meeting.

### Portable Storage Solutions – Special Use Permit Review

- Location: 2550 Cass Road, north of Hartman Road
- Development Description: Proposed shipping container sales operation.
- *Status*: The application is under review and may be introduced at the 8/9/2023 Planning Commission meeting.

### **PLANNING:**

Other Planning Department activities include the following:

- For their June study session, the Planning Commission focused on reviewing draft goals and objectives for Housing, Economic Development, and Public Safety to be included in the new Master Plan. Commissioners also continued discussion on proposed the community engagement for the Master Plan in 2023. Staff will facilitate a "pop-up community engagement" event on July 15, 2023 at Silver Lake Recreation Area. For the July study session, the Planning Commission will review development principles and objectives for Nodes, Corridors, and Districts around the Township.
- On June 30, Staff met with key property owners of the Cherryland Center to discuss the combined agreement for stormwater, cross access, and shared parking. Also discussed were signs and updating the comprehensive development plan for the site.
- Staff continues to facilitate the mountain biking subcommittee of the Parks and Recreation Commission to guide implementation of the mountain biking portion of the Commons Natural Area Design Plan. A memorandum of understanding has been developed with the Northern Michigan Mountain Bike Association (NMMBA) to facilitate fundraising for the construction of mountain biking features in accordance with the Design Plan.

### **STAFF**:

John Sych, AICP, Planning Director
Email: jsych@garfield-twp.com

Stephen Hannon, AICP, Deputy Planning Director
Email: shannon@garfield-twp.com

Direct Line: (231) 225-3155 Direct Line: (231) 225-3156

Charter Township of Garfield  Planning Department Report No. 2023-83					
Prepared:	July 5, 2023	Pages: 6			
Meeting:	July 12, 2023 Planning Commission	Attachments:			
Subject:	Village at Garfield Special Use Permit-Public	Hearing			
File No.	SUP-2023-03	Parcel No. 05-023-042-01			
Applicant:	Brian Stadler/Outlook Development, LLC				
Agent:	ent: Andrew Purvis, P.E./Gosling Czubak Engineering Services, Inc.				
Owner:	Brian Stadler/Hammond LDHA LP				

### **BRIEF OVERVIEW:**

• Location: 2051 North Garfield Road, north of Hammond Road

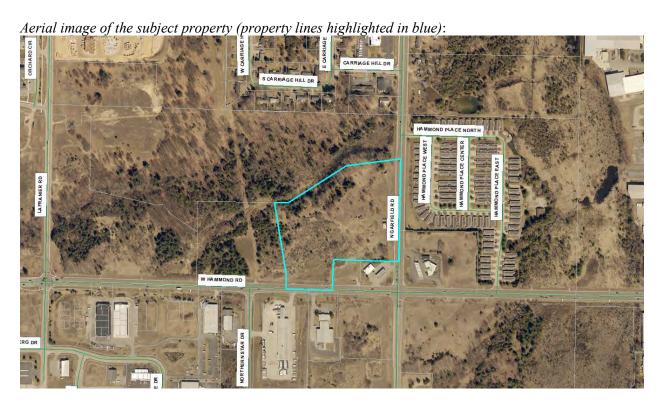
• Parcel area: 13.21 acres

• Existing land use: Undeveloped land

• Existing zoning: R-3 Multi Family Residential

### **PURPOSE OF APPLICATION:**

This application requests approval of a Special Use Permit for a proposed 80-unit multi-family housing development. Multiple family dwellings are permitted via Special Use Permit in the R-3 Multi Family Residential District.



### SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

### Density

With 80 units, the proposed density is 6 units per acre, which exceeds the minimum lot area density of 4,000 square feet per multi-family unit.

### Buildings/Structures

The proposed buildings and structures are as follows:

Building/Structure Type	Number of Units	Number of Buildings/ Structures	Square Feet Each	Total Number of Units	Total Square Feet
2-story apartment building	16 each	5	10,510	80	52,550
Community building/office	n/a	1	4,000	n/a	4,000
Pavilion	n/a	1	1,271	n/a	1,271
			Total	80	57,820

Building elevations have been provided that illustrate building height and façade. Maximum building height in the R-3 District is 3 stories or 40 feet. As presented, proposed buildings meet all height requirements.

Maximum lot coverage or the part of percent of the lot occupied by a building, including accessory buildings is 35%. Proposed lot coverage is 8.9%.

Amenities proposed include a community building, pavilion, two tot lots, and sidewalks.

### Setbacks

The front setback is 25 feet in the R-3 District. Side and rear yards in the R-3 District shall be 20 feet. The proposed buildings and structures meet setback requirements.

### Ingress and Egress

After reviews by the Grand Traverse County Road Commission and Grand Traverse Metro Fire, the site plan was changed to reduce ingress and egress to a single driveway entrance off Garfield Road. No access to Hammond Road is proposed.

### Traffic Impact Report

Pursuant to Section 618, a traffic impact report shall be required for any major development, special use permit, or site plan under the following described conditions:

- (1) A proposed rezoning that could generate 150 or more directional trips during the peak hour or at least 1,000 more trips per day than the most intensive use that could be developed under existing zoning;
- (2) A proposed development that will generate 150 or more directional trips during the peak hour or at least 500 trips per day; or
- (3) A proposed development for a 5-acre or larger site; or
- (4) Upon determination by the Director of Planning, or by the Planning Commission, that a report is necessary to determine needed road improvements or to determine that unsafe or hazardous conditions will not be created by the development as proposed.

The requirements for a traffic impact report may be waived in whole or in part by the Director of Planning, or by the Planning Commission, upon a determination that such report is not necessary to determine needed road improvements or that no unsafe or hazardous conditions will be created by the development as proposed.

The proposed development exceeds 5 acres and is a development expected to generate more than 500 trips per day. An 80-unit apartment complex can expect to generate roughly 560 trips on a weekday. However, the proposed development has access from an existing five-lane roadway. The likelihood of this location warranting additional road improvements is very low. Based on its access and location and the plan for a lower density multi-family residential development, Staff recommends waiving the traffic impact report requirement.

### Parking and Drives

Parking areas for multiple family dwellings have a minimum parking requirement of 1.5 spaces per dwelling unit to a maximum of 2.0 spaces per dwelling unit. A minimum of 120 parking spaces is required and a maximum of 160 parking spaces are permitted. 160 parking spaces are proposed.

Wherever off-street parking is required, a minimum of two bicycle parking spaces are required. For parking areas with greater than twenty-five (25) motor vehicle spaces, bicycle parking shall be provided on a basis of two spaces per twenty-five motor vehicle parking spaces. 13 bicycle parking spaces are required. The site plan proposes 16 bicycle parking spaces.

### Sidewalks

Pursuant to Section 522, the following sidewalks and bike paths are proposed:

- 6-foot-wide concrete sidewalks within the site and along Garfield Road.
- A 10-foot-wide asphalt bike path is proposed for the frontage on Hammond Road.
- A 6-foot-wide concrete sidewalk between the Hammond Road bike path and the multi-family residential buildings on site.

### Wetlands/Environmental Assessment

Wetlands are located along the north side of the development. A 25-foot buffer has been provided as required by the Township. A delineation of the wetlands verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE) needs to be provided.

The applicant has prepared a Phase I and Phase II Environmental Site Assessment (ESA) for the site. Based on AKT Peerless' June 15, 2022, Phase I ESA, the following environmental concerns were identified in connection with the subject property:

- The northeastern portion of the subject property and the northern adjoining property historically operated as an orchard.
- The presence of multiple stored automobiles and automotive repair on the subject property from at least 1974 to at least 1998.
- Two empty unlabeled 55-gallon drums, automotive tires, general refuse, soil mounds, and concrete debris.

Based on the results of AKT Peerless' October 15, 2022, Phase II ESA, no evidence of the presence of contamination was identified. Therefore, no further environmental assessment is currently recommended.

A Soils Report for the site was prepared by Snyder & Staley Engineering, PLC in 2022. The Soils Report concludes that, "We do not anticipate any significant geotechnical problems associated with constructing shallow spread footing foundations for the proposed building as described herein."

### Landscaping - Buffers

Based on Section 531 of the Zoning Ordinance, a Type "C" Buffer is required along all boundaries of the subject site. Type "C" Buffer includes ground cover as specified in Section 530.J, plus 3 large trees, 3 medium or small tree, and 1 evergreen or coniferous per 100 linear feet of greenspace area, and a minimum width of 10 feet. Landscape buffer requirements are addressed as follows:

Greenspace (Length)	Amount Required	Amount Provided
East (726 ft. along Garfield Road)	22 large trees	22 large trees
	22 med/small trees	22 med/small trees
	8 evergreens	8 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
East (159 ft. along vacant property)	6 large trees	4 large trees
	6 med/small trees	5 med/small trees
	2 evergreens	0 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
South (495 ft. along commercial	15 large trees	15 large trees
and vacant property)	15 med/small trees	15 med/small trees
	5 evergreens	5 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
South (342 ft. along Hammond	11 large trees	11 large trees
Road)	11 med/small trees	11 med/small trees
	4 evergreens	4 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
West (576 ft. along vacant	18 large trees	18 large trees
property)	18 med/small trees	18 med/small trees
	6 evergreens	6 evergreens
	10 ft. min width	Greater than 10 ft. min width shown
North (966 ft. along vacant	29 large trees	29 large trees
property)	29 med/small trees	29 med/small trees
	10 evergreens	10 evergreens
	10 ft. min width	Greater than 10 ft. min width shown

The 159-foot East buffer along vacant property is noted as a Type "B" Buffer on the site plan. The correct buffer is a "C" Buffer and should be applied to this location.

### Landscaping – Parking Areas

Landscaped parking area requirements are addressed as follows:

Standard	Required	Provided
All parking areas with two (2) or more parking aisles shall	For 160 spaces,	1,845 square feet
require interior landscaped areas of at least ten (10) square	1,600 square feet	
feet for each parking space.		
Each interior landscape area shall include one (1) or more	For 1,600 square feet,	16 trees
canopy trees per 100 square feet of interior landscaping	16 trees	
area.		

### Lighting

A photometric site plan has been provided. The lighting standards are described by the following:

Zoning Ordinance Lighting Standard	Proposed
A. Applicability – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.  B. Shielding and Filtration – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located,	None of these exceptions are expected to apply to this site, so all lighting for this site is subject to the requirements of this section.  The fixtures as proposed meet this requirement.
and light poles shall be coated, to minimize glare.  C. Illumination — Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture.  Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.	The fixtures as proposed meet this requirement.
D. Color Temperature – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.	The fixtures as proposed are 4,000 K and need to be adjusted to meet this requirement.
E. Prohibitions – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	None of these prohibitions apply to this site.
F. Pole Height – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.	Fixtures are proposed to be mounted at 23 feet in height which conform to the maximum permitted height of 40 feet in the R-3 district.

The applicant has indicated that the photometric site plan is being revised to incorporate lighting fixtures that comply with the color temperature requirements.

### Snow Storage

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. A snow storage area has been identified and meets the minimum requirements. See location number 9 on sheet C200. However, all snow storage is concentrated at one location near the driveway entrance. Several snow storage locations dispersed around a site are typically what is proposed in site plans. Dispersed locations are more convenient and efficient for plowing and should be considered for the site.

Village at Garfield Special Use Permit – Public Hearing – July 12, 2023 Planning Commission

### Dumpster Enclosures

Two centralized dumpster enclosures are proposed. Details of the construction of the enclosures have been provided and meet Zoning Ordinance requirements.

### Site Plan Date

Please indicate on the revised site plan date on the site plan sheets.

### Other Reviews

The application is subject to additional reviews, including but not limited to the Township Engineer, Grand Traverse County Road Commission, and Metro Fire. Sewer and water utility improvements and stormwater improvements will be reviewed by the Township Engineer.

### **ACTION REQUESTED:**

The purpose of this agenda item is to hold a public hearing on the application. If, following the applicant presentation and Planning Commission discussion, the Commission is prepared to direct Staff to prepare Findings of Fact, then the following motion is offered for consideration:

MOTION TO direct staff to prepare Findings of Fact for application SUP-2023-03, submitted by Gosling Czubak Engineering Services, Inc., for a Special Use Permit for an apartment complex at Parcel 05-023-042-01 subject to the following conditions (1-5 as indicated in PD 2023-83):

- 1. Provide a wetland delineation verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- 2. Provide "C" buffer landscaping to the 159-foot east buffer along vacant property.
- 3. Provide revised lighting fixtures that comply with color temperature requirements.
- 4. Provide dispersed snow storage locations on the site plan.
- 5. Provide the revised site plan date on the site plan sheets.

Any additional information the Planning Commission deems necessary should be added to this motion.

### Attachments:

- 1. Application and Narrative dated June 6, 2023
- 2. Site Plan Set received July 5, 2023



# **Charter Township of Garfield**

# **Grand Traverse County**

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

# SPECIAL USE PERMIT (SUP) APPLICATION

### **ASSISTANCE**

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

<u>ACTIO</u>	N REQUESTED		
V	New Special Use P	ermit	
	Major Amendment		
П	Minor Amendment		
	Administrative Ame	ndment	
PROJE	ECT / DEVELOPMEN	NT NAME	
	The Village at Garfi	ield	
APPLI	CANT INFORMATIO	<u>N</u>	
	Name:	Brian Stadler, Outlook Development	Company
	Address:	4835 TOWNE CENTRE ROAD SUIT	E 203, SAGINAW, MI 48604
	Phone Number:	989.233.4656	
	Email:	brian@wolgast.com	
AGEN <sup>*</sup>	T INFORMATION		
	Name:	Andrew J. Purvis, PE, Gosling Czuba	ak Engineering Sciences, Inc.
	Address:	1280 Business Park Drive, Traverse	City, MI 49686
	Phone Number:	231.946.9191	
	Email:	ajpurvis@goslingczubak.com	
OWNE	R INFORMATION		
	Name:	Brian Stadler, Hammond LDHA LP	
	Address:	7551 Geddes Road, Saginaw, MI 48	609
	Phone Number:	989.233.4656	
	Email:	brian@wolgast.com	

			DATE OF BUILDING A	
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Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Andrew Purvis, ajpurvis@goslingczubak.com

Owner:

Brian Stadler, brian@wolgast.com

Brian Stadler, brian@wolgast.com

### PROPERTY INFORMATION

Property Address: 2051 N Garfield, Traverse City, MI 49686

Property Identification Number: 05-023-042-01

Legal Description: Provided on Site Plans

Zoning District: R-3

Master Plan Future Land Use Designation: High Density Residential (6-10)

Area of Property (acres or square feet): 14.69 AC (Gross)

Existing Use(s): Vacant Land
Proposed Use(s): Multi-Family Residential (MSHDA Housing Project)

### PROJECT TIMELINE

Estimated Start Date:

Estimated Completion Date:

02/01/2024
08/01/25

### REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

### Application Form:

- One original signed application
- One digital copy of the application (PDF only)

### Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

☑ Fee

### Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

### Site Development Plan:

П	Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
V	Two complete bound 24"x36" paper sets
_	O POTAL - LADDE LA

One digital set (PDF only)

Written	Information:
	Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
	One digital copy of the Approval Criteria (PDF only)
	Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
	One digital copy of the Impact Assessment (PDF only)
Digital	items to be delivered via email or USB flash drive

### SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

### WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

### SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

### APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:ecial use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

### IMPACT ASSESSMENT

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

	X	The method to be used to control any increase in effluent discharge to the air or any increase in noise level					
		emanating from the site. Consideration of any nuisance that	t would be created	within the s	ite or external to the site		
		whether by reason of dust, noise, fumes vibration, smoke o	r lights.				
	X	An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.					
	X	The proposed density in units per acre for residential development	opments.				
	X	Name(s) and address(es) of person(s) responsible for prep	aration of statemen	t.			
	K	Description of measures to control soil erosion and sedimentation during grading and construction operations					
		and until a permanent ground cover is established. Recomi	mendations for such	n measures	may be obtained from		
		the County Soil Erosion and Sedimentation office.					
	X	Type, direction, and intensity of outside lighting.					
	X	General description of deed restrictions, if any.					
A	DDIT	TONAL INFORMATION					
lf	appl	icable, provide the following further information:			Not		
	•		Yes	No	Applicable		
	-	nitary Sewer Service	X				
1.	. Do	pes project require extension of public sewer line?		×			
		If yes, has a Utility Agreement been prepared?			35		
2.	. W	ill a community wastewater system be installed?		K			
		If yes, has a Utility Agreement been prepared?					
		If yes, provide construction plans and specifications		(1)	<u> </u>		
3.	. W	ill on-site disposal be used?		X			
		If yes, is it depicted on plan?					
В	. <u>W</u> a	ater Service	X				
1.	. Do	pes project require extension of public water main?					
		If yes, has a Utility Agreement been prepared?		<b>x</b>			
2.	. W	ill a community water supply be installed?		-	2 <u>25</u>		
		If yes, has a Utility Agreement been prepared?					
		If yes, provide construction plans and specifications	-		H.		
C	. <u>Pu</u>	blic utility easements required?	×	Ш	ш		
		If yes, show on plan.					
D		ormwater Review/Soil Erosion	П	П			
1.	. So	oil Erosion Plans approved by Soil Erosion Office?	_		-		
		If so, attach approval letter.			П		
		If no, are alternate measures shown?					
2	. Sto	ormwater Plans approved by Township Engineer?		Ц			
		If so, attach approval letter.	Ē	П	П		
		If no, are alternate measures shown?		_	Ш		
		Note: Alternate measures must be designed and sealed by	a registered Engin	eer.			

E.	Roads and Circulation				
1.				X	
	If yes, has Road Commission approved (atta	ich letter)?			
2.	Will public streets connect to adjoining properties			X	
3.	Are private roads or interior drives proposed?		X		
4.	Will private drives connect to adjoining propertie	s service roads?		×	
5.	Has the Road Commission or MDOT approved of		×		
	If yes, attach approved permit.	GTCRC Review	in process		
If	THER INFORMATION there is any other information that you think ma oplication or explain it on a separate page.	y be useful in the rev	view of this ap	plication, p	elease attach it to this
	Upon submittal of this application, Staff will reforward a determination of completeness to the Zoning Ordinance, it will be returned to the appropriate it for completeness and again forward. This procedure shall be repeated until a completeness of the application is deemed to be completened to the Planning Commission for reformarded to the Planning Commission for reformation.	e applicant. If the sub oplicant for revision. C I a determination to t ete submission is rece ete and submitted ac	mission is inco once the submit he applicant we lived. cording to the	mplete or ssion is re ithin ten (*	noncompliant with the evised, Staff will again 10) working days.
	complete and schedule a public hearing.				e a are approximately to
	Upon holding a public hearing, the Planning proposed special use.	Commission may a	pprove, approv	e with co	nditions, or deny the

written report and decision order.

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours

· If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a

nours.		
<b>♦</b> Owner Signature:	BUL &	
Applicant Signature:	bu &	
Agent Signature:	NA	
Date:	6/6/23	

### **OWNER'S AUTHORIZATION**

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

<b>∦</b> I/We	authorize to make this application on my/our behalf
and to provide any of my/our personal inform your good and sufficient authorization for so of	ation necessary for the processing of this application. Moreover, this shall be loing.
✓ Owner Signature:	
*Date:	
AFFIDAVIT	
	s (are) the owner, or authorized agent of the owner, involved in the application
	oplication, including any supplemental information, is in all respects true and
	dges that willful misrepresentation of information will terminate this permit
application and any permit associated with th	is document.
	0.0
★ Owner Signature:  → ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓ ✓	
<b>→</b> Date: &/6	230
Applicant Signature:	
Date: 6/6/23	

2. Property owner's 3. Proof of property 4. Whether there ar 5. A signed and no agent 6. The address and lines, gross and 7. A vicinity map sh 8. Name, address a 9. Project title or na 10. Statement of pro 11. Land uses and z 12. Seal of the regis their name, addres 12. Boundary dimen 13. North arrow, sca 14. Proposed alteral 15. Existing topogra 16. Soil erosion and 17. The location, he structures 18. Location and sp salts, flammable state or federal g 19. Proposed finish *Required on 10. Existing and pro 11. Neighboring driv 12. A dimensional p parking areas 13. Identification and 14. Proposed roads within and adjac 15. Location of meig 17. Location of meig 18. Location of neig 19. Sealed (2) storr wastewater lines 20. Sealed (2) storr wastewater lines 21. A utility plan incl telephone and s 22. A sign plan ind 23. A lighting plan in plan, Kelvin ratii 24. Proposed location walls, trash rece 25. A Landscape pla is required by the	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
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<ol> <li>Neighboring driv</li> <li>A dimensional p parking areas</li> <li>Identification and</li> <li>Proposed roads within and adjact</li> <li>Location of and</li> <li>Location of neig</li> <li>Location of sani</li> <li>Location of sani</li> <li>Location, specifi</li> <li>Sealed (2) storn wastewater lines</li> <li>A utility plan incitelephone and s</li> <li>A sign plan indi</li> <li>A lighting plan in plan, Kelvin ratii</li> <li>Proposed locatiin walls, trash rece</li> <li>A Landscape plais required by the</li> </ol>	d proposed driveways, including parking areas		
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general location	pe plan and table identifying the species, size of landscape materials, and number proposed, compared to what by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by		
26. Statements rega	ation or range of sizes as appropriate s regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities,		
and on the natu	natural environment on and adjacent to the site) r modifications required for any applicable regulatory agencies' approvals		

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### The Village at Garfield: Project Narrative Description

The Village at Garfield (the Project) will be an affordable housing development which will be located on Garfield Road just north of the intersection of Hammond Road in Garfield Township, Michigan. Garfield Road is a public street which will offer direct access to the proposed development site with two access points to satisfy fire codes. No access is planned on Hammond Road due to traffic concerns that are shared by the Township. The parcel the Project resides on was recently rezoned to R-3 (High Density Residential, 6 - 10 units per acre). The Project is proposed at less than 6 units per acre.

The Project will utilize the existing public water and sewer infrastructure by extensions into the site. The Project will support nearby services and employment opportunities. The development team is working with the Township and Grand Traverse County Department of Public Works (DPW) to ensure the public water and sewer systems are designed to meet their requirements.

The development team is working with the Township and Grand Traverse County Road Commission (GTCRC) to ensure that access to the Project satisfies the GTCRC's planned improvements to the Hammond and Garfield Road intersection.

According to the Phase I and II Environmental Site Assessments (ESA) completed by AKT Peerless (AKT) the Project site contained an orchard from sometime prior to 1938 until sometime prior to 1964. A Phase II ESA was conducted by AKT to determine if contamination from the historic orchard use of the site and storage of multiple automobiles was found on the site. AKT concluded that no targeted compounds were present in the assessed areas above the applicable Michigan Department of Environmental, Great Lakes, and Energy (EGLE) Residential Cleanup Criteria (RCC).

The site layout and grading plan has been prepared by Gosling Czubak Engineering Sciences Inc (GCES) to meet applicable Township and MSHDA requirements. The grading plan preserves the land within the Township's required wetland setbacks. The Project's storm water control measures have been designed in accordance with the Township's Ordinance #49. The drainage plan takes advantage of the site's sandy soils and lack of groundwater table on-site using infiltration/retention basins with high water overflows to the on-site wetlands.

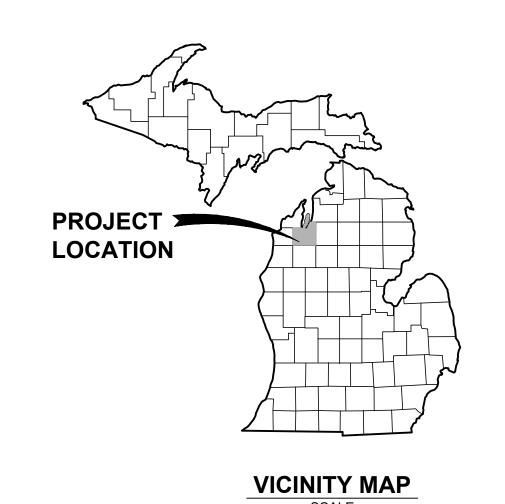
The new development will consist of 80 apartment units with a mix of two- and three-bedroom units. The buildings will be designed as two-story, wood frame structures with brick and fiber cement siding. Design features will include energy efficient windows and doors, high R-value insulation, along with many family friendly features including central heated and air-conditioned living areas, ceiling fans, dishwasher, and microwave appliances. High quality construction techniques and energy efficient materials will result in a product that meets sustainable building standards. Additionally, all other MSHDA Architectural and building sustainability requirements will be met. or exceeded. Development amenities will include on-site professional management, a community building/room, on-site laundry, fully equipped playground, and an outdoor covered gathering area.

Our development team has developed and operates similar properties in Michigan and other states. All our properties enjoy high occupancy levels due to superior facility design and excellent property management performance. The Grand Traverse County area has a significant lack of affordable housing stock and has a growing need for additional affordable housing. Occupancy levels for existing housing in the area are near 100% and most affordable housing has significant waiting lists.

We appreciate the Township's support of this project through the rezoning process and the granting of the Pilot and entering the MSA Agreement to make the project possible. We especially appreciate the professionalism of the staff as we try to make this project a reality to serve the community.

# THE VILLAGE AT GARFIELD

GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN



# **OWNER**

HAMMOND LDHA LP

# **ARCHITECT**

ARCHITETTURA INC. FRANK POLLACIA, AIA, NCARB 808 18TH STREET PLANO, TEXAS 75074 TEL. 972-509-0088 pollacia@architettura-inc.com

# **DEVELOPER / APPLICANT**

**OUTLOOK DEVELOPMENT LLC BRIAN STADLER** 4835 TOWNE CENTRE ROAD SUITE 203,

# **SURVEYOR**

BOB MITCHELL & ASSOCIATES JESSE MITCHELL, P.S. 404 WEST MAIN STREET PO BOX 306 KINGSLEY, MI 49649

# **ENGINEER**

GOSLING CZUBAK ENGINEERING SCIENCES, INC. 1280 BUSINESS PARK DRIVE TRAVERSE CITY, MICHIGAN, 49686-8607 231.946.9191 - 800.968.1062 www.goslingczubak.com info@goslingczubak.com

# **UTILITY CONTACTS**

NAME OF OWNER

TYPE OF UTILITY

DTE ENERGY GAS CO. GAS LARRY BOURKE **ENGINEERING & CONSTRUCTION PLANNING** 

231-592-3244 lawrence.bourke@dteenergy.com

**ELECTRIC** CONSUMER'S ENERGY BLAKE WILSON

BLAKE.WILSON@cmsenergy.com CHARTER COMMUNICATIONS ASHLEY M. MARCOLETTE

ashley.marcolette@ccisystems.com

CABLE TV

TELEPHONE

AT&T C. ANIKA ESTES **DESIGN SPECIALIST** 

mccleary@gtcountymi.gov

231-499-9792

CE3239@ATT.COM

GRAND TRAVERSE COUNTY **DEPARTMENT OF PUBLIC WORKS** LINDA McCLEARY 231-995-6077

SEWER & WATER

Know what's below. Call before you dig.

# CDP Acme Twp 7 20 20 10 PROJECT LOCATION

**LOCATION MAP** NOT TO SCALE



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ALTA NSPS LAND TITLE SURVEY (BY OTHERS)

ALTA NSPS LAND TITLE SURVEY (BY OTHERS)

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OVERALL GRADING & DRAINAGE PLAN

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ELEVATIONS BLDG TYPE I (BY OTHERS)

SITE DETAILS

Issue Date 05/10/2023 Project No.

2022410001 Sheet C000

### **CIVIL CONSTRUCTION NOTES:**

- 1. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CHARTER TOWNSHIP OF GARFIELD AND MSHDA STANDARDS, ORDINANCES AND REGULATIONS, AND ALL OTHER AGENCIES HAVING JURISDICTION AND UTILITY PROVIDER REQUIREMENTS ARE MET.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING IMPROVEMENTS OR UNDERGROUND FACILITIES THAT ARE
- 3. THE CONTRACTOR SHALL LEAVE AN EMERGENCY PHONE NUMBER WITH THE POLICE AND FIRE DEPARTMENTS AND KEEP THEM INFORMED OF CONSTRUCTION ACTIVITIES AND OF ANY DETOURS.
- 4. CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS AT THE SITE FOR THE PUBLIC WORKS, AMBULANCE, POLICE, FIRE DEPARTMENT, AND UTILITY LOCATE COMPANIES AT ALL TIMES.
- 5. THE CONTRACTOR SHALL CONDUCT THEIR WORK SO AS NOT TO INTERFERE WITH OR HINDER THE PROGRESS OF THE COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.

  6. THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED IN THE PROJECT SHALL ASSUME LIABILITY FINANCIAL OR OTHERWISE IN CONNECTION WITH
- 6. THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED IN THE PROJECT, SHALL ASSUME LIABILITY, FINANCIAL OR OTHERWISE, IN CONNECTION WITH THEIR CONTRACT AND SHALL PROTECT AND HOLD HARMLESS THE ENGINEER AND THE ENGINEER'S REPRESENTATIVES FROM ANY AND ALL DAMAGES OR CLAIMS THAT MAY ARISE BECAUSE OF INCONVENIENCE, DELAYS, OR LOSS EXPERIENCED BECAUSE OF THE PRESENCE AND OPERATIONS OF OTHER CONTRACTORS OR CONSULTANTS WORKING ADJACENT TO OR WITHIN THE LIMITS OF THE PROJECT.
- 7. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY DURING CONSTRUCTION. DAMAGED PROPERTY SHALL BE RETURNED TO THE EXISTING CONDITIONS AT A MINIMUM.
- 8. PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT)
  STANDARDS AND SPECIFICATIONS AND AS DIRECTED BY MDOT AND THE TOWNSHIP. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED
  AROUND THE SITE AT ALL TIMES. ALL DETOURS/LANE CLOSURES MUST BE HANDLED USING TRAFFIC CONTROL DEVICES CONFORMING TO THE
  MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND MUST BE APPROVED BY MDOT AND THE TOWNSHIP.
- 9. ADEQUATE TEMPORARY OFF STREET PARKING FOR CONSTRUCTION WORKERS SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION, WHEREBY MUD FROM CONSTRUCTION AND/OR WORKER'S VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- 10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND UTILITIES, AND REPORT ALL FINDINGS AND DISCREPANCIES TO THE ENGINEER.

# PAVEMENT, SUB-GRADE, AND TRAFFIC CONTROL NOTES:

- 1. MATERIALS AND CONSTRUCTION TECHNIQUES SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE LATEST EDITION OF THE STANDARD
- SPECIFICATIONS FOR CONSTRUCTION PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT).

  2. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CHARTER TOWNSHIP OF GARFIELD REQUIREMENTS AND THE REQUIREMENTS PRESENTED IN THE CURRENT BUILDING CODE. COMPACTION TESTING OF THE SUB-GRADE WILL BE PERFORMED BY THE CONTRACTOR AND WITNESSED BY THE
- 3. ENTRANCE WORK AND UTILITY WORK SHALL BE COORDINATED WITH THE TOWNSHIP AND MOOT PRIOR TO CONSTRUCTION PROCEEDING.
- ALL TRAFFIC CONTROL (INCLUDING, BUT NOT LIMITED TO WORK ZONE, TEMPORARY, OR PERMANENT) SHALL BE FURNISHED, INSTALLED, MAINTAINED, RELOCATED, AND/OR REMOVED ACCORDING TO THE LATEST EDITION OF THE MDOT STANDARD SPECIFICATIONS.
   CONTRACTOR TO REMOVE ALL EXISTING ITEMS (CONCRETE WALK, POSTS, PAVEMENT, SHRUBS, LIGHT POLES AND BASES, ETC.) THAT INTERFERE WITH
- NEW CONSTRUCTION, COST TO BE INCLUDED IN BID ESTIMATE FOR THE CONTRACT.

  6. THE CONTRACTOR MUST SUBMIT A MAINTENANCE OF TRAFFIC PLAN AT LEAST FIVE (5) WORKING DAYS PRIOR TO RESTRICTION OR CLOSURE OF ANY

# GRADING. EARTHWORK, AND BACKFILL NOTES:

- 1. FILL AREAS IN PAVEMENT AND BUILDING AREAS SHALL BE PLACED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698). THE UPPER 9 INCHES OF NATIVE SUBGRADE IN FILL AREAS AND DETENTION BASIN FILL AREAS SHALL BE RECOMPACTED TO AT LEAST 95% OF THE MATERIAL'S STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698)
- TO AT LEAST 95% OF THE MATERIAL'S STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698).

  2. COMPACTION TESTS ARE REQUIRED FOR EACH FILL LIFT. NO LIFT TO EXCEED 12 INCHES IN DEPTH. CONTRACTOR IS RESPONSIBLE FOR ALL
- PROCTOR AND COMPACTION TEST ON MATERIALS.

  3. ALL DUST SHALL BE CONTROLLED BY WATERING WHEN NECESSARY.
- 4. THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING.
  5. THE SUB-GRADE OF ALL FOUNDATION AREAS SHALL BE OBSERVED BY AN EXPERIENCED LICENSED GEOTECHNICAL ENGINEER OR THEIR FIELD
- REPRESENTATIVE PRIOR TO THE PLACEMENT OF ANY CONCRETE OR FILL MATERIAL.
  6. ALL GRADES SHALL BE TO WITHIN +/- 1 INCH OF THOSE SHOWN ON THE GRADING PLAN WHILE MAINTAINING POSITIVE DRAINAGE.

### CHARTER TOWNSHIP OF GARFIELD & MDOT CONSTRUCTION NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE VILLAGE AND/OR MDOT AT LEAST 48 HOURS PRIOR TO POURING CONCRETE, INSTALLING STORM SEWER, INSTALLING WATER LINE SERVICE AND SANITARY SEWER SERVICE, OR OTHERWISE PROVIDING SUCH
- ADVANCE NOTICE AS MAY BE REQUIRED BY THESE JURISDICTIONS.

  2. ALL WORK, MATERIALS, AND INSTALLATION SHALL NOT BE DEEMED SATISFACTORY UNTIL SUCH TIME AS ALL APPROVALS ARE OBTAINED
- FROM THE JURISDICTIONAL AUTHORITY.

  3. THE CONTRACTOR SHALL PROCEED AT THEIR OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL
- NECESSARY PERMITS FOR THE WORK TO BE COMPLETED.

  4. CONTRACTOR SHALL BE REQUIRED TO REMOVE AND REPLACE ANY SIGNS THAT NEED TO BE MOVED TO COMPLETE THE WORK. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- 5. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES.
- ANY SIDEWALKS, CURB AND GUTTER, OR STREET ROADWAY PAVEMENT DAMAGED IN THE COURSE OF CONSTRUCTION ACTIVITY ON ADJACENT PRIVATE PROPERTY MUST BE REPLACED IN KIND.
- 7. ALL DISTURBED AREAS WITHIN VILLAGE OF KINGSLEY, GRAND TRAVERSE COUNTY, AND MDOT RIGHT-OF-WAY SHALL BE RESTORED PER THEIR REQUIREMENTS.

# SANITARY SEWER NOTES:

- 1. SANITARY SEWER SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS SPECIFICATIONS OF THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW).
- 2. SANITARY SEWER LEADS SHALL BE SCHEDULE 40 POLYVINYL CHLORIDE (PVC) WITH SOLVENT WELDED JOINTS AS DEFINED IN ASTM D 2672 OR EXTRA STRENGTH SOLID WALL, SDR 23.5 ABS AS DEFINED IN ASTM D-1788. SEWER WYE FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE, UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
- FOUNDATION DRAINS, IF INSTALLED, SHALL NOT CONNECT TO THE SANITARY SEWER.
   SIX (6) INCH WYE FITTINGS WITH SIX (6) INCH LATERALS SHALL BE CONSTRUCTED FROM THE SANITARY SEWER MAIN TO THE BUILDING LINE AT THE ELEVATION INDICATED. EACH LATERAL SHALL EXTEND AT A 45 DEGREE ANGLE TO THE SEWER MAIN AND EXTEND UPWARD TO APPROXIMATELY ONE (1) FOOT FROM THE SANITARY MAIN FLOWLINE TO THE LATERAL FLOWLINE. LATERALS SHALL BE EXTENDED AT 1% AND TERMINATED THREE (3) FEET ABOVE GRADE.

# WATERMAIN NOTES:

- 1. ALL WATER MAIN CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- 2. WATER MAIN SERVICES SHALL HAVE A MINIMUM COVER 72" FROM FINISHED GRADE TO TOP OF PIPE.
- 3. ALL DOMESTIC WATER SERVICE LINES 2" AND SMALLER SHALL BE FLEXIBLE TYPE "K" COPPER.
  4. ALL WORK PERFORMED ON ANY WATER LINES AND/OR APPURTENANCES THAT ARE OWNED OR ANTICIPATED TO BE OWNED BY THE CHARTER TOWNSHIP OF GARFIELD BE COMPLETED UNDER THE DIRECTION OF THE VILLAGE AND THE ENGINEER, ADHERING TO AN ACCEPTABLE PLAN APPROVED BY CHARTER TOWNSHIP OF GARFIELD. A MINIMUM 24 HOURS NOTICE SHALL BE GIVEN TO THE WATER COMPANY BY THE CONTRACTOR PRIOR TO THE START OF WATER LINE WORK. ONE SET OF APPROVED PLANS SHALL BE ON THE JOB SITE DURING CONSTRUCTION. WATER LINE CONSTRUCTION WILL NOT BE PERMITTED TO START UNTIL ALL APPROVALS ARE RECEIVED. THERE SHALL BE NO DEVIATION FROM THE APPROVED PLANS WITHOUT WRITTEN APPROVAL FROM THE WATER

### SOIL EROSION & SEDIMENTATION NOTES:

- 1. ALL SOIL AND EROSION MEASURES SHALL CONFORM TO AND BE IN COMPLIANCE WITH CHARTER TOWNSHIP OF GARFIELD, GRAND
- TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT.

  2. ALL WATER POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THESE PLANS ARE DIAGRAMMATIC. THE
- CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS THAT ARE APPROPRIATE FOR EACH PHASE OF CONSTRUCTION.

  3. ALL SOIL AND EROSION CONTROL MEASURES SHALL CONFORM TO CHARTER TOWNSHIP OF GARFIELD, GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
- ALL PERIMETER SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING.
   EROSION CONTROL MEASURES SHOULD BE CONSIDERED ALONG THE FACE OF EACH SLOPE. EROSION CONTROL MEASURES
  TYPICALLY EMPLOYED WOULD INCLUDE, SILT FENCES, INLET PROTECTION, DITCH CHECKS AND TIMELY SEEDING OR SODDING.
- 6. ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
  7. AFTER A RAINFALL EVENT, ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL BMP'S.
- 8. GRADED AREAS AROUND THE PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- 9. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE PRECAUTION TO ENSURE THAT SEDIMENTATION DAMAGE WILL NOT OCCUR.
  THE CONTRACTOR SHALL RESTRICT THE AMOUNT OF LAND AREA GRADED AT ANY ONE TIME TO A MINIMUM. IT IS RECOMMENDED DURING AND AFTER GRADING, THAT A TEMPORARY VEGETATIVE COVER BE ESTABLISHED TO PROTECT THE BARE SOIL SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
   THE ENGINEER RESERVES THE RIGHT TO MAKE CHANGES OR MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLAN AS
- DEEMED NECESSARY.
  12. TEMPORARY EROSION PROTECTION IS REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.
- AREAS SHALL BE MAINTAINED IN SUCH A STATE FOR FIRE ACCESS AT ALL TIMES (INCLUDING ACCESS TO NEIGHBORING PROPERTIES).
   NO OBSTRUCTION OR DISTURBANCE OF NATURAL DRAINAGE COURSES OR EXISTING STORM DRAIN INLETS SHALL OCCUR, UNLESS
  ADEQUATE TEMPORARY/PERMANENT DRAINAGE FACILITIES HAVE BEEN APPROVED AND INSTALLED TO CARRY SURFACE WATER TO THE
- NEAREST PRACTICAL STREET, STORM DRAIN, OR NATURAL WATERCOURSE.

  15. THE CONTRACTOR SHALL CONDUCT THEIR OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF WILL BE CONTAINED WITHIN THE PROJECT OR CHANNELED INTO THE STORM DRAINAGE SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA
- SHALL NOT BE ALLOWED TO DIVERT TO ANOTHER RUNOFF AREA.

  16. ANY EROSION AND SEDIMENT CONTROL PLAN CONTAINED IN THE PROJECT PLANS SHOULD BE CONSIDERED A GENERAL GUIDELINE TO BE UTILIZED FOR EROSION CONTROL PREVENTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EROSION AND DISPLACED SEDIMENT DOES NOT MIGRATE OFF SITE. IF UNEXPECTED EROSION OR SEDIMENTATION OCCURS, OR IF THE EROSION PLAN STRUCTURES BECOME DAMAGED, THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEASURES TO REPAIR, REPLACE, OR INSTALL EROSION CONTROL STRUCTURES TO ENSURE OFF—SITE DAMAGE DOES NOT OCCUR. ANY SEDIMENT OR EROSION DAMAGE WHICH
- 17. CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITIES TO THE SITE AND ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER,

OCCURS OFF-SITE SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

- MUD, AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.

  18. FILL AREAS, WHILE BEING BROUGHT UP TO GRADE AND DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED BY VARIOUS MEASURES TO ELIMINATE EROSION AND THE SILTATION OF DOWNSTREAM FACILITIES AND ADJACENT AREAS. THESE MEASURES MAY INCLUDE, BUT SHALL NOT BE LIMITED TO: TEMPORARY DOWNDRAINS, EITHER IN THE FORM OF PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS; GRADED BERMS AROUND AREAS TO ELIMINATE EROSION OF FILL SLOPES BE SURFACE RUNOFF; CONFINED PONDING AREAS TO DESILT RUNOFF; TEMPORARY CHECK DAMS IN THE TOE SLOPE DITCHES TO DESILT RUNOFF; PROTECTION SUCH AS SAND BAGS AROUND INLETS WHICH HAVE NOT BEEN BROUGHT UP TO GRADE; AND EARTH BERMS AND APPROPRIATE GRADING TO DIRECT DRAINAGE AWAY FROM THE EDGE OF THE TOP OF SLOPES SHALL BE CONSTRUCTED AND
- MAINTAINED ON FILL AREAS WHERE EARTHWORK OPERATIONS AREA NOT IN PROGRESS.

  19. CLEARING AND GRUBBING SHOULD BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES WILL BE REQUIRED TO PROTECT AREAS THAT HAVE BEEN CLEARED AND GRUBBED PRIOR TO GRADING OPERATIONS. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO: GRADED DITCHES; BRUSH BARRIERS; AND SILT FENCES. CARE SHALL BE
- EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING.

  20. PAVED SURFACES WITH ACCUMULATED MATERIALS SHALL BE WASHED AND SWEPT WITH MECHANICAL EQUIPMENT AFTER PAVEMENT IS
- CONSTRUCTED, BUT PRIOR TO FINAL ACCEPTANCE.

  21. THE CONTRACTOR SHALL PLACE FILTER FABRIC AROUND ALL INLETS. BARRIERS AROUND INLETS IN STREETS OR PAVED AREAS SHALL BE REMOVED PRIOR TO FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS.
- 22. TOWNSHIP APPROVAL OF THESE PLANS DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE ENGINEER FOR APPROVAL.

# STORM & DRAINAGE NOTES:

- . STORM AND DRAINAGE SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MDOT STANDARD
- SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION. STORMWATER AND ALL OTHER UNPOLLUTED DRAINAGE SHALL BE DISCHARGED INTO SUCH SEWERS AS ARE
- SPECIFICALLY DESIGNED AS STORM SEWER OR TO A NATURAL OUTLET.
- ALL STORM SEWER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
   ALL STORM SEWER STRUCTURES AND BEDDING REQUIRED FOR STORM SEWER PIPE SHALL BE CONSTRUCTED IN
- ACCORDANCE WITH GARFIELD TOWNSHIP STANDARDS, LASTEST EDITION.
  ALL TRENCHES UNDER AREAS TO BE PAVED AND UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED AND PLACED
- IN ACCORDANCE WITH GARFIELD TOWNSHIP STANDARDS.
  ALL TRENCH BACKFILL UNDER PAVEMENT WITHIN PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL. TRENCH
- BACKFILL UNDER PAVED AREAS AND OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL IN LIEU OF EARTH BACKFILL COMPACTED TO 90% OF THE MODIFIED ASSHTO T-180 COMPACTION TEST ASTM D-1557.
- 7. JETTING IS NOT AN ACCEPTABLE METHOD OF ACHIEVING BACKFILL BACKFILL COMPACTION. ALL BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTOR MAXIMUM DRY
- MINIMUM COVER OVER PVC PIPE SHALL BE ONE FOOT FROM THE TOP OF RIGID ROADWAY SURFACES OR THE BOTTOM OF FLEXIBLE ROADWAY SURFACES. AT SHALLOW DEPTHS OF COVER (1 FOOT TO 3 FOOT), CLASS 1 OR CLASS II MATERIAL PER ASTM D2321 WITH A MINIMUM OF 95% PROCTOR DENSITY.

### ACCESSIBILITY NOTES:

- 1. ALL WORK SHALL BE IN CONFORMANCE WITH THE CURRENT VERSION OF THE LOCAL ACCESSIBILITY CODE (BOTH TOWNSHIP AND STATE), MSHDA AND WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA).
- ALL RAMPS SHALL NOT BE EXCEED A RUNNING SLOPE OF 1:12 OR 8.33%.

  RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 OR 5.00% AND 1:12 OR 8.33%.
- 3. RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 OR 5.00% AND 1:12 OR 8.33% AND SHALL HAVE A MINIMUM CLEAR WIDTH OF 3 FEET AND A MAXIMUM CROSS—SLOPE OF 1:50 OR 2.00%. RAMPS EXCEEDING 30 INCHES OF VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2.00% MAXIMUM SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN DIRECTION OF TRAVEL OF 60 INCHES. BOTTOM LANDINGS SHALL HAVE A MINIMUM LENGTH OF 60 INCHES IN THE DIRECTION OF TRAVEL. LANDINGS SHALL BE AT LEAST THE WIDTH AS THE WIDEST RAMP RUN LEADING TO THE LANDING. LANDINGS AT RAMP DIRECTION CHANGES SHALL HAVE A MINIMUM
- WIDTH AND LENGTH OF 60 INCHES.

  4. THE MAXIMUM CROSS—SLOPE ON ANY WALK OR RAMP SHALL BE 2.00%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES
- SHALL HAVE A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.

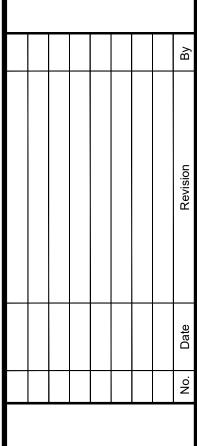
  5. ALL ACCESSIBLE ROUTES OF TRAVEL SHALL HAVE A MINIMUM OF THREE (3) FOOT CLEAR WIDTH FOR ACCESSIBLE CONFORMANCE, UNLESS OTHERWISE NOTED PER THE PLANS.
- 6. TRUNCATED DOMES AS DETECTABLE WARNINGS MAY BE REQUIRED ON WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN THE WALKWAY AND VEHICULAR WAY.



**Gosling Czuba**l

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DRILLING
LANDSCAPE ARCHITECTURE



GENERAL NOTES
VILLAGE AT GARFIELI
OUTLOOK DEVELOPMENT LL

Date Issued: 05/10/202
Date Surveyed: --Designed By: AJI
Drawn By: AJI
Checked By: WCI
Scale: AS NOTEI

Original sheet size is 24x36

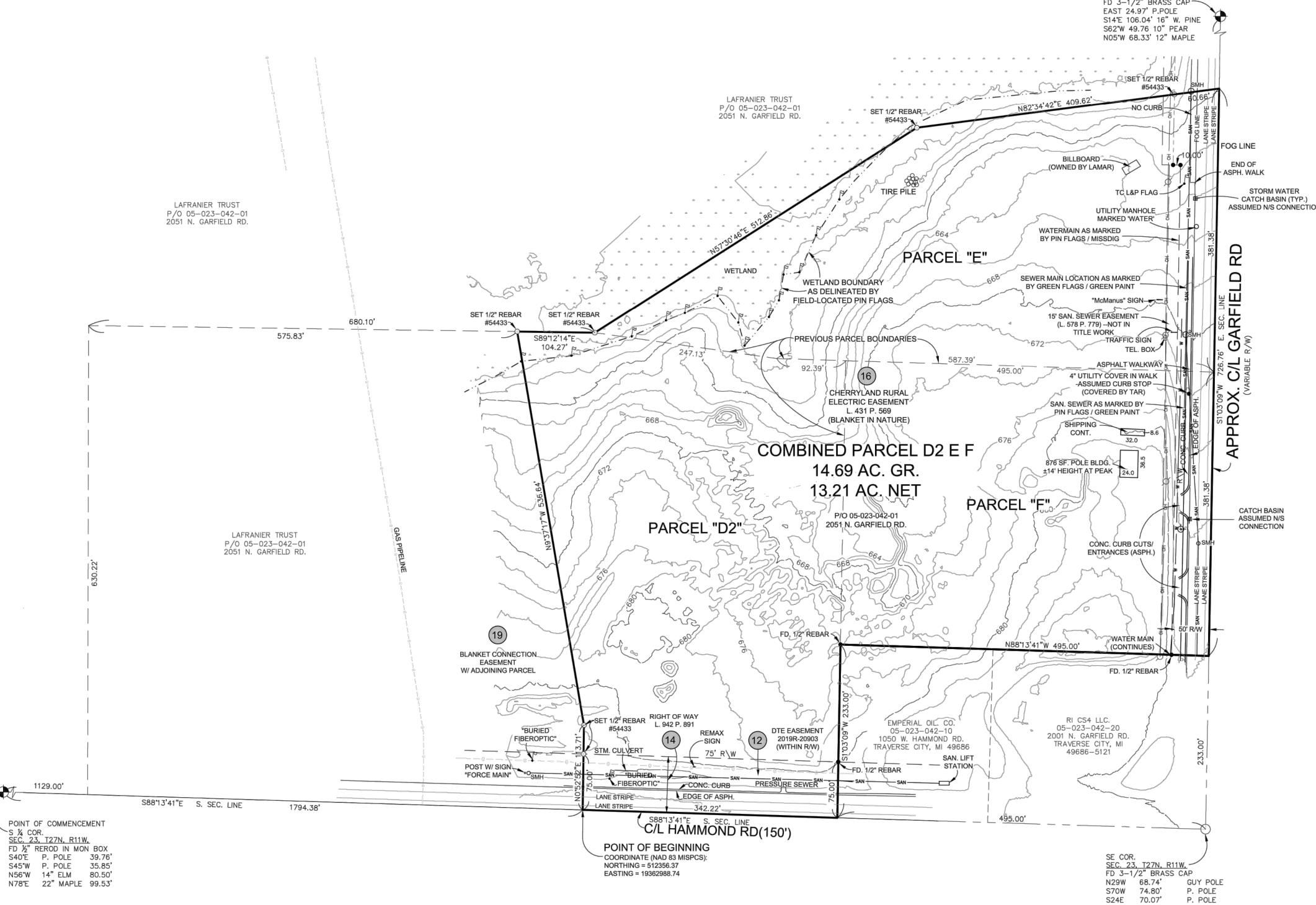
Location:
PART OF SECTION 23
T27N, R11W
GARFIELD TOWNSHIP,
GRAND TRAVERSE COUNTY,

MICHIGAN
Project Number:

2022410001

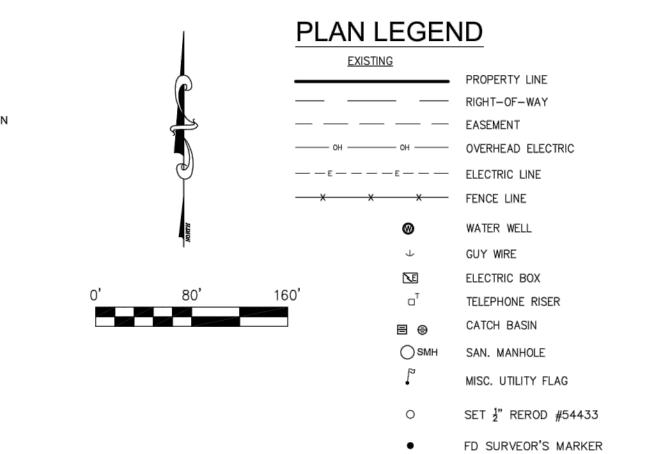
# ALTA / NSPS LAND TITLE SURVEY

SECTION 23, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN





### VICINITY MAP (NOT TO SCALE)



# **LEGAL DESCRIPTION**

First American Title Insurance Company Commitment Number: STS-6000 REV NO. 1 Commitment Date: April 20, 2022 (No time of day published)

(AS FURNISHED): Land in Garfield Township , County of Grand Traverse, State of Michigan, described as:

EAST 1/4 COR.

N28E 102.08'

6" SPRUCE

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1794.38 feet, to the Point of Beginning; thence North 00°52'52" East, 113.71 feet; thence North 09°37'17" West, 536.64 feet; thence South 89°12'14" East, 104.27 feet; thence South 81°54'14" East, 247.13 feet; thence South 88°13'49" East, 92.39 feet; thence South 01°03'09" West 614.36 feet, to the South line of said Section; thence North 88°13'41" West, along said South section line, 342.22 feet, to the Point of Beginning.

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1129.00 feet; thence North 00°07'20" East, 630.22 feet; thence South 89°12'14" East, 680.10 feet, to the Point of Beginning; thence North 57°30'46" East, 512.86 feet; thence North 82°34'42" East, 409.62 feet, to the East line of said section; thence South 01°03'09" West, along said East Section line, 381.38 feet; thence North 88°13'49" West, 587.39 feet; thence North 81°54'14" West, 247.13 feet, to the Point of Beginning

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East. along the South line of said Section 23, 2136.60 feet; thence North 01°03'09" East, 233.00 feet, to the Point of Beginning; thence North 01°03'09" East, 381.36 feet; thence South 88°13'49" East, 495.00 feet, to the East line of said Section; thence South 01°03'09" West, along said East Section line, 381.38 feet; thence North 88°13'41" West, 495.00 feet, to the Point

# Combined Parcel "D-2 E F" (Combined For Zoning Purposes):

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1794.38 feet, to the Point of Beginning; thence North 00°52'52" East, 113.71 feet; thence North 09°37'17" West, 536.64 feet; thence South 89°12'14" East, 104.27 feet; thence North 57°30'46" East, 512.86 feet; thence North 82°34'42" East, 409.62 feet, to the East line of said section; thence South 01°03'09" West, along said East section line, 762.76 feet; thence North 88°13'41" West, 495.00 feet; thence South 01°03'09" West, 233.00 feet, to the South line of said section; thence North 88°13'41" West, along said South section line, 342.22 feet, to the Point of Beginning. Said parcel contains 14.69 acres, more or less.

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of infrastructure.

SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.

# SURVEYOR CERTIFICATION

To (i) Outlook Development, LLC, A Michigan LLC; (ii) MSHDA; (iii) FIRST AMERICAN TITLE

JESSE

MITCHELL

License No.

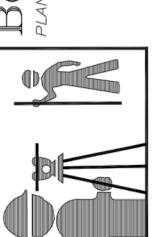
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items I-II, I3., I4,

The field work was completed on II-I-2021 thru 9-26-2022.

Date of Plat or Map: \_\_<u>9/26/2022</u>\_\_\_

JESSE E. MITCHELL Registration No. 4001054433 EMAIL: jesse@mapcivilsurvey.com





20210403 ALTA M DATE DRAWN:

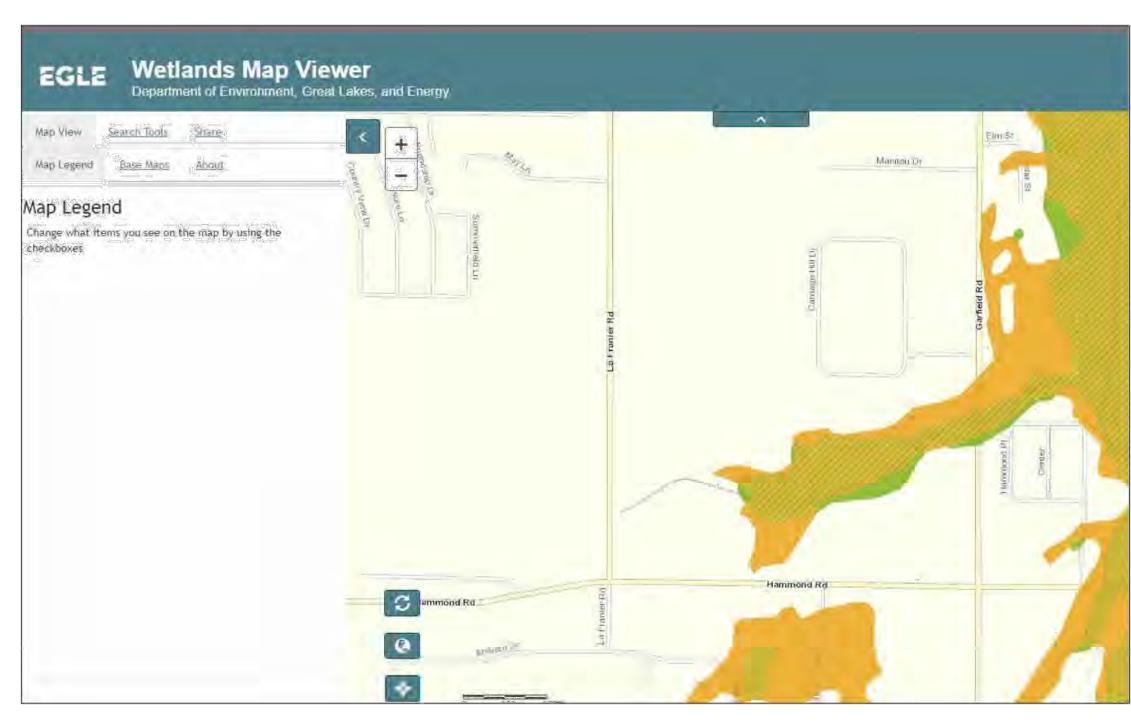
TELD CHECK: EVIEWED BY: J. E. MITCHE PROJECT MANAGER:

JESSE E. MITCHEL

GRAND

20210403

SHEET 1 OF 2



**EGLE WIP COVERAGE MAP** 

### TABLE A OPTIONAL SURVEY RESPONSIBILITIES

- As pertaining to Item 1 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, monumentation at all major land corners are as shown on the survey.
- As pertaining to Item 2 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the address of the subject parcel is as shown on the survey.
- As pertaining to Item 3 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A
  requirements, the subject parcel DOES NOT fall within a special flood hazard zone according to the Flood Insurance Rate Map published by the Federal Emergency Management Agency (FEMA) for the Garfield Township, State of Michigan, Grand Traverse County, Community Panel Number — 26055C0228C, an Effective Date of August 28, 2018. As noted in said document, the scaled location of the subject property is in "OTHER AREAS" Zone.
- As pertaining to Item 4 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the gross land area of of the subject parcel is 14.69 acres, as shown on the survey.
- As pertaining to Item 5 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the Vertical relief is shown. Contours shown on Survey are result of IIDAR data. Spot elevations were measured at 100' intervals to verify IIDAR data accuracy.
- As pertaining to Item 6 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, a zoning report or letter was not provided by the client; the subject parcel was zoned "Agricultural" prior to 2022. An application for zoning map amendment was accepted and approved by Garfield Township in 2022, rezoning the parcel to R3 (Multi-family).
- As pertaining to Items 7.(a) of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, the exterior dimensions of all buildings are shown on this survey; (b) the square footage is shown on survey for pole building; (c) the measured height of pole building is shown on Survey.
- As pertaining to Item 8., of Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements substantial features observed in the process of conducting the fieldwork are shown on this Survery.
- As pertaining to Item 9., of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, parking space type and striping is non-applicable, as none exist on subject parcel.
- As pertaining to Item 10 of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, no party walls exist with respect to adjoining properties and is non-applicable for this Survey.
- As pertaining to Item 11, of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements the location of utilities on or serving the surveyed property was determined by visible evidence, by
- evidence of MISS DIG paint markings, and labeled pin flags. As pertaining to Item 13 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A
- requirements, the names of adjoining owners are shown on Survey according to current tax records. As pertaining to Item 14 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the distance(s) to the nearest intersecting street (Hammond Rd. & Garfield Rd.), are shown on
- As pertaining to Item 16 of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, evidence of earthwork along the Northern boundary as indicated by half-buried silt fence was observed. Historic activity on site appears to show borrow-pits, as well as areas filled, as evidenced by dump
- As pertaining to Item 17 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, no proposed changes to the right-of-way of either Hammond Rd. or Garfield Rd. were observed, nor were any recent construction or repairs to features within the right-of-ways.
- As pertaining to Item 18 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, offsite easements have been included in this survey and are as—shown on map.
- As pertaining to Item 19 of the Minimum Standard Detail requirements for ALTA/NSPS Land Title Surveys Table A requirements, the surveyor maintains Professional Liability Insurance in the amount of \$1,000,000.
- As pertaining to an additional Item 20, of the Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys Table A requirements, weathered (pink) wetland markers labeled 'Wetland' were observed and located while conducting survey and are shown on this map.

# SURVEYOR'S NOTES

truck mounds.

- Bearing Basis: NAD(83) MSPCS Central Zone (2112), 2011 adj International Feet.
- DISTANCES ARE SHOWN IN NAD 83 MICHIGAN CENTRAL STATE PLANE GRID IN INTERNATIONAL FEET. 1 INTERNATIONAL FOOT=0.3048 METERS. COMBINED GRID FACTOR FOR THE PROJECT

# GRID DISTANCE COMBINED GRID FACTOR =GROUND DISTANCE

- Date of Survey: November 2021 and completed on 9-26-2022
- Datum of Elevations: North American Vertical Datum of 1988 (NAVD 88) GPS Derived.
- Dimensions on this survey are expressed in International Feet and decimal parts thereof unless otherwise noted.
- ITEMS NOT DISCLOSED IN TITLE POLICY:
- -- L. 578, P. 779: 15 FOOT EASEMENT FOR SANITARY SEWER ALONG WESTERLY RIGHT-OF-WAY OF GARFIELD RD. EXPANDED RIGHT-OF-WAY ALONG GARFIELD RD.
- -- BILLBOARD OWNED BY LAMAR ADVERTISING FOR ADVERTISEMENT ALONG GARFIELD RD.
- -- PHONE LINE ALONG EAST BOUNDARY OF SUBJECT PARCEL

### **SCHEDULE B - SECTION II EXCEPTIONS**

# PART ONE: GENERAL EXCEPTIONS:

- the Schedule B, Part I—Requirements are met. --Not a matter of Survey.
- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or by making inquiry of persons in possession of the Land. --None ascertained or observed at time of Survey
- --None ascertained or observed at time of Survey
- accurate and complete land survey of the Land, and that are not shown in the Public Records.
- Any lien or right to lien for services, labor or material imposed by law and not shown by the Public Records.
- Taxes and assessments which become due and payable after the date of Commitment, including taxes and assessments which may be added to the tax rolls or tax bill after the date of Commitment as a result of the taxing authority disallowing or revising an allowance of a Principal Residence Exemption. The Company assumes no liability for tax increases occasioned by retroactive revaluation or changes in the Land usage or
- --Not a matter of Survey
- the division of the land. --Not a matter of Survey
- Any rights, title, interest or claim thereof to that portion of the land taken, used or granted for streets, roads or highways.

### PART TWO: SPECIFIC EXCEPTIONS:

- (14.) Release of Right of Way in favor of Board of County Road Commissioners of the County of Grand Traverse and
- the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 942, Page 891.--Plotted
- 15.) Drainage Easement in favor of Board of County Road Commissioners of the County of Grand Traverse and the
- Right-of-Way Agreement in favor Michigan Consolidated Gas Company and the Covenants, Conditions and
- Terms, Conditions and provisions contained in Certificate of Approval Boundary Adjustment Application as

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of
- Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title including discrepancies, conflicts in boundary lines, shortage in area, or any other facts that would be disclosed by an --None ascertained or observed at time of Survey.
- --Not a matter of Survey
- loss of any homestead exemption status for the insured premises. --Not a matter of Survey
- Interest of others in oil, gas and mineral rights, if any, whether or not recorded in the Public Records.
- 8. Interest, if any, of the United States, State of Michigan, or any political subdivision thereof, in the oil, gas and minerals in and under and that may be produced from the captioned Land. --Not a matter of Survey
- Any claim based on the failure to comply with the provisions of Governmental Laws and Regulations regarding
- (11.) Rights of tenants, if any, under any unrecorded leases. --Not a matter of Survey

- Easement in favor of DTE Gas Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Document 2019R-20003 Plotted instrument recorded in Document 2019R-20903. -- Plotted
- Terms, Conditions and provisions contained in Certificate of Approval (with conditions) Land Division Application as disclosed by instrument recorded in 2019R-09025.---Not a matter of survey.
- Covenants, Conditions and Restrictions contained in instrument recorded in Liber 942, Page 890.--Off-site / NA
- Right-of-Way Easement in favor of Cherryland Rural Electric Co-Operative Association and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 431, Page 569. --Labeled - Blanket in Nature.
- Restrictions contained in instrument recorded in Liber 210, Page 413 and Modification of Right of Way contained in instrument recorded in Liber 778, Page 124. --Off-site / Plotted for isolation purposes.
- (18.) Taxes are based on parent parcel and no split information is available. -- Not a matter of survey.
  - disclosed by instrument recorded in 2022R-06789. --As shown on Survey Blanket Connection Easement

20210403 ALTA MJ

JESSE E. MITCHELL

DATE DRAWN: 9/26/2022

REVIEWED BY: J. E. MITCHELL

PROJECT MANAGER:

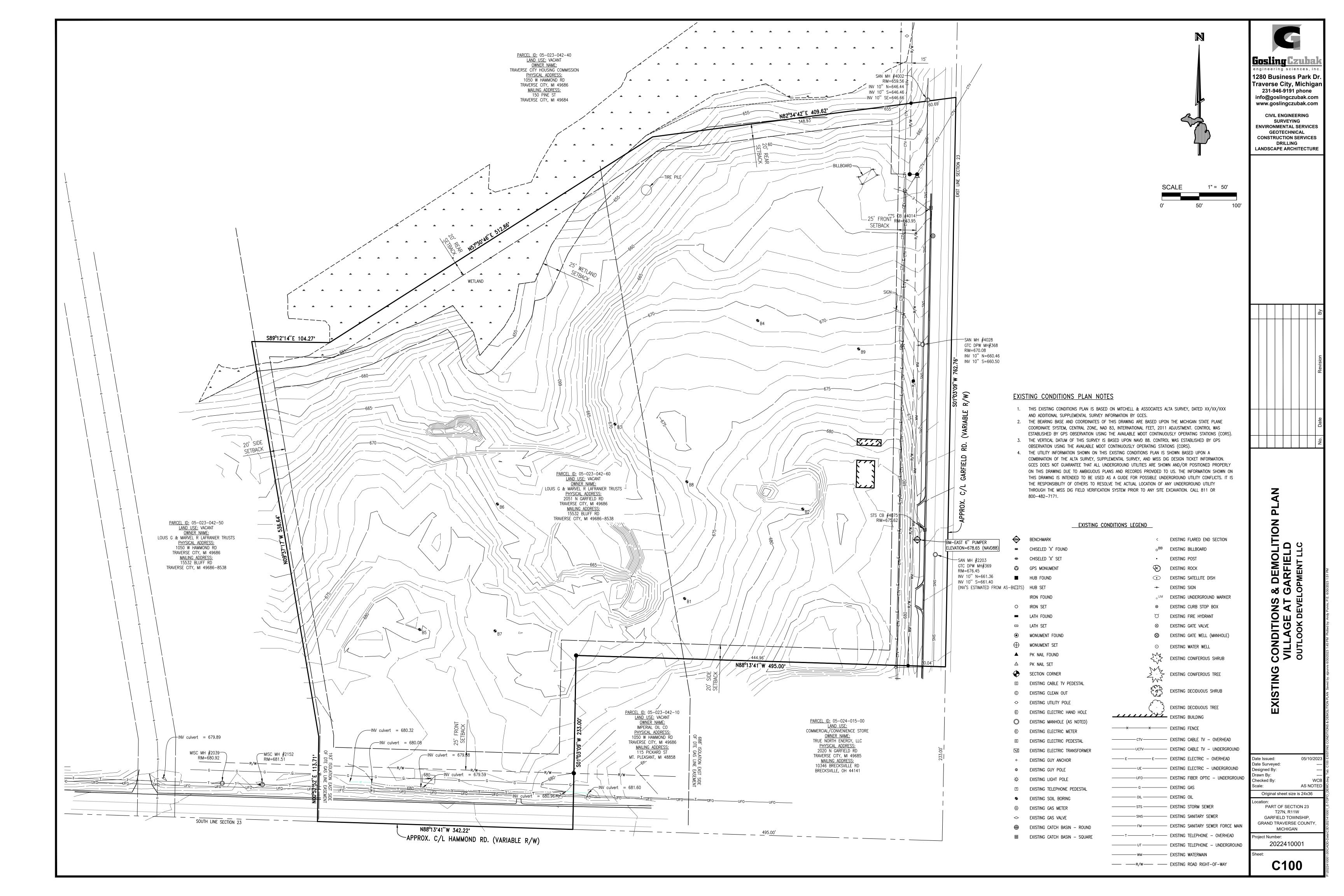
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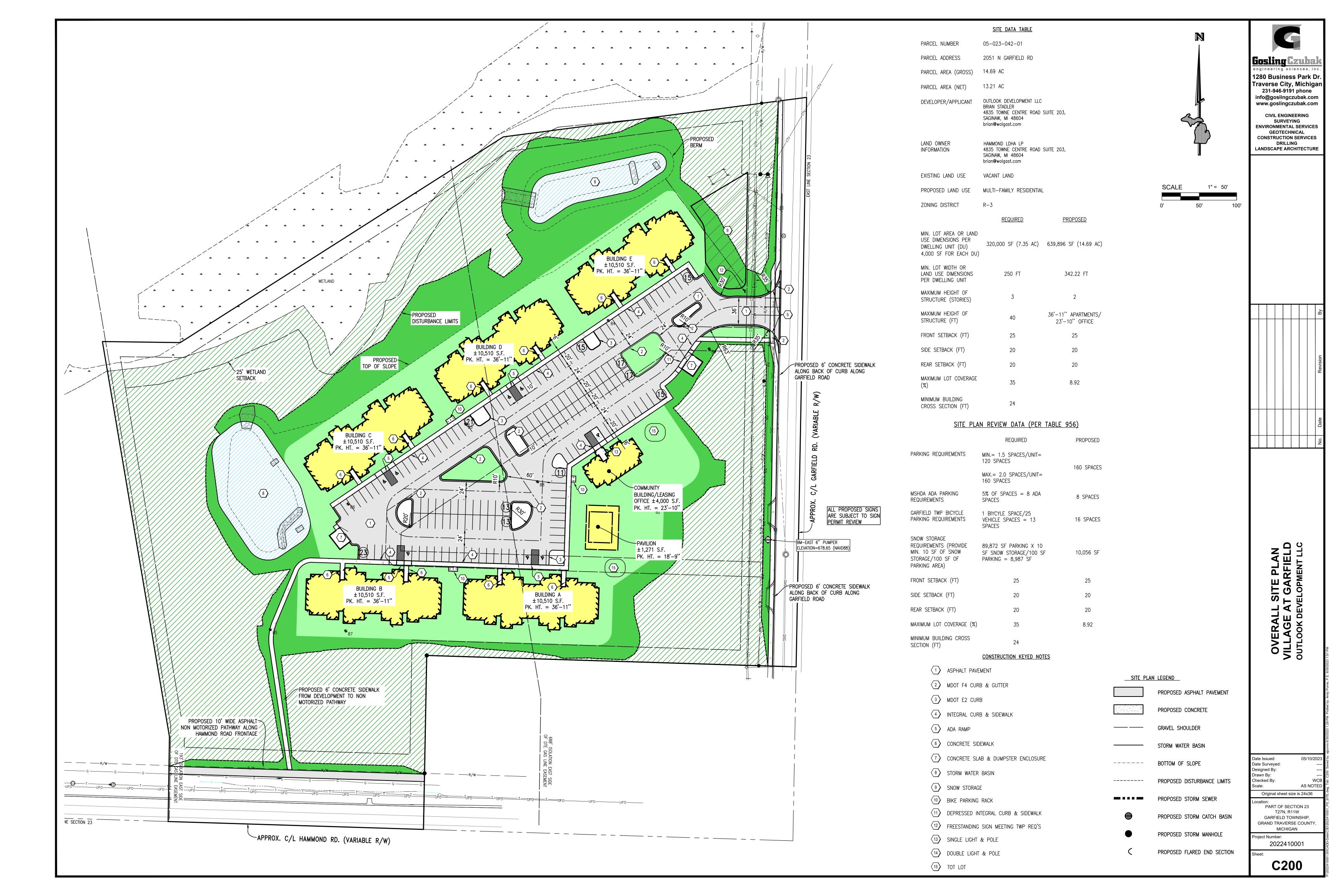
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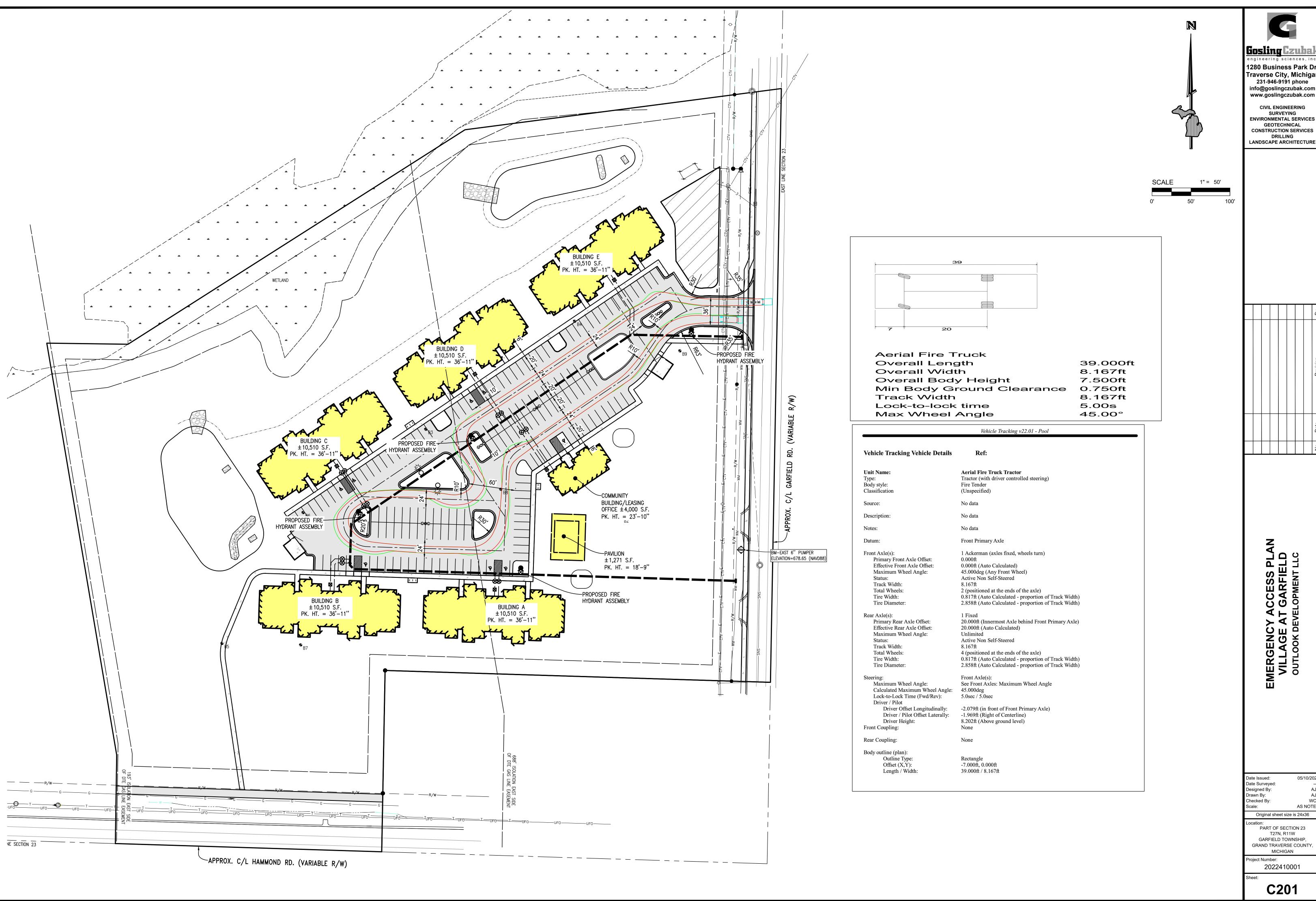
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SHEET 2 OF 2







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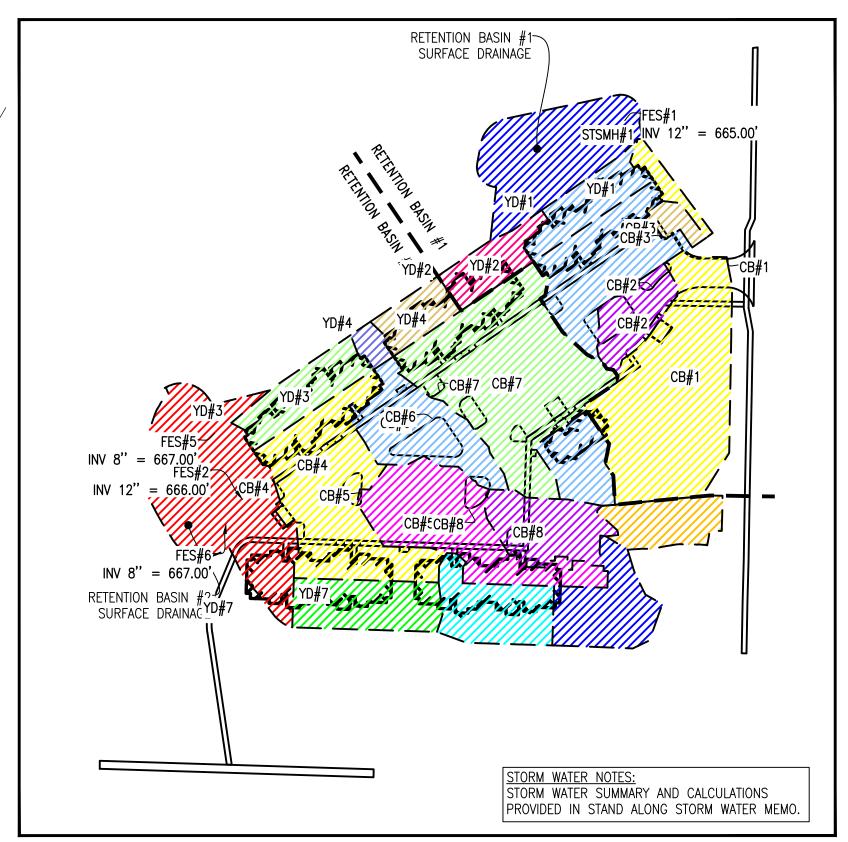
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PART OF SECTION 23 T27N, R11W GARFIELD TOWNSHIP, **GRAND TRAVERSE COUNTY** 

EMERGENCY ACCESS PLAN VILLAGE AT GARFIELD OUTLOOK DEVELOPMENT LLC

MICHIGAN 2022410001







# GRADING PLANS NOTES

- 1. CONTRACTOR RESPONSIBLE FOR CONSTRUCTION ALL WORK COMPLETED IN CONFORMANCE WITH CURRENT ADA STANDARDS.
- 2. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS REFLECT FINISH GRADES. HOLD DOWN SUBGRADE ELEVATIONS ACCORDINGLY. ADJUST RIM ELEVATIONS OR ALL UTILITIES AFFECTED BY WORK IN THIS CONTRACT. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ON THE SITE. ANY AREA THAT APPEARS TO NOT PROPERLY DRAIN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT/ ENGINEER FOR RESOLUTION.
- 3. SPOT GRADES ARE FINISHED HARD SURFACE. SLOPE GRASS PAVEMENT TO MATCH DIRECTION OF ADJOINING CONCRETE SURFACE.

	1	01011111	FRUCTURE SCHEDUL	- <b>'-</b>	Г
STRUCTURE NUMBER	STRUCTURE DIAMETER	STRUCTURE TYPE	CASTING	RIM ELEV	CONNECTED PIPE INV ELEV
CB#1	60''	CONCRETE	EJ7045/M1/7050/T1	669.44	12" W: 667.50 12" W: 667.50 12" NW: 667.50
CB#2	24"	CONCRETE	EJ7045/M1/7050/T1	672.14	12" E: 668.20
CB#3	24"	CONCRETE	EJ7045/M1/7050/T1	670.59	12" E: 667.80
CB#4	48"	CONCRETE	EJ7045/M1/7050/T1	670.37	12" E: 666.30 12" W: 666.30
CB#5	48''	CONCRETE	EJ7045/M1/7050/T1	671.90	12" E: 667.33 12" NE: 667.23 12" W: 667.23
CB#6	48"	CONCRETE	EJ7045/M1/7050/T1	671.86	12" N: 668.00 12" SW: 668.00
CB#7	24"	CONCRETE	EJ7045/M1/7050/T1	672.24	12" S: 668.30
CB#8	48"	CONCRETE	EJ7045/M1/7050/T1	673.31	12" W: 668.96
STSMH#1	48''	CONCRETE	EJ1040A	667.52	8" SW: 667.50 12" SE: 665.41 12" NW: 665.41
YD#1	15"	NYLOBASIN	STANDARD	672.06	8" SW: 668.50 8" NE: 668.50
YD#2	15"	NYLOBASIN	STANDARD	671.86	8" NE: 669.50
YD#3	15"	NYLOBASIN	STANDARD	671.41	8" NE: 667.50 8" SW: 667.50
YD#4	15"	NYLOBASIN	STANDARD	670.00	8" SW: 668.50
YD#7	15"	NYLOBASIN	STANDARD	670.46	8" N: 668.50



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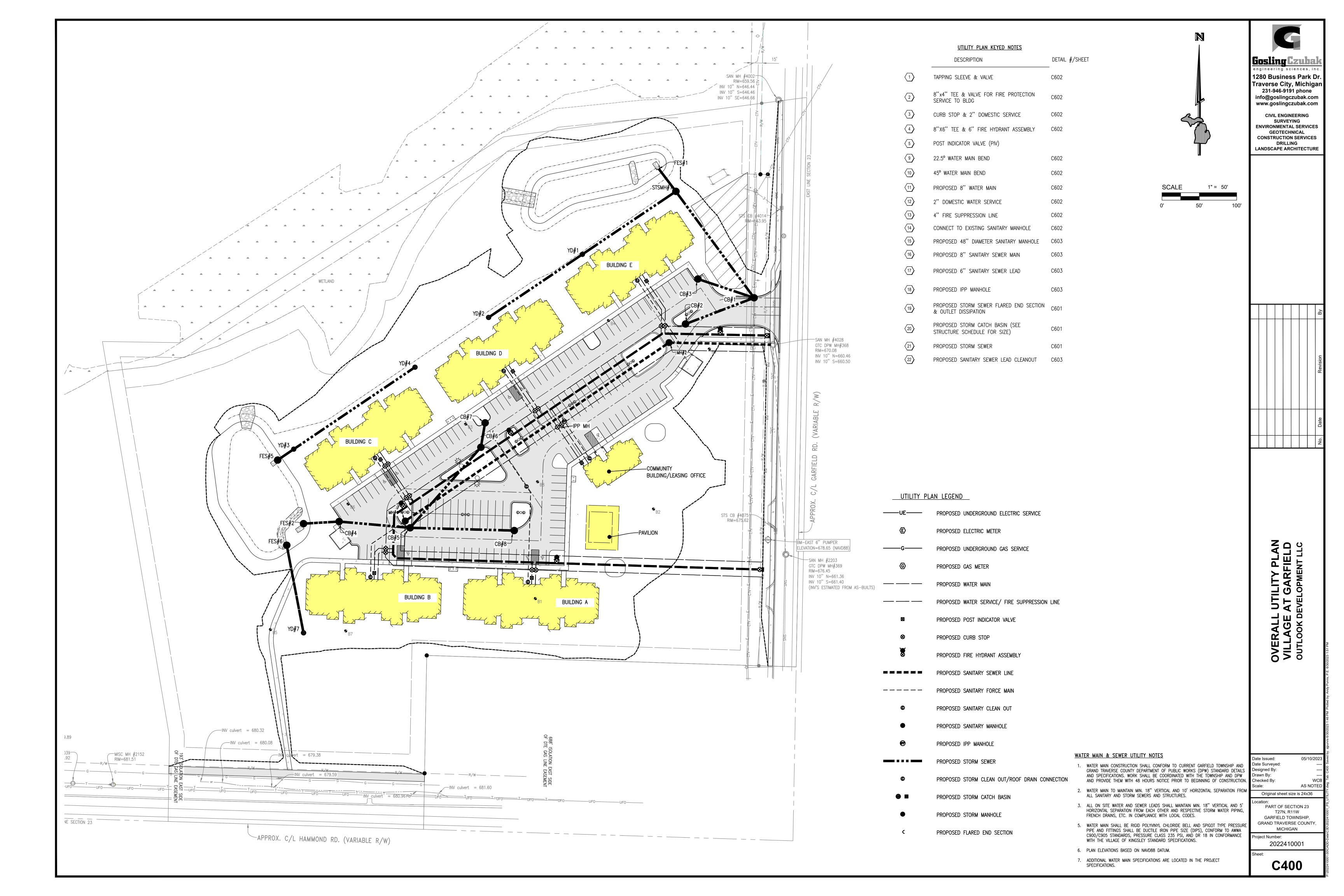
LANDSCAPE ARCHITECTURE

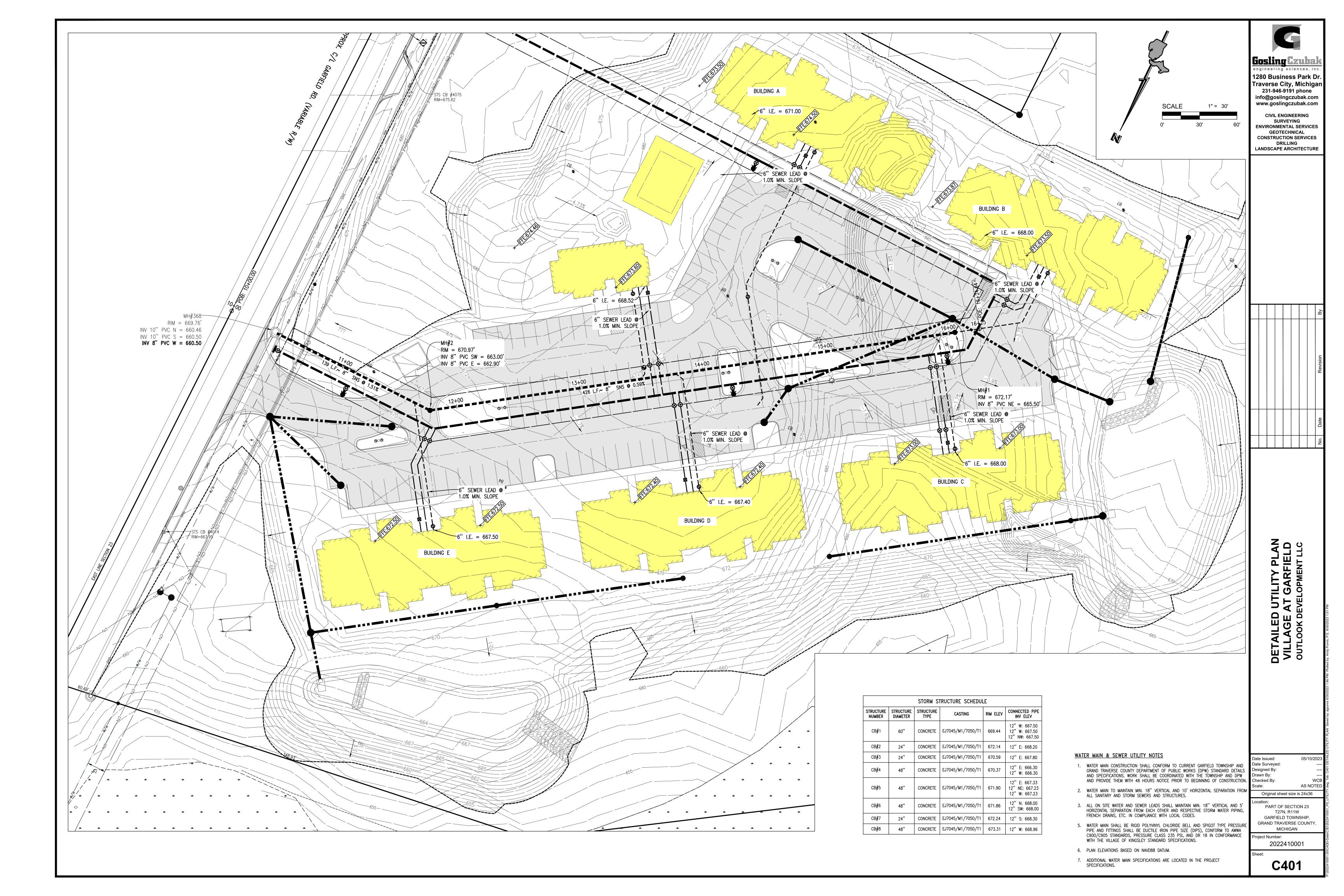
& DRAINAGE
GARFIELD
SLOPMENT LLC

Date Issued: Date Surveyed: Designed By: Drawn By: Checked By: AS NOTE Original sheet size is 24x36

PART OF SECTION 23 T27N, R11W GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN

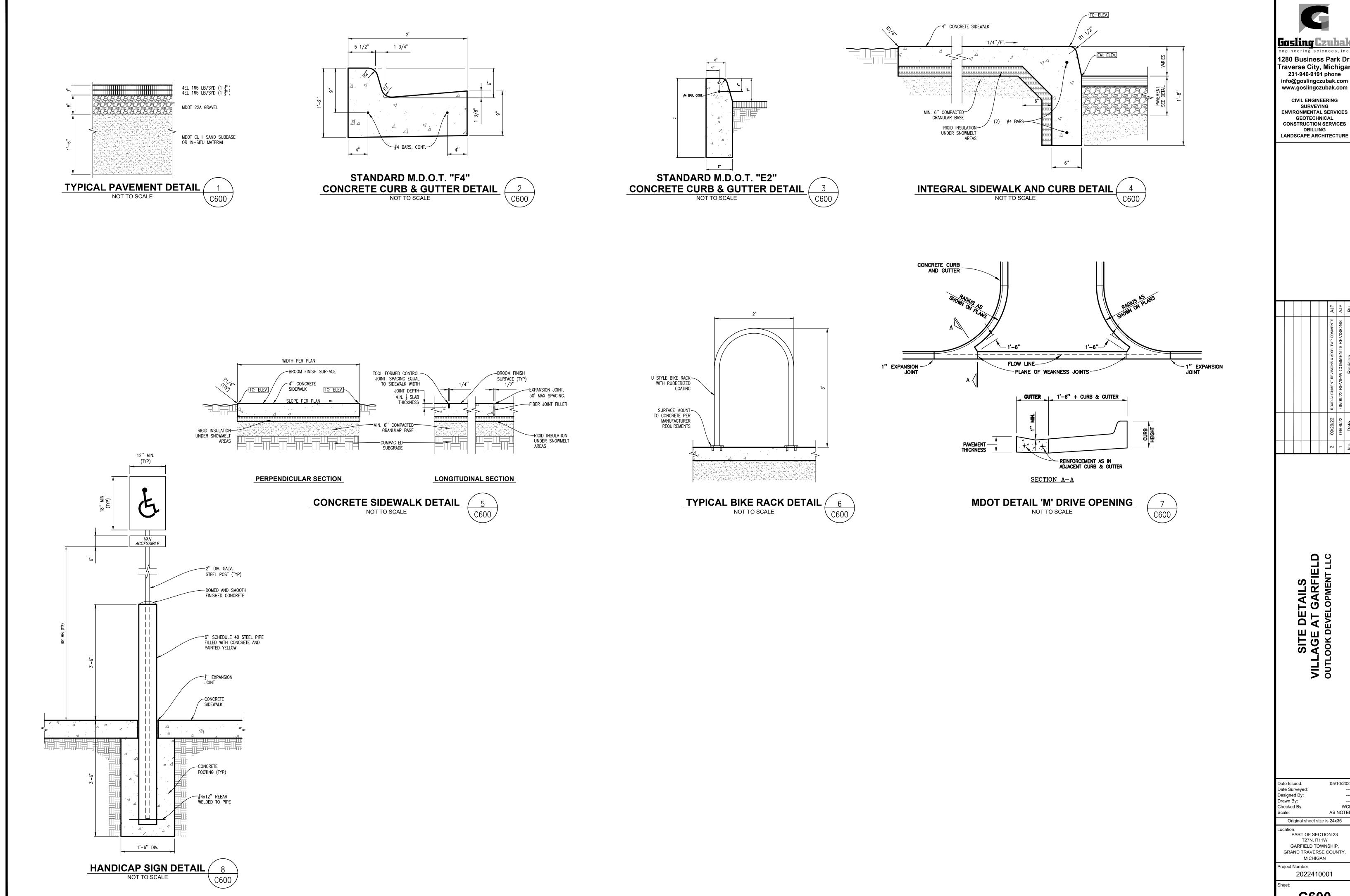
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Gosling Grantel engineering sciences, inc 1280 Business Park Dr.

231-946-9191 phone info@goslingczubak.com www.goslingczubak.com CIVIL ENGINEERING SURVEYING **ENVIRONMENTAL SERVICES** 

GEOTECHNICAL

CONSTRUCTION SERVICES
DRILLING LANDSCAPE ARCHITECTURE

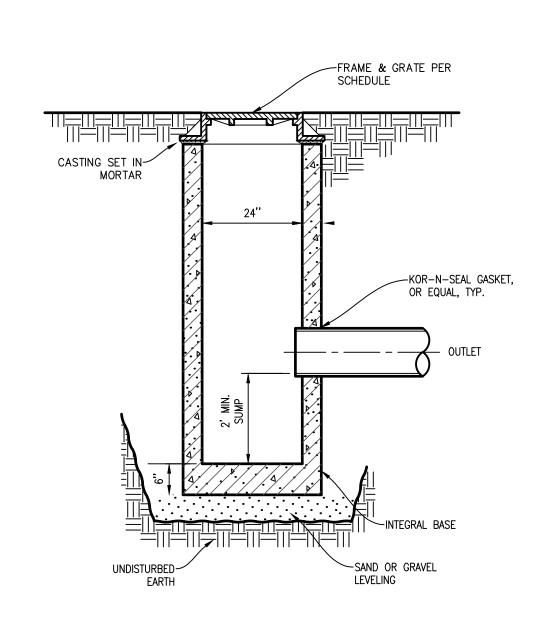
SITE DETAILS
VILLAGE AT GARFIELD
OUTLOOK DEVELOPMENT LLC

Date Issued: Date Surveyed: Designed By: Drawn By: Checked By:

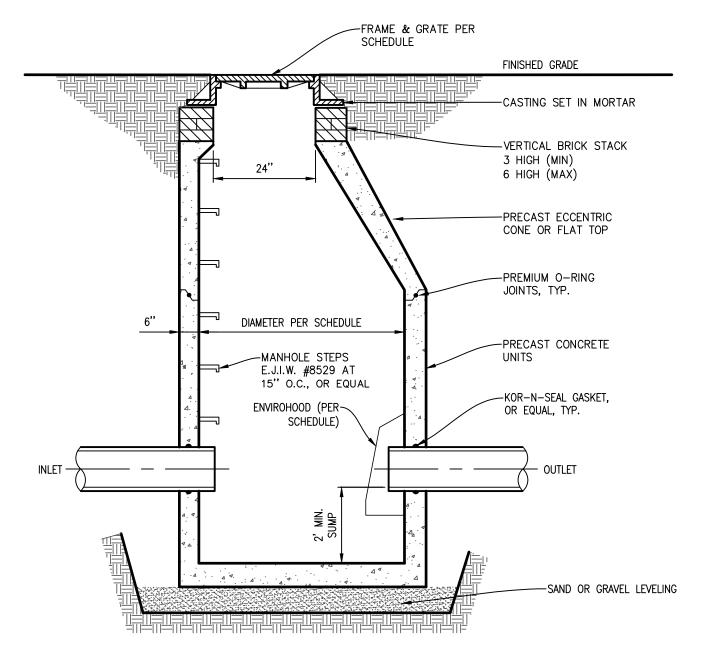
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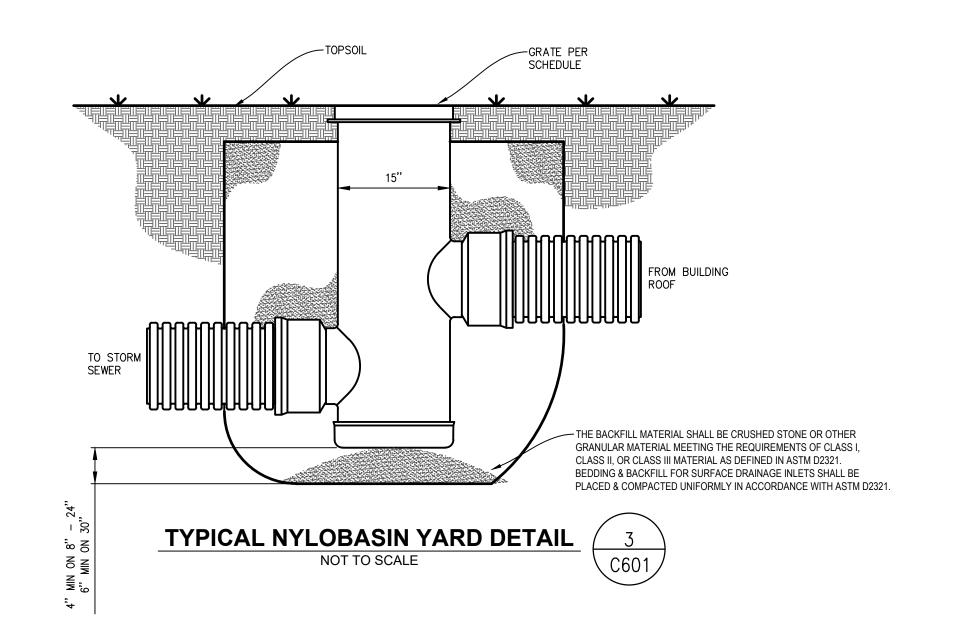
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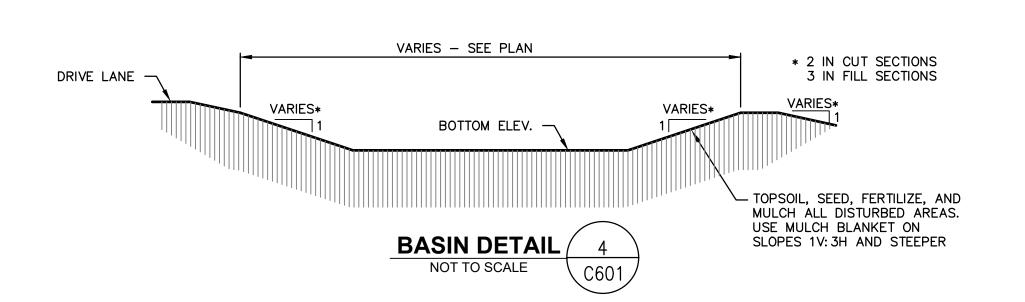


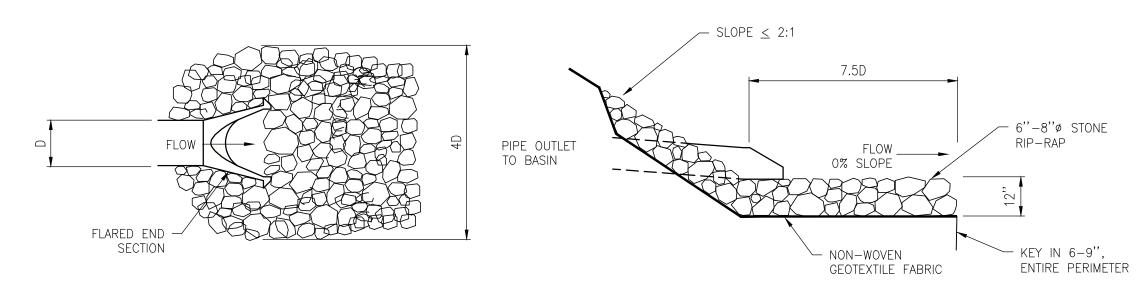






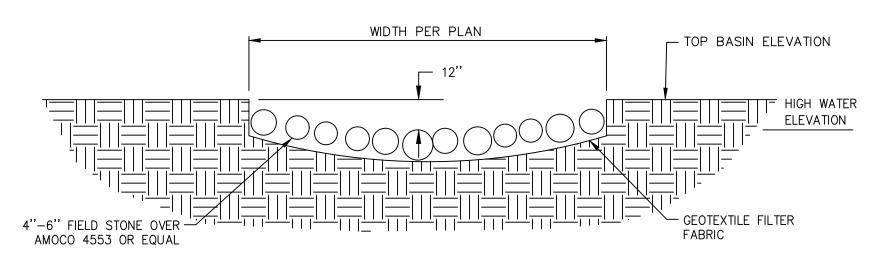






OUTLET PIPE
RIP-RAP DISSIPATER DETAIL
NO SCALE

5
C601





Date Issued: 05/10/2023
Date Surveyed: ---Designed By: ---Drawn By: ---Checked By: WCB
Scale: AS NOTED

Original sheet size is 24x36

Location:
PART OF SECTION 23
T27N, R11W
GARFIELD TOWNSHIP,

SITE DETAILS
VILLAGE AT GARFIELD
OUTLOOK DEVELOPMENT LLC

Gosling Gaubal
engineering sciences, inc

1280 Business Park Dr. Traverse City, Michigan 231-946-9191 phone

info@goslingczubak.com www.goslingczubak.com

CIVIL ENGINEERING

SURVEYING

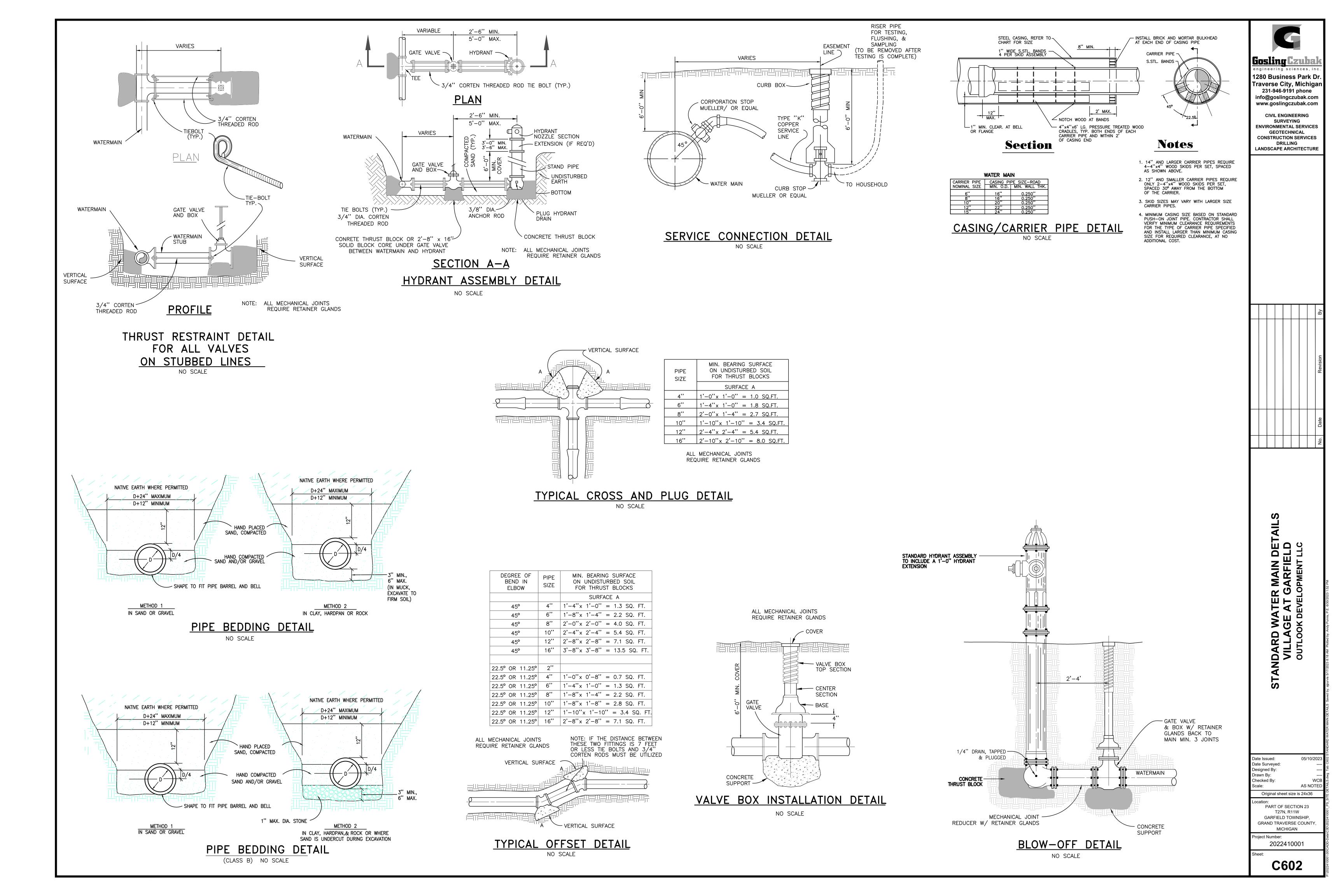
ENVIRONMENTAL SERVICES
GEOTECHNICAL
CONSTRUCTION SERVICES

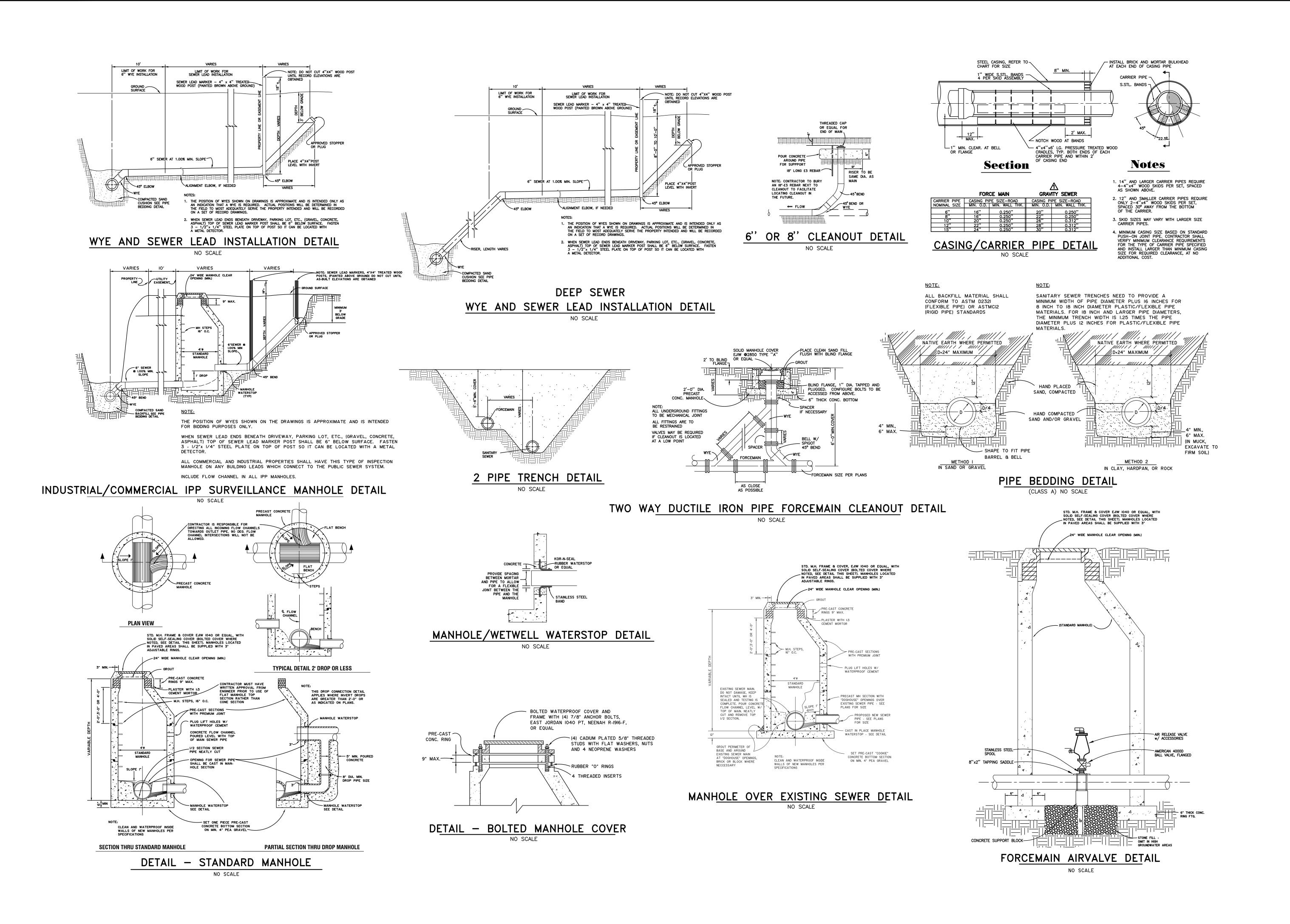
DRILLING

LANDSCAPE ARCHITECTURE

GRAND TRAVERSE COUNTY,
MICHIGAN
Project Number:
2022410001

C601





Gosling Gaulial
engineering sciences, in

1280 Business Park Dr Traverse City, Michigal 231-946-9191 phone info@goslingczubak.com www.goslingczubak.com

CIVIL ENGINEERING
SURVEYING
ENVIRONMENTAL SERVICES
GEOTECHNICAL
CONSTRUCTION SERVICES
DRILLING
LANDSCAPE ARCHITECTURE

No. Date Revision By

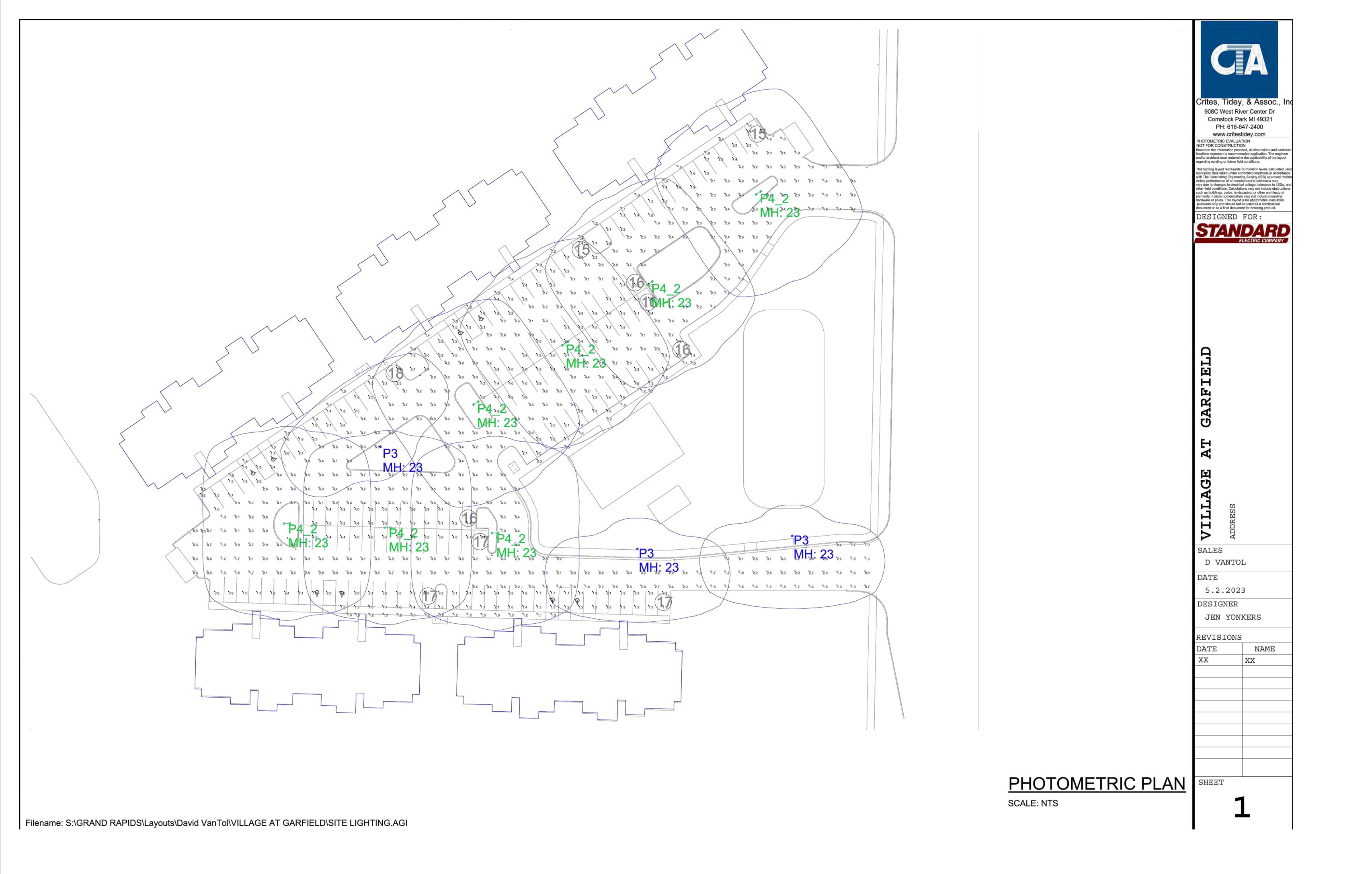
STANDARD SANITARY SEWER DETAIL
VILLAGE AT GARFIELD
OUTLOOK DEVELOPMENT LLC

Date Issued: 05/10/2023
Date Surveyed: ---Designed By: ---Drawn By: ---Checked By: WCB
Scale: AS NOTED
Original sheet size is 24x36

pocation:
PART OF SECTION 23
T27N, R11W
GARFIELD TOWNSHIP,
GRAND TRAVERSE COUNTY,

MICHIGAN
Project Number:
2022410001

C603

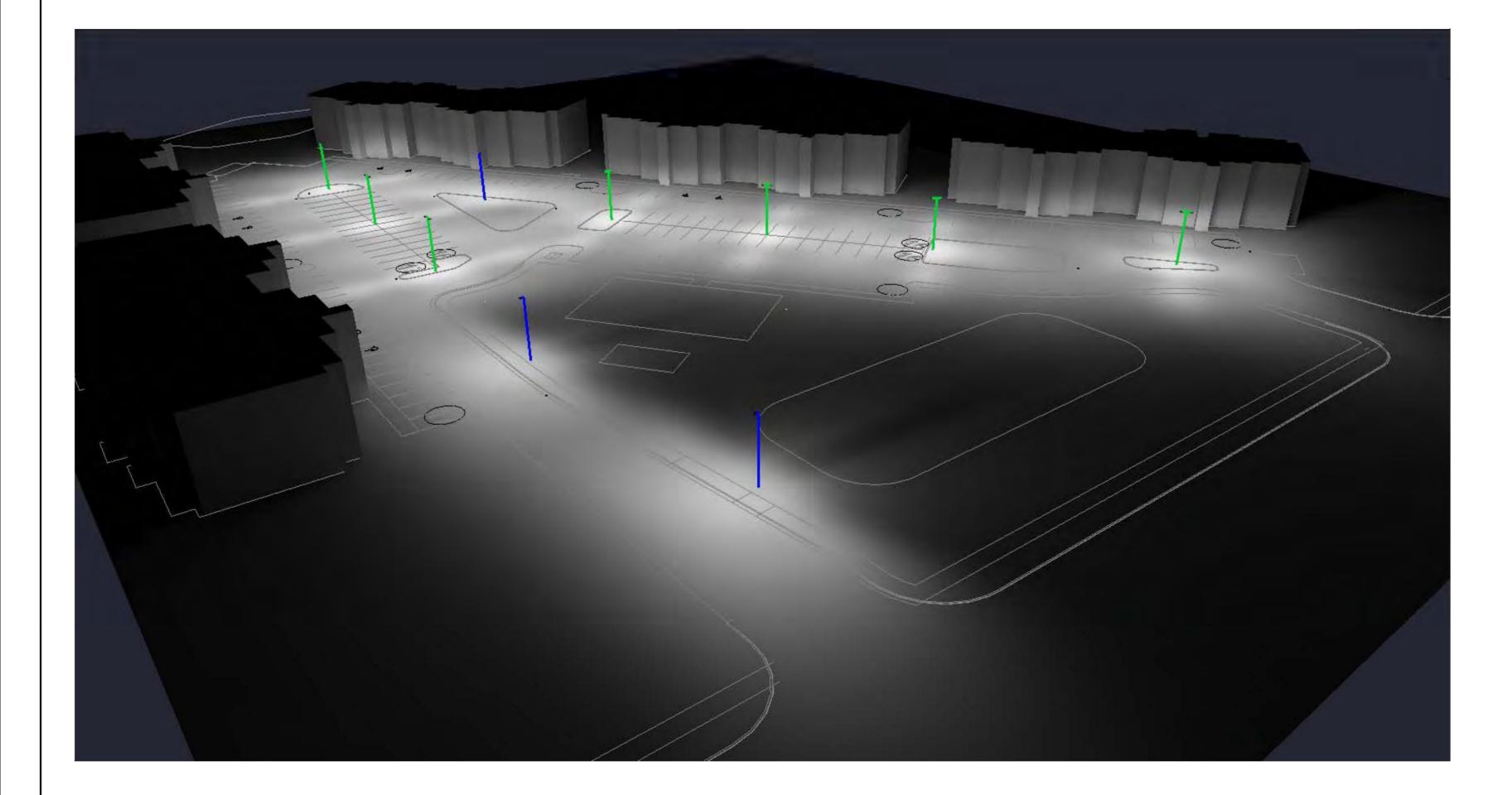


# Luminaire Schedule

Scene: GEN

Symbol	Qty	Label	Arrangement	LLD	LDD	BF	[MANUFAC]	Description	MNT HEIGHT	MNT TYPE	Ttl Watts
	3	P3	Single	0.980	0.940	1.000	COOPER - McGRAW-EDISON	GLEON-SA3B-740-U-T3	23	POLE	372
	7	P4_2	Back-Back	0.980	0.940	1.000	COOPER - McGRAW-EDISON	GLEON-SA3B-740-U-T4W	23	POLE	1736

Calculation Summary							
Scene: GEN							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DRIVE	Illuminance	Fc	2.94	7.0	0.3	9.80	23.33
PARKING AREA	Illuminance	Fc	2.80	7.0	0.5	5.60	14.00
SIDEWALK	Illuminance	Fc	1.26	2.4	0.5	2.52	4.80



# NOTES:

- CALC AT GRADE
- ALL FIXTURES ARE FULL CUT-OFF
- ALL FIXTURES HAVE PHOTOCELL/TIMER CONTROL



908C West River Center Dr Comstock Park MI 49321 PH: 616-647-2400 www.critestidey.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire
locations represent a recommended application. The engineer
and/or architect must determine the applicability of the layout
regarding existing or future field conditions.

laboratory data taken under controlled conditions in accordan with The Illuminating Engineering Society (IES) approved met Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, a other field conditions. Calculations may not include obstructio such as buildings, curbs, landscaping, or other architectural elements. Fixture nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:



AT GARFIELD

VILLAGE 1

SALES D VANTOL

DATE 5.2.2023

DESIGNER
JEN YONKERS

REVISIONS

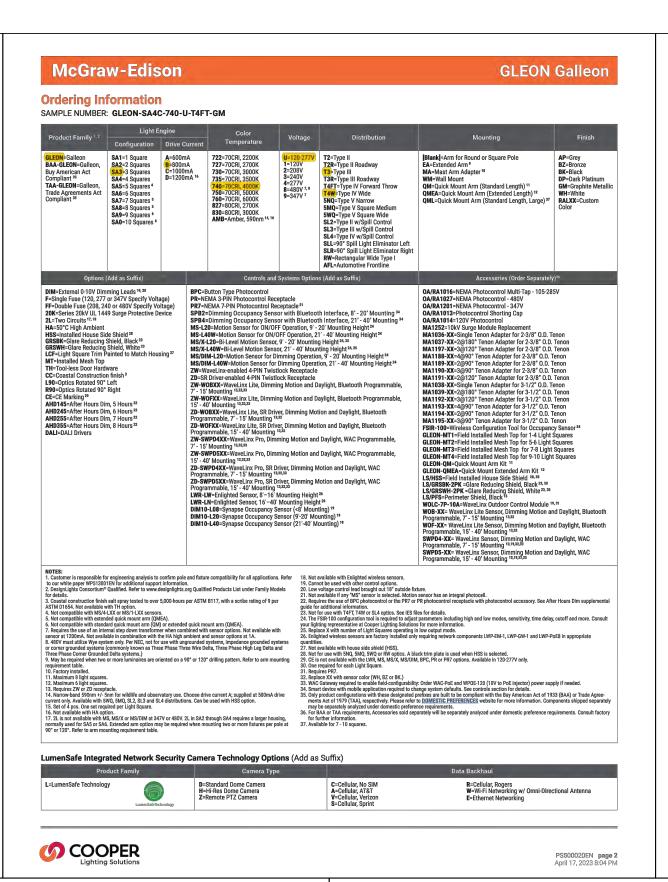
DATE	NAME
XX	XX

<u>SCHEDULES</u>

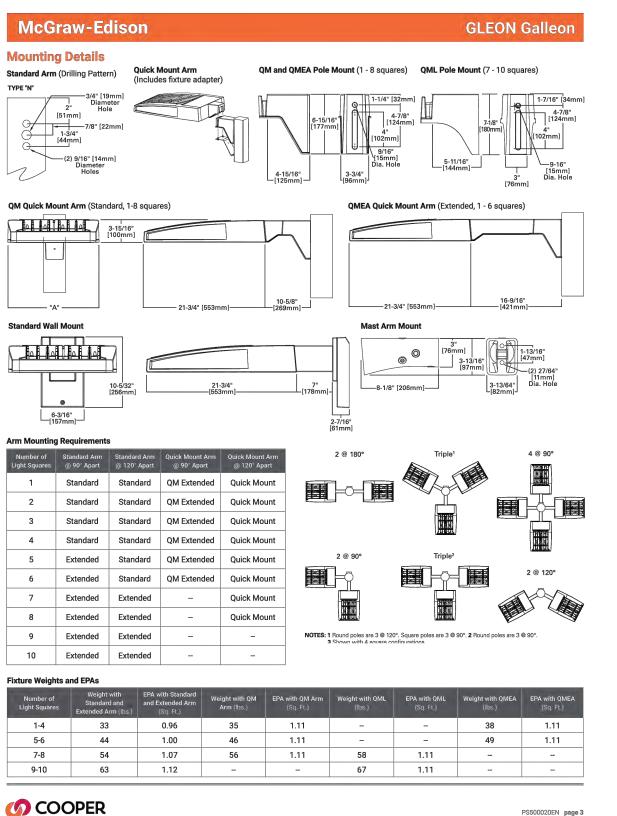
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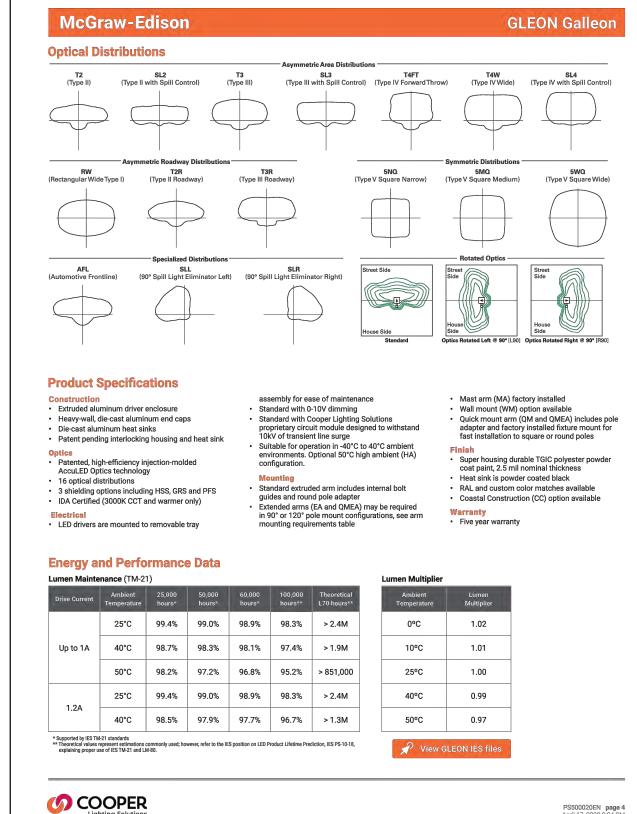
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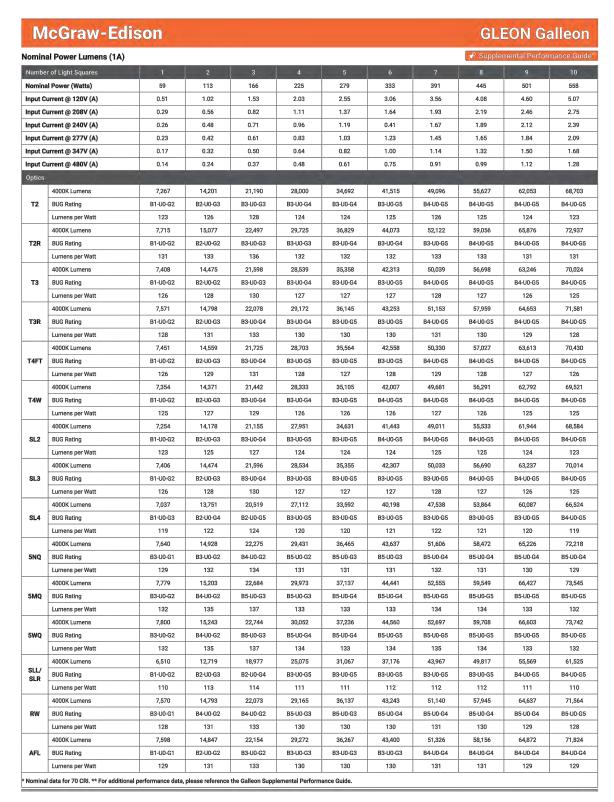


PS500020EN page 6 April 17, 2023 8:04 PM

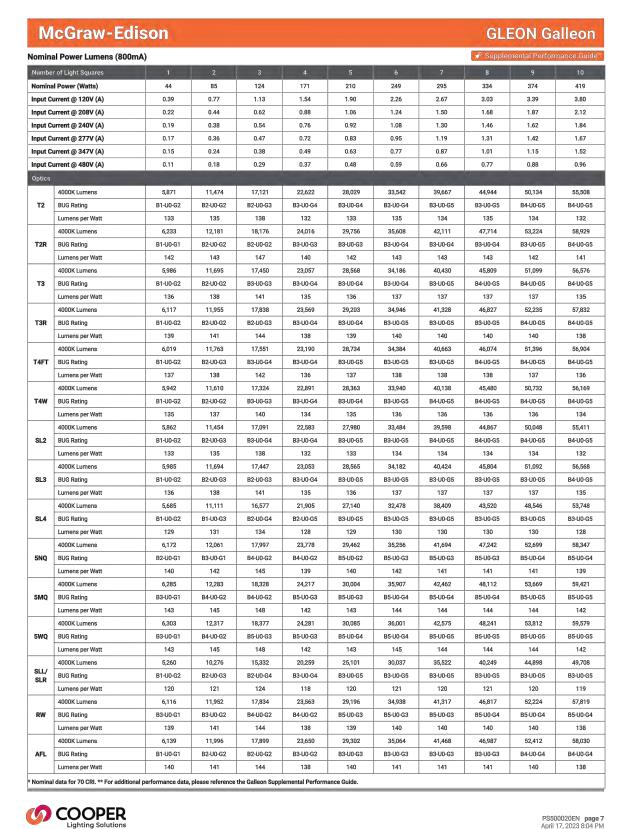




Nomina	al Power Lumens (1.2	A)	F			+	r.	ti	y Supple	mental Perfor	mance or
Numbe	r of Light Squares	1	2	3	4	5	6	7	8	9	10
Nomina	al Power (Watts)	67	129	191	258	320	382	448	511	575	640
Input C	urrent @ 120V (A)	0.58	1.16	1.78	2.31	2.94	3.56	4.09	4.71	5.34	5.87
Input Co	urrent @ 208V (A)	0.33	0.63	0.93	1.27	1.57	1.87	2.22	2.52	2.8	3.14
Input Co	urrent @ 240V (A)	0.29	0.55	0.80	1.10	1.35	1.61	1.93	2.18	2.41	2.71
_	urrent @ 277V (A)	0.25	0.48	0.70	0.96	1.18	1.39	1.69	1.90	2.09	2.36
	urrent @ 347V (A)	0.20	0.39	0.57	0.78	0.96	1.15	1.36	1.54	1.72	1.92
	urrent @ 480V (A)	0.15	0.30	0.43	0.60	0.73	0.85	1.03	1.16	1.28	1.45
Optics		-									
	4000K Lumens	7,972	15,580	23,245	30,714	38,056	45,541	53,857	61,024	68,072	75,36
T2	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-
<u> </u>	Lumens per Watt	119	121	122	119	119	119	120	119	118	118
	4000K Lumens	8,462	16,539	24,680	32,609	40,401	48,348	57,176	64,783	72,266	80,01
T2R	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-
	Lumens per Watt	126	128	129	126	126	127	128	127	126	125
	4000K Lumens	8,125	15,879	23,693	31,307	38,787	46,417	54,893	62,197	69,381	76,81
Т3	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-
	Lumens per Watt	121	123	124	121	121	122	123	122	121	120
	4000K Lumens	8,306	16,232	24,220	32,001	39,651	47,447	56,114	63,580	70,924	78,52
T3R	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-
	Lumens per Watt	124	126	127	124	124	124	125	124	123	123
	4000K Lumens	8,173	15,970	23,831	31,488	39,014	46,686	55,212	62,558	69,783	77,26
T4FT	BUG Rating	B1-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-
	Lumens per Watt	122	124	125	122	122	122	123	122	121	121
T4W	4000K Lumens	8,067 B2-U0-G2	15,764 B3-U0-G3	23,522 B3-U0-G4	31,080 B3-U0-G5	38,510 B4-U0-G5	46,082 B4-U0-G5	54,499 B4-U0-G5	61,751 B4-U0-G5	68,881 B4-U0-G5	76,26 B5-U0-
1400	BUG Rating										
	Lumens per Watt 4000K Lumens	7,958	122 15,552	123 23,206	120 30,662	120 37,989	121 45,462	122 53,763	121 60,920	120 67,952	75,23
SL2	BUG Rating	7,956 B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	84-U0-G5	84-U0-G5	84-U0-G5	84-U0-G5	75,25 B4-U0-
SLZ	Lumens per Watt	119	121	121	119	119	119	120	119	118	118
-	4000K Lumens	8,124	15,877	23,690	31,302	38,784	46,410	54,885	62,189	69,372	76,80
SL3	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-
GLS	Lumens per Watt	121	123	124	121	121	121	123	122	121	120
	4000K Lumens	7,719	15,085	22,510	29,741	36,850	44,097	52,148	59,089	65,913	72,97
SL4	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-
	Lumens per Watt	115	117	118	115	115	115	116	116	115	114
	4000K Lumens	8,380	16,375	24,436	32,287	40,003	47,870	56,610	64,144	71,552	79,22
5NQ	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-
	Lumens per Watt	125	127	128	125	125	125	126	126	124	124
	4000K Lumens	8,534	16,676	24,885	32,881	40,739	48,752	57,653	65,326	72,868	80,67
5MQ	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-
	Lumens per Watt	127	129	130	127	127	128	129	128	127	126
	4000K Lumens	8,556	16,723	24,951	32,968	40,847	48,881	57,808	65,499	73,063	80,89
5WQ	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-
	Lumens per Watt	128	130	131	128	128	128	129	128	127	126
	4000K Lumens	7,140	13,951	20,817	27,506	34,081	40,783	48,231	54,649	60,959	67,49
SLL/ SLR	BUG Rating	B1-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-
	Lumens per Watt	107	108	109	107	107	107	108	107	106	105
	4000K Lumens	8,304	16,228	24,215	31,994	39,641	47,437	56,100	63,566	70,907	78,50
RW	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-
	Lumens per Watt	124	126	127	124	124	124	125	124	123	123
	4000K Lumens	8,335	16,287	24,302	32,110	39,784	47,610	56,303	63,796	71,163	78,79
AFL	BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-
	Lumens per Watt	124	126	127	124	124	125	126	125	124	123
* Nomina	I data for 70 CRI. ** For addition	onal performance data,	please reference	the Galleon Supp	elemental Perform	ance Guide.					

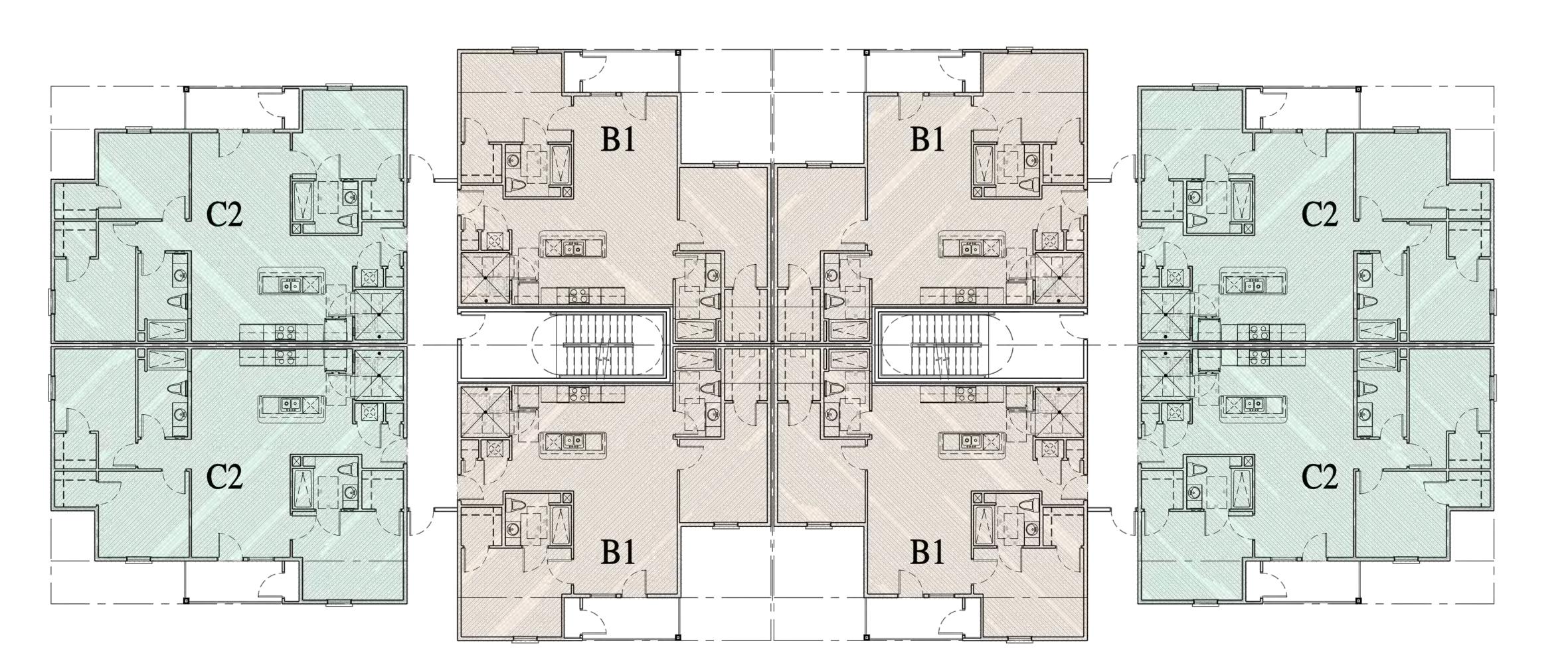


**OOOPER** 



Nomina	al Power Lumens (600mA)	)							📝 Supple	mental Perfori	mance Guid
Numbe	r of Light Squares	1	2	3	4	5	6	7	8	9	10
Nomina	al Power (Watts)	34	66	96	129	162	193	226	257	290	323
Input C	urrent @ 120V (A)	0.30	0.58	0.86	1.16	1.44	1.73	2.03	2.33	2.59	2.89
Input C	urrent @ 208V (A)	0.17	0.34	0.49	0.65	0.84	0.99	1.14	1.30	1.48	1.63
Input C	urrent @ 240V (A)	0.15	0.30	0.43	0.56	0.74	0.87	1.00	1.13	1.30	1.43
Input C	urrent @ 277V (A)	0.14	0.28	0.41	0.52	0.69	0.81	0.93	1.04	1.22	1.33
Input C	urrent @ 347V (A)	0.11	0.19	0.30	0.39	0.49	0.60	0.69	0.77	0.90	0.99
Input C	urrent @ 480V (A)	0.08	0.15	0.24	0.30	0.38	0.48	0.53	0.59	0.71	0.77
Optics											
	4000K Lumens	4,787	9,357	13,961	18,448	22,856	27,353	32,347	36,651	40,884	45,265
T2	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	141	142	145	143	141	142	143	143	141	140
	4000K Lumens	5,083	9,934	14,822	19,585	24,266	29,038	34,341	38,911	43,404	48,055
T2R	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
	Lumens per Watt	150	151	154	152	150	150	152	151	150	149
	4000K Lumens	4,880	9,537	14,231	18,803	23,296	27,878	32,970	37,358	41,671	46,137
тз	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	144	145	148	146	144	144	146	145	144	143
	4000K Lumens	4,988	9,749	14,547	19,220	23,814	28,497	33,703	38,188	42,598	47,162
T3R	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	147	148	152	149	147	148	149	149	147	146
	4000K Lumens	4,909	9,591	14,312	18,911	23,432	28,040	33,161	37,574	41,913	46,404
T4FT	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	144	145	149	147	145	145	147	146	145	144
	4000K Lumens	4,845	9,468	14,128	18,668	23,130	27,678	32,732	37,088	41,371	45,805
T4W	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	143	143	147	145	143	143	145	144	143	142
	4000K Lumens	4,779	9,341	13,937	18,416	22,818	27,305	32,292	36,589	40,813	45,188
SL2	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	141	142	145	143	141	141	143	142	141	140
	4000K Lumens	4,879	9,536	14,229	18,800	23,294	27,874	32,965	37,351	41,666	46,130
SL3	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	144	144	148	146	144	144	146	145	144	143
	4000K Lumens	4,637	9,059	13,519	17,863	22,132	26,486	31,322	35,490	39,589	43,831
SL4	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
021	Lumens per Watt	136	137	141	138	137	137	139	138	137	136
	4000K Lumens	5,033	9,835	14,676	19,392	24,026	28,751	34,002	38,526	42,975	47,581
5NQ	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
SHQ	Lumens per Watt	148	149	153	150	148	149	150	150	148	147
	4000K Lumens	5,126	10,015	14,946	19,747	24,468	29,281	34,628	39,236	43,766	48,457
5MQ	BUG Rating	9,126 B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	85-U0-G4	85-U0-G4	45,700 B5-U0-G4	85-U0-G4
OMQ	Lumens per Watt	151	152	156	153	151	152	153	153	151	150
	4000K Lumens	5,139	10,043	14,985	19,801	24,533	29,359	34,721	39,339	43,883	48,586
5WQ	BUG Rating	5,139 B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	85-U0-G4	B5-U0-G4	45,665 B5-U0-G5	46,566 B5-U0-G5
JHQ	Lumens per Watt	151	152	156	153	151	152	154	153	151	150
	4000K Lumens	4,289	8,380	12,502	16,520	20,469	24,494	28,967	32,823		40,537
SLL/	BUG Rating	4,289 B1-U0-G2	8,380 B1-U0-G3	12,502 B2-U0-G3	B2-U0-G4	20,469 B3-U0-G4	24,494 B3-U0-G5	28,967 B3-U0-G5	32,823 B3-U0-G5	36,613 B3-U0-G5	40,537 B3-U0-G5
SLR	Lumens per Watt			130			127	128	128		126
		126	127		128 19,215	126			38,178	126 42,587	
Diff	4000K Lumens	4,987	9,746	14,543		23,808 B4-U0-G2	28,491 P5-U0-C3	33,695			47,151
RW	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2		B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
	Lumens per Watt	147	148	151	149	147	148	149	149	147	146
A = 7	4000K Lumens	5,007	9,782	14,597	19,285	23,896 B3-U0-G2	28,594	33,817	38,317	42,742 P2.110.02	47,322 B3-U0-G3
AFL	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2		B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	
	Lumens per Watt  I data for 70 CRI. ** For additional p	147	148	152	149	148	148	150	149	147	147

McGraw-Edison			GLEON Galleor
Control Options			
0-10V (DIM)	Dilit ention provides 0.10V dr	guire loade for use with a li-bala a sector large	other central method
This fixture is offered standard with 0-10V dimming driver(s). The Photocontrol (BPC, PR and PR7)	DIM option provides 0-10V dimmin	g wire leads for use with a lighting control panel or	other control method.
Optional button-type photocontrol (BPC) and photocontrol recept systems compatible with NEMA 7-pin standards can be utilized with		le solution to enable "dusk-to-dawn" lighting by ser	sing light levels. Advanced control
After Hours Dim (AHD) This feature allows photocontrol-enabled luminaires to achieve ac after a "dusk-to-dawn" period has been calculated from the photoc wiring. Reference the After Hours Dim supplemental guide for add	control input. Specify the desired o		
Dimming Occupancy Sensor (SPB, MS/DIM-LXX, MS/X-LXX and M These sensors are factory installed in the luminaire housing. When naire dims when there is no activity detected. When activity is det power with a time delay of five minutes. The MS-LXX sensor is factrols the specified number of light engines to maintain steady out to change factory default dimming level, time delay, sensitivity and power with a time delay of five minutes. The MS/DIM occupancy s	n the SPB or MS/DIM sensor option ected, the luminaire returns to full I torry preset to turn the luminaire of put from the remaining light engine d other parameters. Available for i	ight output. The MS/DIM sensor is factory preset to f after five minutes of no activity. The MS/X-LXX is s. SPB motion sensors require the Sensor Configur DS and Android devices. The SPB sensor is factory	o dim down to approximately 50 percent also preset for five minutes and only con ation mobile application by Wattstopper
For mounting heights up to 8' (-L08)		For mounting heights up to 20' (-L20)	
8 2 36 24 18 7 5 0 5 7 18	24 36 erage Side Area (Feet)	5	
	•	15	
For mounting heights up to 40' (-L40W)		20 20 18 15 12 9 6 3 0 3	6 9 12 15 18 20
Enlighted Wireless Control and Monitoring System (LWR-LW and Enlighted is a connected lighting solution that combines a broad s system in compliance with the latest energy codes and collects ve information through energy dashboards and specialized apps that	selection of energy-efficient LED lu aluable data about building perforn	minaires with a powerful integrated wireless senso nance and use. Software applications turn the gran	r system. The sensor controls the lighting
For mounting heights from 8' to 16' (LWR-LW)		For mounting heights from 16' to 40' (LWR-LN	)
		20	
16		40	
24 8 18 0 8 <b>Co</b>	18 24 verage Side Area (Feet)	40 30 20 10 0	10 20 30 40 Coverage Side Area (Feet)
WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-1 The 7-pin wireless outdoor lighting control module enables WaveL dimming controls based on astronomic or time schedules based of	inx to control outdoor area, site an	d flood lighting. WaveLinx controls outdoor lighting	using schedules to provide ON, OFF and
LumenSafe Integrated Network Security Camera (LD) Cooper Lighting Solutions brings ease of camera deployment to a wh security integrators to design the optimal solution for active surveilla outdoor-ready fixed dome that provides HDTV 1080p video. This IP o	nce. As the ideal solution to meet the	ne needs for active surveillance, the LumenSafe integ	rated network camera is a streamlined,
Synapse (DIM10) SimplySNAP integrated wireless controls system by Synapse. Incl components for operation. Contact Synapse at <a href="https://www.synapsewire">www.synapsewire</a>	ludes factory installed DIM10 Syna	pse control module and FSP-201 motion sensor; re	
components for operation, contact synapse at www.synapsewire	ror product support, war	rancy and terms and conditions.	
COOPER	Cooper Lighting Solutions 1121 Highway 74 South Peachtree City, GA 30269	© 2023 Cooper Lighting Solutions All Rights Reserved.	



Frank W.

Michigan Architect 1302072064 architects original signature on file

Project No. **220915** Issue Drawing Log

4 May 2023 Review

These documents are the renderings of a professional service, the essence of which is the providing of advice, judgment, opinion or similar professional skill.

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First Floor Plan Bldg I

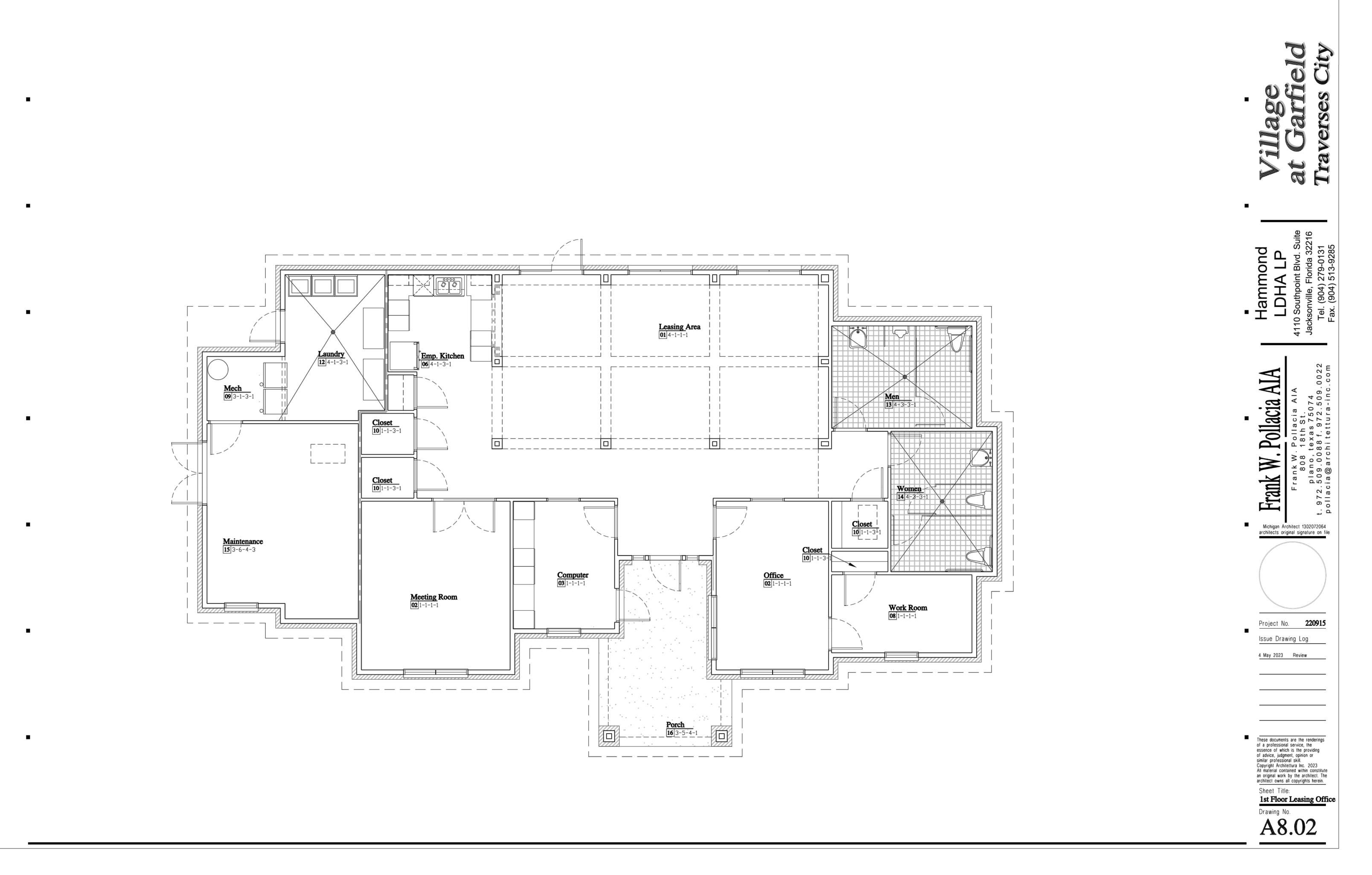
Drawing No.
A2.01b

First Floor Plan Bldg Type I

SCALE: 1/8" = 1'-0"

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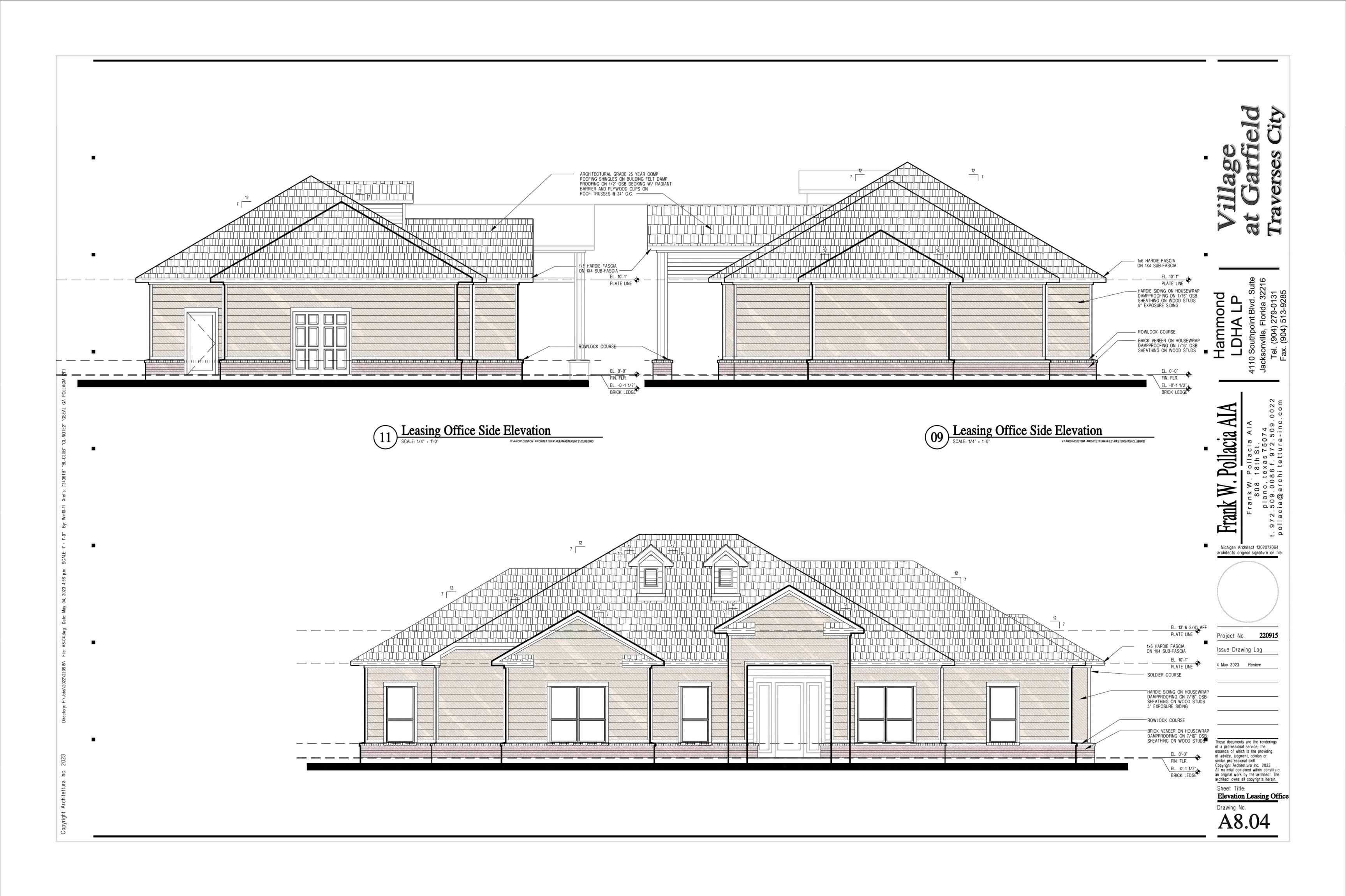




Directory: F:\Jobs\2022\220915\ File: A8-02.dwg Date: May 04, 2023 4:51 p.m. SCALE: 1/8" = 1'-0" By: Win10-11 Xref's: ("2436TB" "BL-C

right Architettura Inc. 2023

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- ARCHITECTURAL GRADE 25 YEAR COMP ROOFING SHINGLES ON BUILDING FELT DAMP PROOFING ON 1/2" OSB DECKING W/ RADIANT BARRIER AND PLYWOOD CLIPS ON ROOF TRUSSES @ 24" O.C. HARDIE FASCIA ON 2X4 SUB-FASCIA - 1x6 HARDIE FASCIA
 ON 1X4 SUB-FASCIA PLATE LINE • 4 May 2023 Review HARDIE SIDING ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS 5" EXPOSURE SIDING SOLDIER COURSE HARDIE SIDING ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS 5" EXPOSURE SIDING \_ ROWLOCK COURSE BRICK VENEER ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS -BRICK VENEER ON HOUSEWRAP DAMPPROOFING ON 7/16" OSB SHEATHING ON WOOD STUDS ROWLOCK COURSE -EL. 0'-0" EL. -0'-1 1/2" BRICK LEDGE Sheet Title: O1 Leasing Office Rear Elevation

SCALE: 1/4" = 1'-0" V:\ARCH\CUSTOM ARCHITETTURA\FILE\MASTERSHTS\CLUBGRID

architects original signature on file

Project No. **220915** Issue Drawing Log

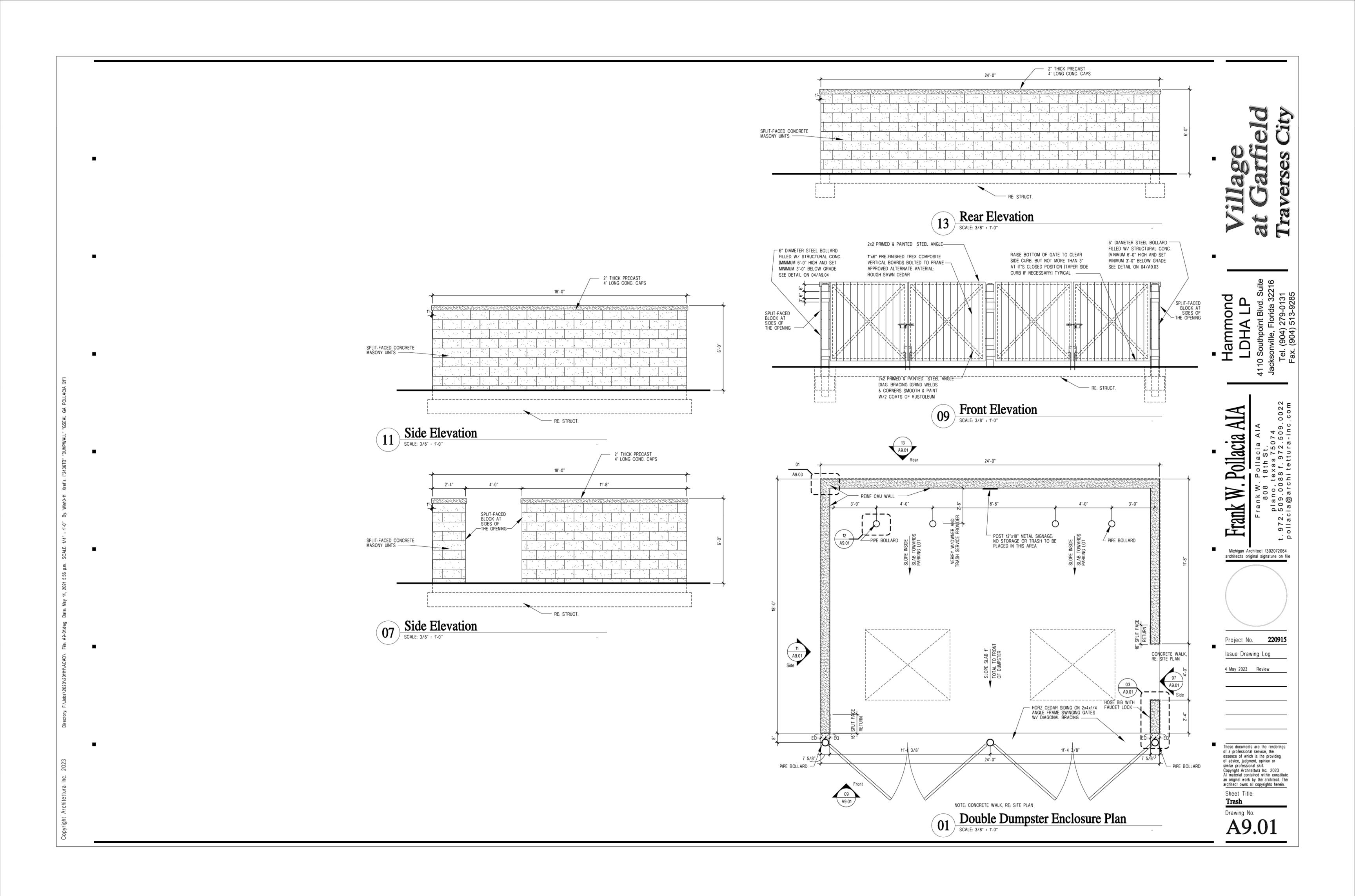
These documents are the renderings of a professional service, the essence of which is the providing of advice, judgment, opinion or similar professional skill.

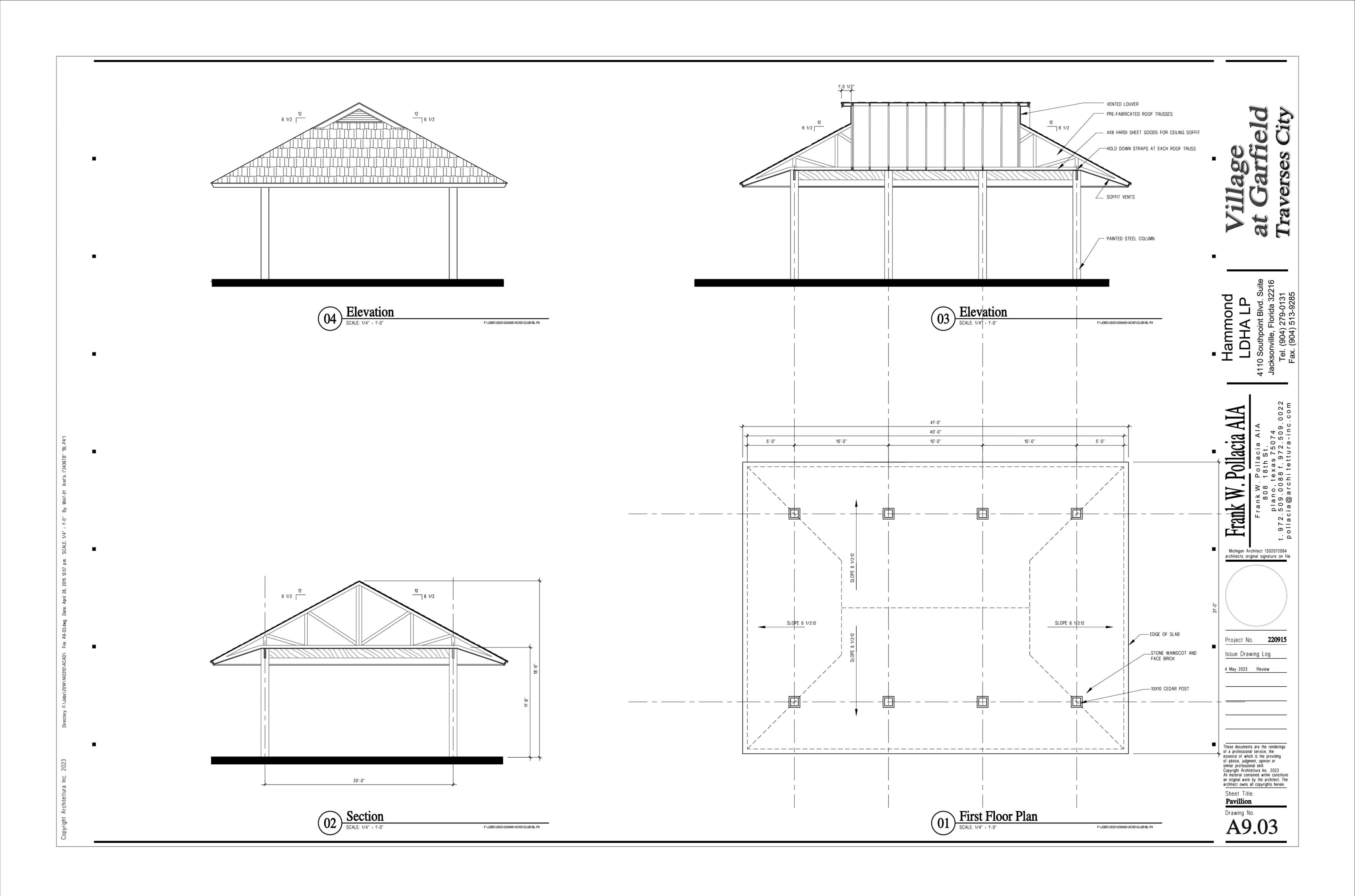
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Elevation Leasing Office

Drawing No. A8.05





Ch Pla	narter Township of Garfield anning Department Report No. 202	23-84
Prepared:	July 5, 2023	Pages: 7
Meeting:	July 12, 2023 Planning Commission	Attachments:
Subject:	716 Boon Street Special Use Permit – Publ	ic Hearing
File No.	SUP-2023-02	Parcel No. 05-135-008-00
Applicant:	Jamie Kirschner and Nicole Martin	
Owner:	Leasewell, Inc.	
Agent:	Ryan A. Cox, PE	

#### **BRIEF OVERVIEW:**

Location: 716 Boon Street, southeast corner of Boon Street and Woodmere Avenue

Parcel area: 0.45 acres

Existing land use: Vacant tenant space (commercial kitchen elsewhere in building)

Existing zoning: I-G – General Industrial

This application was introduced at the June 14, 2023 Planning Commission meeting. A public hearing was scheduled for the July 12, 2023 Planning Commission meeting.

#### **PURPOSE OF APPLICATION:**

This application proposes a new photography studio in an existing multi-tenant building at 716 Boon Street. The use is described as a "Professional Studio" within the Zoning Ordinance and may be permitted via the Special Use Permit process in the I-G General Industrial zoning district.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):





### SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

#### **STAFF COMMENTS:**

The site plan has been updated since the introduction, and the updated site plan is attached to this report. Staff offers the following comments on the updated site plan regarding site design and compliance with the Zoning Ordinance:

#### Background

Staff have researched the previous approvals for this site. The approval for the building was granted by the Garfield Township Zoning Board of Appeals on February 21, 1984. The existing building includes three tenant spaces; the proposed photography studio would occupy the unit at 716 Boon Street. Other uses as indicated on the site plan include Center City Kitchen at 700 Boon Street and Factory Man Roasting Co. at 708 Boon Street. The existing uses are listed as commercial kitchens on the site plan; a commercial kitchen is described as a "Catering Establishment" within the Zoning Ordinance definitions.

#### **Dumpster Enclosure**

All dumpster enclosures "shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material," per Section 516 of the Zoning Ordinance, and shall include an "opaque gate constructed of wood or similar material." Details for the enclosure gate are shown on the site plan. Details on materials for the dumpster enclosure need to be provided to ensure the standards of Section 516 are met.

#### Lighting

Lighting standards are described in Section 517 of the Zoning Ordinance. The site plan shows eight total existing light fixtures, two pole-mounted and six wall-mounted. The site plan indicates that all lighting is existing fixtures. However, all lighting shall comply with the requirements of Section 517, including the following:

Zoning Ordinance Lighting Standard	Subject Site
A. Applicability – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.
B. Shielding and Filtration – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	The existing fixtures are all listed on the site plan as downward shielded. No photometric plan was provided, nor were any cut sheets for the lighting fixtures, however no changes are proposed to the existing lighting and fixtures.
C. Illumination – Average illumination levels shall not exceed 3.0 foot-candles (FC) for the main parking area, 2.0 FC for the peripheral parking area, 5.0 FC for main drive areas, and 20.0 FC directly below the lighting fixture. The illumination levels shall also not exceed 1.0 FC adjoining another nonresidential zoning district along a property line, or 2.0 FC along an arterial. Average lighting values of illuminated areas ranging from 0.5 to 1.5 FC are recommended.	No photometric plan was provided; however, no changes are proposed to the existing lighting and fixtures.

Zoning Ordinance Lighting Standard	Subject Site
D. Color Temperature – All proposed lamps shall emit light measuring 3,500 K or warmer.	No information was provided regarding the color temperature of the existing light fixtures. A cut sheet for the existing fixture can help determine if this standard is met.
E. Prohibitions – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	Based on the information provided, no prohibited lighting elements are proposed.
F. Pole Height – All pole-mounted lighting shall not exceed the maximum zoning district height.	The heights of the existing light poles were not indicated on the site plan. However, no changes are proposed to the existing lighting and fixtures. The site plan indicates that there are also pole lights provided and installed by TCLP providing lighting to the parking area.

#### Landscaping

Landscaping requirements are described below for each length of greenspace area (e.g., without including the ingress and egress drives) for each lot line. As part of the original site plan review from 1984, the ZBA did an interpretation of a section of the Zoning Ordinance in place at that time, as described in the minutes:

"The Zoning Ordinance requires a 10 foot green area on side lot lines. In this case, this is a corner lot (Boon and Woodmere Streets). There is already going to be a green area on the property and he does not see a need for an additional 10 feet of green area on the side lot line."

The motion for approval acknowledged the interpretation to remove the requirement for the green area on the side lot line. Based on the available information and the existing green area along Woodmere, the side lot line is understood to be the side facing Boon Street. The decision runs with the land, therefore there is no requirement for a green space or no-build buffer along the Boon Street lot line. The other landscaping requirements are as follows:

Parcel Line (Length) &	Buffer Planting	Amount Required	Amount Provided
Adjacent Land Use	Requirement		
East (98 ft.) Single-family residential (I-G zoning)	Type "D"  * Ground cover as specified in Section 530.J, plus  * 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100	4 large trees 3 med./small trees 3 evergreen trees 20-foot width	1 existing oak tree 3 large trees (sugar maple) 3 med. trees (N. white cedar) 3 evergreens (black spruce) 15-foot width
South (208 ft.) Single-family residential (I-G zoning)	linear feet of greenspace * Minimum width: 20 feet	9 large trees 7 med./small trees 7 evergreen trees 20-foot width	6 existing oak trees 1 existing cherry tree 0 large trees 0 med./small trees 0 evergreen 10-foot width

Parcel Line (Length) &	Buffer Planting	Amount Required	Amount Provided
Adjacent Land Use	Requirement		
West (80 ft.)	Type "C"	3 large trees	2 existing oak trees
Primary Road (Woodmere	* Ground cover as specified	3 med./small trees	0 large trees
Avenue, Major Collector)	in Section 530.J, plus	1 evergreen tree	0 med./small trees
	* 3 large trees, 3 medium or	10-foot width	1 evergreen (black spruce)
	small trees, and 1 evergreen		30-foot width +
	or coniferous trees per 100		
	linear feet of greenspace		
	* Minimum width: 10 feet		

Section 530.L allows for existing landscaping to be credited towards landscaping requirements, including greater credit for larger trees. All existing oak trees are listed as greater than 12" caliper, which allows for credit at a 1:5 ratio.

Section 530.H states that the "Planning Director in the case of a site diagram or administrative site plan, or the approval authority in all other cases may waive or adjust any requirement of this section in whole or in part provided that one or more of the following conditions exist upon the site:"

- (1) Existing conditions such as topography or vegetation provide an established screen or buffer which is equal to or superior in its ability to meet the Purpose of this Section. For the purposes of this subsection, vegetation requirements may be adjusted either in terms of the quantity of plantings otherwise required or in terms of the physical location of plantings otherwise required.
- (2) Decorative walls or fencing will be provided in lieu of all or some required plantings to provide an equal or superior buffer to meet the Purpose of this Section.
- (3) Natural features such as steep slopes or other topographical features make full compliance impractical or impossible.
- (4) Space limitations on the site or prevailing development patterns in the surrounding neighborhood justify alternative compliance.
- (5) Safety considerations warrant flexibility upon the site.
- (6) No practicable alternative in the placement of a building, structure, street or utility construction, access drives, stormwater management facilities, trails or pathways, or other site improvements is available.
- (7) In the instance of a waiver being requested, a modification request shall only be approved upon a determination that the existing site conditions or developed form of a property are such that the requirements of this section cannot reasonably be completed, that an alternative landscaping plan cannot be reasonably be substituted, and that the requested modification is the minimum modification necessary resulting from such site conditions or developed form.

Based on the existing landscaping, proposed additional landscaping, and existing site layout, Staff is of the opinion that the following may be appropriate for the Planning Commission to consider:

- East buffer Several trees are proposed to meet the planting requirement, so long as the trees are maintained. The proposed width is only 15 feet. There appears to be enough space on the site to provide a 20-foot-wide buffer per the requirements.
- **South buffer** No additional trees are proposed. So long as the existing landscaping is maintained, a waiver may be considered as appropriate for the limited buffer width and the lack of evergreen trees, given the size of the existing trees.

• West buffer – An additional evergreen tree is proposed. With this evergreen tree and so long as the existing landscaping is maintained, the landscaping buffer may be considered as fulfilled given the size of the existing trees.

#### Parking, Loading, and Snow Storage

Proposed and existing uses include Professional Studio and Catering Establishment. Neither of these uses are specifically listed in Table 5-47 Required Parking Standards. With two existing industrial uses in the commercial kitchens, and with a proposed studio which may be permitted in this district via the special use permit process, the closest use in Table 5-47 may be "Industrial or manufacturing establishments, research testing laboratories, low volume retail and related accessory offices." This has the parking requirement of 5 spaces plus 1 for each 1.5 employees in the largest working shift. The site plan indicates 7 total employees across the three tenants, giving a minimum parking requirement for 12 spaces. The existing parking lot is shown on the site plan with 15 total spaces for all three tenants, which meets the parking requirement.

There has been double-parking on this site, as shown in the (Google Maps) street view image below. The parking lot shall be striped for single-row parking only as depicted on the site plan. There shall also be no parking in areas not shown as parking lots on the site plan, including the east and west sides of the building.



Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces; a bicycle rack is proposed near the west end of the building. Details for the bicycle rack shall be provided.

The building is shown as 5,233 square feet. Based on this building's size, one small loading space shall be provided which is at least 10 feet wide by 20 feet long. A 20-foot by 30-foot loading space is shown on the west side of the building, accessed from Woodmere Avenue.

As required by Section 551 of the Ordinance, a ratio of 10 square feet of snow storage is required per 100 square feet of parking area and that snow storage shall be located to prevent damage to landscaping required by this Ordinance. Snow storage calculations are shown on the site plan, but these are calculated using the number of parking spaces instead of the overall paved area including maneuvering lanes and are shown using a 1% snow storage ratio instead of a 10% ratio. Snow storage calculations shall be corrected using the entire parking lot area including maneuvering lanes, and the total required snow storage area shall be provided.

#### Sidewalk

Section 522.B indicates that for "safety purposes, sidewalks shall be constructed within the interior of the development to link buildings with other destinations, such as, but not limited to, parking, adjoining streets, mailboxes, trash disposal, adjoining sidewalks or greenways, and on-site amenities..." The site plan shows a sidewalk connection from the existing sidewalk on Woodmere Avenue to the building entrance.

#### Signage

A note on the site plan indicates "Signs area subject to sign permit review. Site signage to be in compliance with Section 630 of the Zoning Ordinance."

#### Agency Reviews

The application is subject to additional reviews from other outside agencies including but not limited to the Township Engineer, Metro Fire, Grand Traverse County Department of Public Works, and Grand Traverse County Soil Erosion and Sedimentation Control. An escrow application, including the escrow amount of \$500 for stormwater review, was submitted.

#### **ACTION REQUESTED:**

Following the public hearing and Planning Commission discussion, if the Planning Commission is prepared to direct Staff to prepare Findings of Fact, the following motion is offered for consideration:

MOTION TO direct staff to prepare Findings of Fact for application SUP-2023-02, submitted by Jamie Kirschner and Nicole Martin for a Special Use Permit for a professional studio at 716 Boon Street, Parcel #05-135-008-00, subject to the following additional information being provided by the applicant (items 1-7 as indicated in Planning Department Report 2023-84):

- 1. Details on materials for the dumpster enclosure need to be provided.
- 2. All lighting shall comply with the requirements of Section 517 of the Zoning Ordinance. A cut sheet for the existing fixture can help determine if these standards are met, including the color temperature requirement.
- 3. Landscaping requirements shall be met unless the Planning Commission grants a waiver for specific landscaping requirements.
- 4. The parking lot shall be striped for single-row parking only as depicted on the site plan. There shall also be no parking in areas not shown as parking lots on the site plan, including the east and west sides of the building.
- 5. Details for the bicycle rack shall be provided.
- 6. Snow storage calculations shall be corrected using the entire parking lot area including maneuvering lanes, and the total required snow storage area shall be provided.
- 7. The application is subject to additional reviews from other outside agencies including but not limited to the Township Engineer, Metro Fire, Grand Traverse County Department of Public Works, and Grand Traverse County Soil Erosion and Sedimentation Control.

Any additional information the Planning Commission deems necessary should be added to this motion.

#### Attachments:

- 1. Special Use Permit Application (dated May 10, 2023), Approval Criteria, and Impact Assessment.
- 2. Site Plan (dated July 4, 2023) and Vicinity Map.



## **Charter Township of Garfield**

**Grand Traverse County** 

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

## SPECIAL USE PERMIT (SUP) APPLICATION

#### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

CTIO			
	New Special Use P	ermit	
	Major Amendment		
	Minor Amendment		
	Administrative Ame	ndment	
	-07 / DEL/EL 001		
KOJE	Drofossional Dhoto		
0011		graphy Studio at 716 Boon St	
PPLI	CANT INFORMATIO		
	Name:	Jamie Kirschner and Nicole Martin	
	Address:	1450 W Outer Dr, Traverse City MI and 111	49 E Meadow View Drive, Suttons Bay MI
		105 105 555 555 555 555	
	Phone Number:	405-406-2734, 231-432-0211	
	Phone Number: Email:	jamiek@crackerjackphotography.com	hello@nmartinphoto.com
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	Email:  TINFORMATION  Name: Address: Phone Number: Email:	jamiek@crackerjackphotography.com	hello@nmartinphoto.com
	Email:  TINFORMATION  Name: Address: Phone Number: Email:  R INFORMATION  Name:	jamiek@crackerjackphotography.com	hello@nmartinphoto.com

	no person to a		person for all correspondence and questions:		
Applica	ant:	Jamie Kirs	schner		
Agent:					
Owner					
PROPERTY IN	FORMATION				
Proper	ty Address:	716 Boon	St., Traverse City MI 49686		
	ty Identificatio		05-135-008-00		
	Description:		The south 103 ft of the north 148 ft of Lot 33 except the east 200 feet thereof		
	District:		General Mixed-Use Industrial Business		
	Plan Future L	and Use De	esignation: Industrial		
	f Property (ac		0.45		
Existin	g Use(s):	716 Boon	St. is currently unoccupied		
Propos	sed Use(s):	Profession	al Photography Studio		
PROJECT TIM			ASAP as approved by township (May-August 2023)		
	ted Start Date ted Completion		no construction project proposed		
REQUIRED SU					
		pecial Use i	Permit consists of the following:		
	tion Form:				
	One original				
		opy of the a	pplication (PDF only)		
Applica	tion Fee:				
			resolution of the Garfield Township Board and are set out in the current Fee		
	Schedule as	listed on	the Planning Department page of the Township website (http://www.garfield-		
	twp.com). Ple	ease make	check out to Charter Township of Garfield.		
	Fee				
Escrow	Escrow Fee:				
	Additional fee	es may be n	equired if a review by independent professional help is deemed necessary by the		
	Township. If	required, su	uch additional fees must be placed in escrow by the applicant in accordance with		
	the escrow p	olicies of th	ne Township and prior to any further processing of this application. Any unused		
	escrow funds	s shall be re	turned to the applicant. Please complete an Escrow and Review (ER) Application		

Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)

Page 2 of 8

Site Development Plan:

Two complete bound 24"x36" paper sets

One digital set (PDF only)

vritter	information:
	Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
	One digital copy of the Approval Criteria (PDF only)
	Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
	One digital copy of the Impact Assessment (PDF only)
Digital	items to be delivered via email or USB flash drive

#### SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

#### WAIVERS

#### Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- The erection or enlargement of an accessory structure;
- The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

#### Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

#### SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

#### APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

Z	The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and
	appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
Z	The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public
	welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
Ø	Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be
	minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
Ø	The proposed use will retain as many natural features of the property as practicable, particularly where the natural
170	features assist in preserving the general character of the neighborhood;
Z	Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
V	The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the
- 7	public health, safety, morals, comfort, or general welfare;
Z	The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that
	are adversely affected by the establishment of the proposed use;
Z	Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to
	minimize traffic congestion on the public roads;
Z	Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets
	and sidewalks servicing the site in a safe and convenient manner; and
Ø	The proposed use shall not impede the orderly development and improvement of surrounding property for uses
	permitted within the zoning district.
IMPA	CT ASSESSMENT
A writ	ten impact statement to include the following information:
	A written illustrative description of the environmental characteristics of the site prior to development, i.e.,
	topography, soils, vegetative cover, drainage, streams, creeks or ponds.
	Types of uses and other man-made facilities.
	The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
	Phasing of the project including ultimate development proposals.
	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams
	wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on
	the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
	The method to be used to serve the development with water and sanitary sewer facilities.
	The method to be used to control drainage on the site and from the site. This shall include runoff control during
	periods of construction.
	If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health

Department or other responsible public agency indicating approval of plans for sewage treatment.

П	The method to be used to control any increase in effluent di emanating from the site. Consideration of any nuisance that	0.444.70 1.240 1.361 1.3			
	whether by reason of dust, noise, fumes vibration, smoke of		within the s	ite or external to the	site
П	그리고 보다 되었다. 그는 그들은 내내가 하는 것이 없는 것이 없는 것이 없는데 얼마를 하는데 모든데 하다.				
	An indication of how the proposed use conforms with existing adverse effects.	ng and potential de	velopment	patterns and any	
	The proposed density in units per acre for residential development	nments			
	Name(s) and address(es) of person(s) responsible for preparation		+		
	Description of measures to control soil erosion and sedimer			etruction operations	
_	and until a permanent ground cover is established. Recomm				m
	the County Soil Erosion and Sedimentation office.	nondations for such	Titleasures	may be obtained in	111
	Type, direction, and intensity of outside lighting.				
	General description of deed restrictions, if any.				
W.	ITIONAL INFORMATION				
If app	olicable, provide the following further information:			Not	
A. S	anitary Sewer Service	Yes	No	Applicable	
	Does project require extension of public sewer line?				
	If yes, has a Utility Agreement been prepared?				
2. W	Vill a community wastewater system be installed?				
	If yes, has a Utility Agreement been prepared?			Z	
	If yes, provide construction plans and specifications			- 2-	
3. V	Vill on-site disposal be used?				
	If yes, is it depicted on plan?			<b>Z</b> I	
B. <u>W</u>	later Service				
1. D	oes project require extension of public water main?				
	If yes, has a Utility Agreement been prepared?				
2. V	Vill a community water supply be installed?				
	If yes, has a Utility Agreement been prepared?				
	If yes, provide construction plans and specifications				
C. <u>P</u>	ublic utility easements required?				
	If yes, show on plan.				
D. <u>St</u>	tormwater Review/Soil Erosion				
1. S	oil Erosion Plans approved by Soil Erosion Office?	Ш			
	If so, attach approval letter.				
	If no, are alternate measures shown?				
2. St	ormwater Plans approved by Township Engineer?				
	If so, attach approval letter. Review to take place after	application subn	nission pe	er engineer.	
	If no, are alternate measures shown?	П	П	Ш	
	Note: Alternate measures must be designed and sealed by	a registered Engine	eer.		

Page 5 of 8 SUP - Form Date: March 1, 2021

E.	Roads and Circulation			
1.	Are interior public streets proposed?			
	If yes, has Road Commission approved (attach letter)?			
2.	Will public streets connect to adjoining properties or future streets?			
3.	Are private roads or interior drives proposed?			
4.	Will private drives connect to adjoining properties service roads?			
5.	Has the Road Commission or MDOT approved curb cuts?			
	If yes, attach approved permit.			
0	THER INFORMATION			
	there is any other information that you think may be useful in the resplication or explain it on a separate page.	view of this	application, p	lease attach it to th
RI	EVIEW PROCESS			
	<ul> <li>Upon submittal of this application, Staff will review the materials sufforward a determination of completeness to the applicant. If the sub Zoning Ordinance, it will be returned to the applicant for revision. Or review it for completeness and again forward a determination to the This procedure shall be repeated until a complete submission is received.</li> <li>Once the application is deemed to be complete and submitted action forwarded to the Planning Commission for review. The Planning Complete and schedule a public hearing.</li> <li>Upon holding a public hearing, the Planning Commission may approposed special use.</li> <li>If approved or approved with conditions, the decision of the Plan written report and decision order.</li> </ul>	omission is in Once the sul the applicant eived. ecording to the Commission pprove, app	ncomplete or incomplete or inc	noncompliant with the vised, Staff will again (0) working days.  I deadlines, it will be if the application in additions, or deny the
P	ERMISSION TO ENTER SUBJECT PROPERTY			
	ermission is hereby granted to Garfield Township staff and Planning Com oplication for the purposes of making inspections associated with this ap			그렇게 걸어 먹는 없이 아래 하는 것이 없었다.
	ours.	r	g noma an	. Joseph Working
0	wner Signature:	-1 -0-	1 0 D.	MAN AMT

Date:

Applicant Signature: Agent Signature:

5/10/23

## **OWNER'S AUTHORIZATION**

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

INVE Ryan D.V	VEIIS , LeaseWell , Inc. authorize to make this application on my/our beha
	ny/our personal information necessary for the processing of this application. Moreover, this shall be
	at authorization for so doing.
Owner Signature:	To Wells - A gest for La Margell Tud
Date:	5/10/23 Agent for Leasewell, Ind
AFFIDAVIT	
The undersigned affirm	s that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application
	on submitted in this application, including any supplemental information, is in all respects true and
correct. The undersig	ned further acknowledges that willful misrepresentation of information will terminate this permi
application and any pe	rmit associated with this document.
Owner Signature:	22. Wells - agent for Leasewell, Ind
Date:	The way to somewer, she
Applicant Signature:	James & Vaiscume
Date:	06/10/23

1. 2. 3. 4.	Sasic Information Applicant's name, address, telephone number and signature		
1. 2. 3. 4.			
2. 3. 4.	Applicants harrie, address, telephone number and signature		
3. 4.	Property owner's name, address, telephone number and signature		
4.	Proof of property ownership		
	Whether there are any options or liens on the property		
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
_	A vicinity map showing the area and road network surrounding the property		-
	Name, address and phone number of the preparer of the site plan		-
_			
	Project title or name of the proposed development		-
	Statement of proposed use of land, project completion schedule, any proposed development phasing		
	Land uses and zoning classification on the subject parcel and adjoining parcels		
	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		
	ite Plan Information		
1.	North arrow, scale, and date of original submittal and last revision		
2.	Boundary dimensions of natural features		
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		
1.	Proposed alterations to topography and other natural features		
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
3.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	55	-
В.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county,		
9.	state or federal government authorities Proposed finish floor and grade line elevations of any structures		
	*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.  Existing and proposed driveways, including parking areas		1100
	Neighboring driveways and other vehicular circulation features adjacent to the site		
	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared		
10	parking areas		
	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks  Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features		
-	within and adjacent to the site		
_	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
	Location of water supply lines and/or wells		-
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems		
_	Location, specifications, and access to a water supply in the event of a fire emergency		
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
24.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences,		
)E	walls, trash receptacle screening, and other screening features with cross sections shown		
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by		
26.	general location or range of sizes as appropriate  Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities,		
27.	and on the natural environment on and adjacent to the site)  Changes or modifications required for any applicable regulatory agencies' approvals		_

## Special Use Permit Application - 716 Boon St., Traverse City MI, 49686 Proposed Use: Professional Photography Studio

#### APPROVAL CRITERIA

• The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district.

This business is a non-industrial use that is complementary to existing uses of the district.

• The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment

No exterior design changes or construction are proposed, therefore the use will remain harmonious with the surrounding properties.

• The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

Traffic will be limited and by appointment only and no noise, dust, gas, smoke, etc. will be produced at the studio.

• Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

Adequate parking is provided in the 15 spaces located on the north side of the building. No changes to the existing building placement, structures or entrances are proposed.

• The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

No changes to natural features of the property are proposed.

- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

We do not foresee any negative impact on general welfare.

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We do not anticipate any adverse effects on the public.

 Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

Ingress and egress to the property has been previously considered and discussed with Garfield Township Staff. Piggyback parking will be removed so that there is one row of parking spaces along the north side of the building. In 1984 the Garfield Township Zoning Board of Appeals waived the required 10-foot-wide green belt along the north side of the building. See attached documentation.

 Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner;

See above regarding parking. A paved access exists that connects the sidewalk along Woodmere to the sidewalk adjacent to the building.

• The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

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Upon approval, we will open a professional photography studio at 716 Boon St. The studio will house two businesses, Nicole Martin Photography and Crackerjack Photography Studio owned by Nicole Martin and Jamie Kirschner respectively. We will use the studio for sales consultations and portrait photography sessions with clients including families, high school seniors, newborns, headshots, etc. The studio will also be available to rent for other photographers for similar use. All business conducted will be by appointment only. Typically we will serve clients in groups of five or less.

The current site is a 0.45 acre lot with one building occupying the majority of the property. There is a grassy area on the west side of the property between the building and Woodmere Ave with four mature trees. On the east side of the building there is a gravel surface with five mature trees lining the border with the neighboring residential property.

The new business will not create any kind of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference. All of the photography we do in the studio is digital and there will be no dark room or photographic chemicals in the building.

We do not plan to make any changes to the structure of the building or the property outside of the leased space. Existing natural features will remain in place. There will be no increase in impervious surface area, additional off-street parking, site access, or other changes to external site characteristics that violate the zoning ordinance. The property is served by the City of Traverse City for water and sewer and no changes will be made.

Drainage from the site is currently managed by a concrete ribbon feeding an existing storm drain. This will be reviewed by the township engineer after submission of this application per their instruction.

Exterior lighting at 716 Boon Street currently consists of one barn light rated for a max of 300W above the front entrance and one above the east entrance, both which point toward the ground. No changes shall be made to the current lighting.

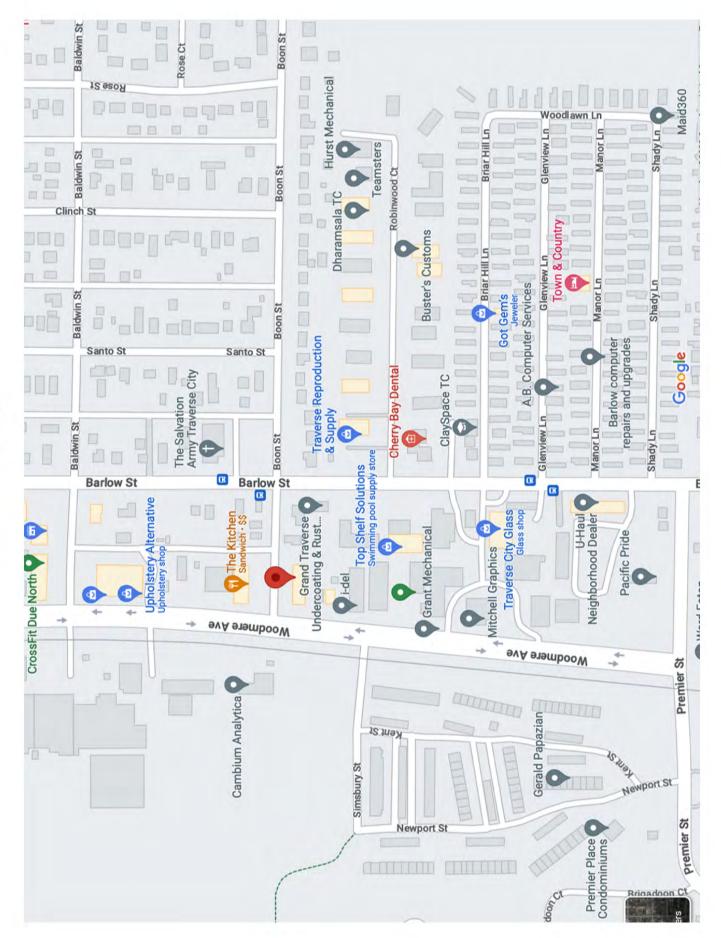
Our intention is to provide a professional workspace for ourselves and other creatives where we can create, serve our clients and build community. This is in alignment with other businesses located nearby, including Tru-Fit Trouser and the live-work space, Work Centre on Centre Street. In addition, our intended use of the space fits within the suggestions of Article 3, Section 323 that states non-industrial uses are "complementary to existing and future industrial uses of the districts."

#### Responsible parties:

Jamie Kirschner 1450 W Outer Dr Traverse City MI, 49685

Nicole Martin 11149 E Meadow View Drive Suttons Bay, MI 49682

Ryan Wells PO Box 452 Traverse City, MI 49685



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Ryan Wells PO Box 452 Traverse City, MI 49685

# PROJECT INFORMATION APPLICANT INFORMATION JAMIE KIRSCHNER CRACKERJACK PHOTOGRAPHY STUDIO, LLC 1450 W. OUTER DRIVE TRAVERSE CITY, MI 49685 PROPERTY OWNER LEASEWELL, INC 525 CASS STREET TRAVERSE CITY, MI 49584 CONTACT: RYAN WELLS, PROPERTY MANAGER (231)-218-9584 SPACES PROVIDED = 15 PLAN PREPARER RYAN A. COX, PE 3147 LOGAN VALLEY ROAD TRAVERSE CITY, MI 49684 (231)-218-0590 ZONING INFORMATION PARCEL ZONING: I-G (GENERAL INDUSTRIAL) PROPERTY USES: EX. COMMERCIAL KITCHEN AND NEW PHOTOGRAPHY STUDIO PARCEL ADDRESS: 700, 708, 718 BOON ST. PROPERTY TAX ID: 28–05–135–008–00 SETBACKS: -FRONT: 40 FEET -SIDE: 15 FEET -REAR: 20 FEET IMPERVIOUS COVERAGE: NO LIMITATION LEGAL DESCRIPTION DESCRIPTION PER GT COUNTY GIS INFORMATION THE SOUTH 103 FEET OF THE NORTH 148 FEET OF LOT 33 EXCEPT THE EAST 200 FEET AND THE NORTH 8 FEET THEREOF, HANNAH LAY & COMPANYS 15TH ADDITION TO THE CITY OF TRAVERSE CITY **GENERAL NOTES** DRAWING INFORMATION

LANDSCAPE BUFFER TYPE REQUIRED NORTH — N/A — N/A

(1) Planting requirement. Ground cover as specified in Section 530.J, plus two large trees, one medium or small tree, and four shrubs per one hundred (100) linear feet of greenspace area.
(2) Minimum width requirement. The Type B' Buffer area shall be a minimum width of ten (10) feet.

EAST SIDE - 103 FEET (BUFFER TYPE B) -GROUND COVER PER 530.J

#### IRRIGATION SYSTEM

IRRIGATION SYSTEM TO COMPLY WITH THE REQUIREMENTS OF THE GARFIED TOWNSHIP ZONING ORDINANCE.

PROVIDE EVERYTHING NECESSARY TO INSTALL AN IRRIGATION SYSTEM TO PROPERLY WATER THE PROPOSED LANDSCAPING AREAS. COORDINATE WORK WITH OTHER TRADES. PROVIDE DESIGN FOR A COMPLETE LAWN IRRIGATION SYSTEM TO SPRINKLE THE LANDSCAPE AREAS INCLUDING

SUBMIT SHOP DRAWINGS ALONG WITH PRODUCT DATA AND DESIGN CALCULATIONS FOR THE SYSTEM. CONTRACTOR SHALL PROVIDE OWNER WITH AN O&M MANUAL FOR ALL EQUIPMENT AND A RECORD DRAWING

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSPECTIONS AND TESTING OF THE SYSTEM.

#### PARKING ANALYSIS

ESTIMATED PARKING NEEDS PER USE

- PHOTOGRAPHY STUDIO - 2 EMPLOYEES - KITCHEN - 3 EMPLOYEES

- COFFEE ROASTING - 2 EMPLOYEES

MINIMUM SPACES REQUIRED = 5 (PER REVIEW) TOTAL SPACES NECESSARY 12 SPACES

SNOW STORAGE CALCULATIONS 15 SPACES • 9'x20' = 2,700 s.f. TOTAL AREA REQ. PER 100 s.f. = 27 s.f.

THE PROJECT INVOLVES INTERIOR WORK FOR A CHANGE IN USE. NO EXTERIOR UPDATES ARE PROPOSED WITH EXCPTION OF LANDSCAPING UPDATES. ALL LIGHTING AND EXTERIOR SIGNAGE IS EXISTING.

3. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

4. THE OWNER AND OR CONTRACTOR ARE RESPONSIBLE TO APPLY FOR AND RECEIVE ALL NECESSARY PERMITS FOR THIS PROJECT.

5. SIGNS AREA SUBJECT TO SIGN PERMIT REVIEW. SITE SIGNAGE TO BE IN COMPLIANCE WITH SECTION 630 OF THE ZONING ORDINANCE.

INFORMATION SHOWN ON SITE PLAN IS PER OWNER PROVIDED INFORMATION AND OTHER AVAILABLE COUNTY AND TOWNSHIP DOCUMENTS AND IMAGERY.

3. THERE ARE NO MAJOR EXTERIOR BUILDING ALTERATIONS OR ADDITIONS THAT ARE PROPOSED, MINOR IMPROVEMENTS SUCH AS PAINTING OR GROUNDS MAINTENANCE MAY OCCUR

#### LANDSCAPING REQUIREMENTS

Type  ${\mathbb C}^*$  buffer (1) Planting requirement. Ground cover as specified in Section 530.J, plus three large trees, three macdium or small trees, one evergreen or coniferous tree per one hundred (100) linear feet of

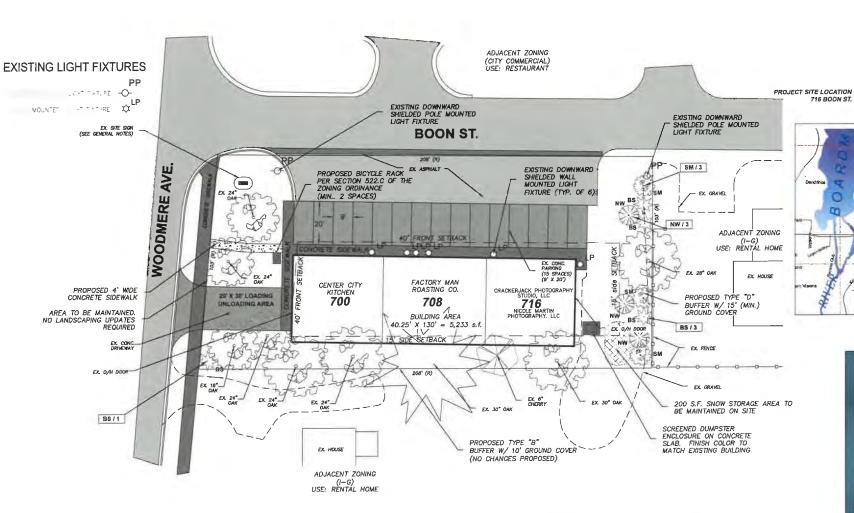
-2 LARGE TREES - EXISTING 30" OAK, NONE REQUIRED -1 MEDIUM OR SMALL TREES -4 SHRUBS

SOUTH SIDE - 208 FEET (BUFFER TYPE B) - GROUND COVER FER 530J - 2 LARCE TREES, MULTIPLE MATURE CANOPY TREES, (NONE REQUIRED) - 1 MEDIUM OR SMALL TREES (NONE REQUIRED) - 4 SHRUBS (MULTIPLE EXISTING SHRUBS)

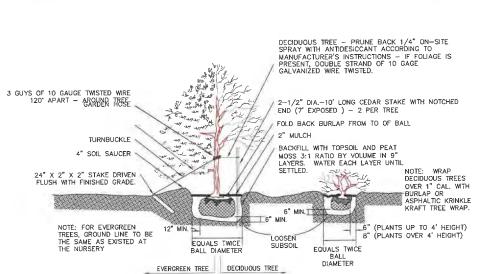
WEST SIDE - 103 FEET (BUFFER TYPE C)
-GROUND COVER PER 530.0
-3 LARGE TREES - MULTIPLE EXISTING DAYS, (NOME REQUIRED)
-3 MCDUM OR SMALL TREES, MULTIPLE TREES (2 PROPOSED)
-1 EVERGREEN OR CONFEROUS PER 100 FEET (2 REQUIRED)
-4 SHRUBS (4 PROPOSED)

IRRIGATION CONTRACTOR SHALL INSTALL A PROPERLY SIZED BACK FLOW PREVENTOR THAT IS APPROVED BY THE GRAND TRAVERSE BAND EAST BAY WATER UTILITES DEPARTMENT.

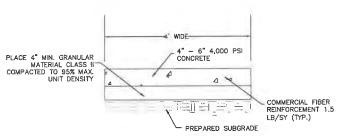
OF SYSTEM LAYOUT AND INSTALLATION.



#### **PLANT SCHEDULE** COMMON NAME SIZE NUMBER SCIENTIFIC NAME ACER SACCHARUN BLACK SPRUCE 3 EA. PICEA MARIANA 5 Gal THUJA OCCIDENTALIS CEDAR, NORTHERN WHITE 5 Gal. 3 EA.

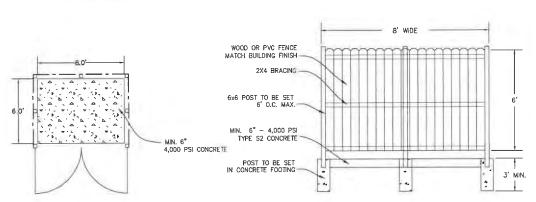


PLANTING DETAIL - TREES AND SHRUBS



\*\*\*NOTE - CONCRETE FOR DUMPSTER PAD 6" THICK SHALL ALSO INCLUDE W.W.M.

### 4" - 6" CONCRETE DETAIL



DUMPSTER ENCLOSURE



Lynch

Pan Geraldon --

#### LIGHT FIXTURE - PATRIOT LIGHTING

- ALL LIGHTING AND EXTERIOR SIGNAGE IS EXISTING. LIGHTING SHALL COMPLY WITH SECTION 517 OF THE ZONING ORDINANCE.
- THERE ARE ALSO POLE LIGHTS INSTALLED AND PROVIDED BY TCLP THAT PROVIDE LIGHTING TO THE PARKING AREA.

SITE PLAN FOR SPECIAL USE

2023 7-04-2(1" = 2

Date: 7 Scale: Drawn Checke

Sheet Project No.

2023-15 Sheet 1.0

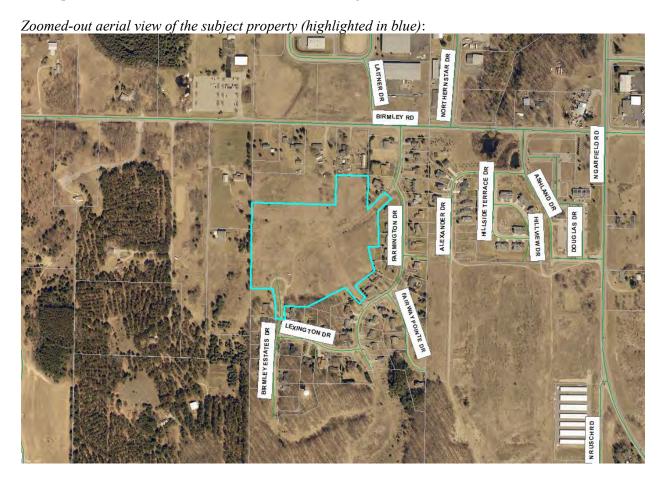
Charter Township of Garfield Planning Department Report No. 2023-85				
Prepared:	July 5, 2023		Pages: 6	
Meeting:	July 12, 2023 Planning Commission	July 12, 2023 Planning Commission		
Subject:	SPR 2023-04 Birmley Meadows Si	SPR 2023-04 Birmley Meadows Site Condominium – Findings of Fact		
File No.	SPR 2023-04 Parcel No.		05-026-020-33	
Owner:	T&R Investments, Steve Zakrajsek			
Agent:	Boyne Engineering and Design			

#### **BACKGROUND:**

Birmley Meadows is a proposed 26-lot residential site condominium development immediately adjacent to the north of the existing Birmley Hills Estates subdivision. The site is directly accessed from Birmley Estates Drive and Farmington Drive, which both provide access from Birmley Road. The site is about 16 acres and zoned R-1 One-Family Residential.

#### **PURPOSE OF APPLICATION:**

This application is for a site condominium development of 26 single-family residential lots. According to the application, the lots will be between 15,000 and 40,000 square feet, the development will be served by municipal water and sewer, and all utilities will be underground.





#### Zoomed-in aerial view of subject property (highlighted in blue):

#### **APPLICATION HISTORY:**

This application was introduced at the Planning Commission meeting on May 10, 2023. A public hearing was held at the June 14, 2023 Planning Commission meeting. The Planning Commission directed Staff to prepare Findings of Fact for this application, which are being reviewed at their July 12, 2023 meeting.

Staff received a letter after the public hearing from a resident with comments and concerns regarding this application and forwarded this letter to the applicants. This letter and the applicants' response are both attached to this report.

#### SITE CONDOMINIUM REVIEW CONSIDERATIONS:

Consultation

Section 429 B. of the Zoning Ordinance allows for the Planning Commission to consider input from the Township Attorney and Township Engineer as needed in its review of a condominium development plan, especially the master deed, deed restrictions, utility systems and streets, subdivision layout and design, and compliance with the Condominium Act. Other agencies will review the application as needed.

The Township Engineer is reviewing the application for storm water, private roads, and utilities, and the initial utility review is attached to this report. Review comments from Metro Fire and the Grand Traverse County Road Commission are also attached.

#### FINDINGS OF FACT:

At its June 14, 2023 meeting, the Planning Commission directed Staff to prepare the Findings of Fact for this site condominium application which are provided below. As stated in the Site Condominium Review Criteria within Section 429.G of the Zoning Ordinance, "For purposes of making a decision to approve, approve with conditions or to deny a site condominium subdivision plan, the Township shall consider and make findings with respect to the following criteria:"

(1) That each condominium lot in a site condominium subdivision shall be considered as a single lot and shall comply with all regulations of the zoning district in which it is located. In a condominium development containing single-family detached dwelling units, not more than one (1) dwelling unit shall be located on a condominium lot, nor shall a dwelling unit be located on a condominium lot with any other principal structure or use. Required yards shall be measured from boundaries of a condominium lot. These requirements shall be made part of the bylaws and recorded as part of the master deed

The Planning Commission may find this standard to be <u>MET</u> for the following reasons:

- The application proposes 26 single-family lots on a site with R-1 One-Family Residential zoning. The lots as shown on the site plan appear to meet the minimum lot area (15,000 square feet) and minimum lot width (100 feet) for lots within the R-1 district with public sewer. These include the lots along the curve of a road, where lot width is measured from the front setback line instead of at the front lot line.
- (2) That there is a proper relationship between the existing streets and highways within the vicinity, and proposed deceleration lanes, service drives, entrance and exit driveways, and parking areas to assure the safety and convenience of pedestrian and vehicular traffic, and that the proposed streets and access plan conform to any street or access plan adopted by the Township or the County Road Commission

The Planning Commission may find this standard to be **MET** for the following reasons:

- The site plan shows two proposed roads: Birmley Estates Drive, a private road to connect two non-contiguous existing sections of Birmley Estates Drive, and a new private road named Springfield Drive.
- These two proposed roads, along with the existing roads within Birmley Estates and with the previously proposed roads in Birmley Hills, will encompass a connected street system and appear to be a logical extension of the street pattern for this area. The street system for this area connects to Birmley Road, serving all three developments.
- Stub road and utility connections are provided for the parcel to the west, to help facilitate future development of this parcel. This stub is separate from a stub which was proposed in the Birmley Hills site condominium and will connect to a different parcel than the one in Birmley Hills.
- Private road details are being reviewed by the Township Engineer, and the final approval of the site condominium is subject to the Township Engineer's approval.
- The County Road Commission and Metro Fire have provided comments on the proposed site condominium, and no concerns with traffic levels have been cited.
- Given that the total number of trips is anticipated to be under 500 per day and given the nature of the development as only single-family homes, Staff recommends the Planning Commission waive the requirement for a traffic impact report.

(3) That as many natural features of the landscape shall be retained as possible, particularly where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes, and where they assist in preserving the general appearance of the neighborhood or help control erosion or the discharge of storm waters

The Planning Commission may find this standard to be **MET** for the following reasons:

- This site does not contain any large contiguous wooded areas.
- The proposed use and the surrounding uses are generally single-family homes of similar scale, so these sites are not used for dissimilar purposes.
- No major adverse impacts to the surrounding natural environment are anticipated.
- Storm water management is subject to review by the Township Engineer.
- (4) That any adverse effect of the proposed development and activities emanating therefrom upon adjoining residents or owners shall be minimized by appropriate screening, fencing or walls, or landscaping

The Planning Commission may find this standard to be <u>MET</u> for the following reasons:

- The proposed development consists of single-family homes, which are compatible with existing single-family homes in the area.
- To the north and west are several single-family homes on larger lots. These are currently zoned as A-Agricultural but designated as Low Density Residential on the Future Land Use Map. The proposed development is compatible with these surrounding sites.
- The proposed development is compatible with the adjacent site to the west with the stub connection for water, sewer, and street connection provided.
- No major adverse effects are anticipated from the proposed development.
- (5) That all provisions of this ordinance are complied with

The Planning Commission may find this standard to be **MET** for the following reasons:

- Development standards such as fences, lighting, landscaping, and parking are handled as part of the design for each individual condominium lot. The site plan notes that no site lighting is proposed for this development, and that parking will be located on individual lots and no additional parking areas are proposed.
- A stub road connection is provided for the adjacent parcel to the west, per the standards of Section 521.G(2) indicating that connecting streets are needed where "abutting areas are not subdivided." This stub also allows for future utility connections.
- Given that the total number of trips is anticipated to be under 500 per day and given the nature of the development as only single-family homes, Staff recommends the Planning Commission waive the requirement for a traffic impact report.
- Details for a proposed Birmley Meadows entrance sign are shown on Sheet C6.0. Signs require sign permit review and are not approved under the site plan review process.
- (6) That all site condominium lots shall be provided access by either public or private roads in conformance with the requirements of this ordinance. All site condominium units shall be accessible to emergency vehicles

The Planning Commission may find this standard to be **MET** for the following reasons:

- All lots are proposed to be accessed by either of the two proposed private roads: Birmley Estates Drive (extension of the existing road) or Springfield Drive.
- Stub road and utility connections are provided for the parcel to the west.
- Access for emergency vehicles should reflect any comments from the relevant agencies. Comments from Metro Fire are attached to this report.
- (7) That a plan for erosion control and storm water discharge has been approved by the appropriate public agency; and

The Planning Commission may find this standard to be **MET** for the following reasons:

- Review of erosion control and storm water will be handled by the Grand Traverse County Soil Erosion and Sedimentation and the Township Engineer, respectively. Storm water retention areas are shown on the north side of the property between Lot 4 and Lot 5, and along Springfield Drive in front of Lot 21.
- (8) That the plan as approved is consistent with the intent and purpose of zoning to promote public health, safety and general welfare; to encourage the use of lands in accordance with their character and adaptability to avoid the overcrowding of population; to lessen congestion on the public roads and streets; to reduce hazards to life and property; to facilitate adequate provisions for a system of transportation, sewage disposal, safe and adequate water supply, education, recreation and other public requirements; and to conserve the expenditure of funds for public improvements and services to conform with the most advantageous uses of land, resources and properties; to preserve property values and natural resources; and to give reasonable consideration to character of a particular area, its suitability for particular uses and the general appropriate trend and character of land, building, and population development and is otherwise in compliance with law.

The Planning Commission may find this standard to be **MET** for the following reasons:

The proposed development is consistent with the current zoning designation of R-1 One-Family Residential and the Future Land Use Map designation of Low Density Residential and is consistent with the intent to promote the public health, safety, and welfare and with the provisions of this standard.

#### **PROCESS:**

Site condominiums are reviewed by both the Planning Commission and Township Board. The Planning Commission shall hold a public hearing on the application and make a recommendation on the application to the Township Board. The Township Board conducts final review of the application but is not required to hold its own public hearing.

#### **ACTION REQUESTED:**

The purpose of this agenda item is to consider Findings of Fact for this application. Following discussion and consideration, if the Planning Commission is comfortable with adopting these proposed Findings of Fact, then the following motion is offered for consideration:

MOTION THAT Findings of Fact for Application SPR-2023-04, submitted by T&R Investments, for a site condominium at Parcel #05-026-020-33, as presented in Planning Department Report 2022-114 and being made a part of this motion, BE ADOPTED.

The following motion is suggested to recommend approval of the project to the Township Board:

MOTION TO RECOMMEND TO the Township Board THAT the application SPR-2023-04 BE APPROVED subject to the following conditions:

- 1. The Planning Commission waives the requirement for a traffic impact report, based on the findings that the total number of trips is anticipated to be under 500 per day and the nature of the development as only single-family homes.
- 2. Final engineering review and approval by the Township Engineer is required including all infrastructure and stormwater.
- 3. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
- 4. The applicant shall record promptly the Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township prior to any Land Use Permits being issued.
- 5. After recording the condominium plan, master deed, bylaws and deed restrictions, the developer shall file two (2) copies of each document, including all pertinent attachments, with the Township.
- 6. Condominium Protective Covenants and Deed Restrictions which hold harmless the Township for improvements within the site condominium subdivision and which require conformance with all conditions and requirements of condominium plan approval and this ordinance shall be required.
- 7. The Condominium Master Deed and Bylaws shall include the following statement: "Condominium Amendments which are recorded prior to the receipt of written Garfield Township Planning Department approval shall be considered null and void."
- 8. After the construction of all improvements, the developer shall file with the Township two (2) copies of the as-built condominium plan and a certification from the developer's engineer that the improvements have been installed in conformance with the approved construction drawings.

Any additional information the Planning Commission deems necessary should be added to this motion.

#### Attachments:

- 1. Application for Site Condominium Subdivision review dated April 5, 2023.
- 2. Statement of Proposed Use, Impact Statement, and Stormwater Control Plan dated April 5, 2023.
- 3. Birmley Meadows Site Condominium Site Plan Set dated April 5, 2023.
- 4. Sheet C.20A, Lot Width at Setbacks dated May 30, 2023.
- 5. Metro Fire Site Plan Review dated May 12, 2023.
- 6. Email from Grand Traverse County Road Commission dated May 24, 2023.
- 7. Letter from Gourdie-Fraser, Initial Review of Proposed Utilities, dated June 12, 2023.
- 8. Letter from Dale Troppman dated June 24, 2023.
- 9. Email from Carrie May, PE dated June 28. 2023.



### Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

### SITE CONDOMINIUM SUBDIVISION (SCSP) APPLICATION

#### **ASSISTANCE**

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

preliminary discu	ssions. For additional information or assistance in completing this development application
contact the Plani	ning Department at (231) 941-1620.
ACTION REQUESTED	
X Site Condominium	n Subdivision Plan Review
PROJECT / DEVELOPM	ENTNAME BIRMLEY MEADOWS
APPLICANT INFORMAT	ION
Name:	T&R INVESTMENTS
Address:	841 ASHLAND AVE, TC MI 49696
Phone Number:	(231) 883-3766
Email:	zakrajseksteve@gmail.com
AGENT INFORMATION	
Name:	BONNE ENGINEERING AND DESIGN, PULC.
Address:	PO BOX 94, BONNE CITY, MI 49712
Phone Number:	(231) 499-8361
Email:	boyneenge torchlake.com
OWNER INFORMATION	
Name:	T&R
Address:	1 No. 15
Phone Number:	
Email:	

#### **CONTACT PERSON**

Please select one person to be contact person for all correspondence and questions:

Applicant:	STEVE ZAKRAJSEIL
Agent:	CARRIE MAY. P.E.
Owner:	

#### PROPERTY INFORMATION

Property Address:	TBD
Property Identification Number:	05-026-020-33
Legal Description:	SEE PLANS SHEET CO.D
Zoning District:	RI
Master Plan Future Land Use De	sigation:
Area of Property (acres or square	e feet)

#### SITE CONDOMINIUM SUBDIVISION PLAN

The site condominium subdivision plan shall indicate specific unit dimensions with front, rear and side site condominium lot lines allocated to each condominium unit. Parcels shall be referred to as site condominium lots. The description, size, location, and arrangement of the site condominium lots shall conform to the requirements of the Zoning Ordinance. All site condominium subdivision lots shall be deeded as limited common elements for the exclusive use of the owners of the condominium subdivision units. Each condominium dwelling unit shall be located within a condominium lot.

- 1. Name of the project, name and address of preparer, and date. /
- 2. The plan shall be of a scale not less than one inch (1") equals fifty feet (50").
- All plans are to be accurately sealed.
- Layout and dimensions of all condominium lots.
- Layout and dimensions of all roadways and pedestrian pathways.
- Adequate drainage of surface water, stormwater disposal methods.
- Distribution of telephone, electric, television, and other similar services by underground wire or cable.
- 8. First floor elevation of buildings (if applicable).
- Location of das lines.
- 10. Location of water lines, and hydrants or other appurtenances.
- 11. Location of sanitary sewer lines including the location and size of the proposed service. <
- 12. Location of existing and proposed fencing, landscaping, screening, or other buffers required.
- 13. Location of streetlights and light fixture details.

#### REQUIRED SUBMITTAL ITEMS

A complete application for a Site Condominium Subdivision Plan consists of the following:

Application Form:

- M One original signed application
- ✓ One digital copy of the application (PDF only)

#### **Application Fee:**

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

☑ Fee \$1,780

Site Condominium Subdivision Plan:

Ten complete stapled 11"x17" paper sets

Two complete bound 24"x36" paper sets

One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

#### SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

#### **REVIEW PROCEDURE**

Subject to the standards of § 429.G of the Zoning Ordinance, a proposed Site Condominium Subdivision shall be reviewed in accordance with § 429.H and generally summarized as follows:

- 1. Agency Submittal: The applicant shall provide copies of the proposed site condominium subdivision plan to the following Grand Traverse County Agencies: Health Department (or Department of Public Works if proposed on municipal water and/or sanitary sewer), Drain Commissioner (or Township designee), Soil Erosion-Sedimentation Control Director (or Township designee), Road Commission (or Michigan Department of Transportation if proposed on a state highway), and the Metro Fire Department.
- 2. Independent Review: An independent engineer or other consultant may be hired, at the applicant's expense, to review the project and make recommendations to the Township.
- 3. Public Hearing: The Planning Commission shall hold a public hearing on the proposed site condominium subdivision plan, for the purpose of reviewing and making a recommendation of approval, approval with conditions, or denial to the Township Board.
- 4. Planning Commission Determination: If the Planning Commission determines that the proposed plan meets all requirements of this ordinance and the Condominium Act, the Planning Commission shall recommend approval or approval with conditions of the site condominium subdivision plan and shall send notice of action taken with comments to the Township Board. If the Planning Commission determines that the site condominium subdivision plan does not meet all requirements, the Planning Commission shall state its reason in its official minutes, shall forward same to the Township Board, and shall recommend disapproval of the plan by the Township Board until the objections causing disapproval have been changed to meet the requirements of this ordinance and the Condominium Act.
- 5. Township Board Determination: The Township Board shall approve the site condominium subdivision plan, with or without conditions, reject the plan and give its reasons, table the proceedings pending further review or pending changes to the plan to make it acceptable to the Board, or refer that application back to the Planning Commission for further review and report.
  SCSP Form Date: August 24, 2021

#### OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

#### PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:
Applicant Signature:
Agent Signature:

Date:

### OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

IWe Ide	2 Investments	am/are the registered owner(s) of the lands that			
is the subject of this application for a site condominium subdivision					
Owner Signature:	a w	2			
Date:	4-5/13/				
I/We CARRI	e May	authorize to make this application on my/our behal			
and to provide any of m	y/our personal information necessar	y for the processing of this application.			
Owner Signature:					
Date:					
<u>AFFIDAVIT</u>					
The undersigned affirms	s that he/she or they is (are) the own	er, or authorized agent of the owner, involved in the			
		cation, including any supplemental information, is in all			
		owledges that willful misrepresentation of information will			
	pplication and any permit associated				
	7				
Owner Signature:	So sal				
Date:	4-5-23				
Applicant Signature:					
Date:					



# BIRMLEY MEADOWS A SITE CONDOMINIUM PROPOSAL

April 5, 2023

Applicant / Owner: T & R Investments

841 Ashland Drive

Traverse City, MI 49696

Steve Zakrajsek (231) 883-3766

Meeting Date: May 10, 2023

Package Contents: 1. Statement of Proposed Use

2. Impact Statement & Traffic Assessment

3. Stormwater Control Plan

4. Engineered Plans 11 Sheets

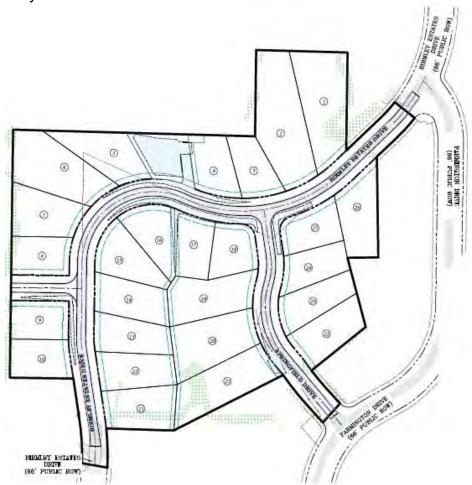
Dated 04/05/2023

#### STATEMENT OF PROPOSED USE

Birmley Meadows is a proposed 26 lot residential site condominium development on 16.02 acres located in Garfield Township's R-1 Residential zoning district. The Tax ID for the property is 05-026-020-33.

The property is part of the Southeast ¼ of Section 26, Township 27 North, Range 11 West and is located between two existing road stubs where Birmley Estates Drive (public) is discontinuous. This proposed development completes that thoroughfare via a new private section of Birmley Estates Drive and connects as originally planned to an existing road stub off Farmington Drive (public) via a new private road - Springfield Drive. The proposed private section of Birmley Estates Drive is approximately 1,616 feet long and the proposed Springfield Drive is approximately 595 feet long. An additional stub road section is provided to the west property line, as required by Garfield Township, which is approximately 183 feet long. All proposed roads in the development are within 66' road easements with additional 15' utility easements on both sides.

The lots in this proposed development are between 15,000 sf and 40,000 sf. The proposed development will be served by municipal water and sewer. All utilities will be underground. A monument sign is proposed for the entry at the northernmost end of Birmley Estates Drive.



### **IMPACT STATEMENT**

T & R Investments 841 Ashland Drive Traverse City, MI 49696

Contact: Steve Zakrajsek (231) 883-3766

#### **Proposed Birmley Meadows 26 Lot Residential Site Condominium**

Tax ID: 05-026-020-33

### 1.) PROJECT DESCRIPTION:

Birmley Meadows is a proposed 26 lot residential site condominium development located on 16.02 acres in Garfield Township's R-1 Residential zoning district.

The property is part of the Southeast ¼ of Section 26, Township 27 North, Range 11 West and is located between two existing road stubs where Birmley Estates Drive (public) is discontinuous. This proposed development completes that thoroughfare via a new private section of Birmley Estates Drive and connects as originally planned to an existing road stub off Farmington Drive (public) via a new private road - Springfield Drive. The Tax ID for the property is 05-026-020-30.

The lots in this proposed development are between 15,000 sf and 40,000 sf. The development will include 2 new 24' wide private roads which intersect and connect to Birmley Estates Drive and Farmington Drive as described. Both existing roads have partial extensions (stubs) where additional roads have previously been planned. The proposed private section of Birmley Estates Drive is approximately 1,616 ft long and the proposed Springfield Drive is approximately 595 ft long. The proposed development will be served by municipal water and sewer also extending from the same Birmley Estates roads. There is a Garfield Township elevated water storage tank in close uphill proximity to this proposed development. All utilities will be underground. The private road right-of-way easement is 66 feet wide with an additional 15-foot utility easement on each side. Garfield township and Grand Traverse County will have access to both easements as well as all other stormwater easements. There is a monument sign proposed for the entry at the northernmost end of the private section of Birmley Estates Drive. The road grades in this development range between 1.0% and 7.1%. The plans includes a stub road with water and sewer line stubs connecting to the adjacent westerly property line between proposed lots 8 and 9. Homes in the development are expected to average 1,800 square feet with some larger homes. There are a limited number of trees on the existing land, most of which is unmaintained grass. Stormwater will be handled with open ditches along the roadways and basins near the natural discharge locations in keeping with the character of the adjacent development. There is a break in the direction of the stormwater watershed midway through the property. A stormwater control plan has been engineered to meet Garfield Township stormwater regulations which includes detention and infiltration basins with sediment forebays.

### 2.) **DEMAND ON COMMUNITY SERVICES:**

- A.) The development will be served by municipal sewer which is expected to have capacity for these homes. The plans will be reviewed by the Grand Traverse County Department of Public Works
- B.) The development will be served by municipal water which is also expected to have capacity for these homes. There is an elevated storage tank feeding the system nearby and uphill from the development. The plans will be reviewed by the Grand Traverse County Department of Public Works.
- C.) According to the Institute of Transportation Engineers (ITE) publication for Trip Generation, 10<sup>th</sup> Edition, a Single-Family Detached home generates an Average Daily Traffic rate of 9.44 trips per day. This would amount to approximately 246 daily trips for the development. The Peak Hour traffic for this use would occur typically between the hours of 7:00am and 9:00 am with a rate of 0.74 trips per hour per household or 20 trips overall for the development, and between the hours of 4:00pm and 6:00 pm with a rate of 0.99 trips per hour per household or 26 trips overall for the development. These rates include inbound and outbound traffic with outbound traffic accounting for 75% of the morning trips (15 trips) and inbound traffic accounting for 63% of the evening trips (16 trips). Although these trips would be split between the three exit points of the development, all outbound and inbound traffic would use the portion of Birmley Estates Drive between the development and the intersection at Birmley Road. It is unlikely that a formal traffic study would find that this relatively small number of additional trips would reduce the Level of Service on the adjoining public roads. The plans will be reviewed by the Grand Traverse County Road Commission.
- D.) According to 2000 census data, this development may house approximately 65 people and add approximately 8 children to local schools.
- E.) The Grand Traverse Metro Fire Department will review the plans for this relatively simple residential development. Appropriate home spacing, road grades, paving, access routes, turning radii and fire hydrants are included in the design.

### 1.) ENVIRONMENTAL IMPACTS:

- A.) The Engineered Site Plan includes proposed grading and soil erosion control measures.
- B.) The Engineered Site Plan includes a Stormwater Runoff Control Plan which addresses stormwater runoff and control according to the Garfield Township requirements. A soil erosion and sediment control permit will be required for construction of the project.
- C.) This project does not border on the shoreline and there are no wetlands in the vicinity of the proposed development.
- D.) This project will not significantly disturb the existing forested areas of the property outside of homesites. It would not negatively affect wildlife habitats in those areas. Some tree clearing will be required to construct the improvements and create buildable lots but will be minimized to the extent possible.
- E.) This project will not significantly contribute to air pollution due to the fact that it is not a commercial type use and is replacing the same residential uses elsewhere.

F.)	It is not anticipated that water pollution will result from this development. Increased runoff due to impervious surfaces is mitigated according to the Stormwater Control Plan and infiltration is planned in what are mostly well draining sandy soils.
G.)	The proposed development can be expected to generate noise typical of a residential development which is not considered a harmful noise producing use.
	completes the impact statement for this project. If there are any questions arding this statement or the project, please contact:
	ne Engineering and Design - Ms. Carrie May, P.E. at (231) 499-8361.



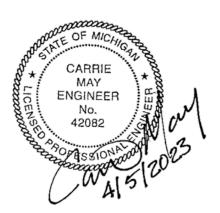
#### SUMMARY OF STORMWATER RUNOFF CONTROL PLAN FOR

#### BIRMLEY MEADOWS A SITE CONDOMINIUM

GARFIELD TOWNSIP, MI

BED PROJECT NO: 22033

April 5, 2023



#### STORMWATER CONTROL PLAN

#### **DESCRIPTION**

Birmley Hills is a proposed 26 lot residential site condominium development located in Garfield Township's R-1 Residential zoning district.

The property is part of Southeast ¼ of Section 26, Township 27 North, Range 11 West and is located between two existing road stubs where Birmley Estates Drive (public) is discontinuous. The Tax ID for the property is 05-026-020-33.

Hydrology modeling and runoff calculations were performed by Boyne Engineering and Design using SCS TR-20 Method and Hydrocad software. Detailed model calculations are attached which correspond to the stormwater summary and watershed maps included on the engineered plans (See Sheet C2.1). The following parameters describe the site conditions and modeling assumptions.

#### **WATERSHED**

The overall watershed containing this 16.02 acre development is approximately 33 acres and contains three sub-watersheds draining to the north, south and east respectively. Much of the north sub-watershed (approximately 15 acres) is made up of existing upstream farmsteads. Runoff from those areas follows a natural course which passes through this proposed development. This pass-through runoff currently combines with runoff from the largest portion of the land in this development and follows a natural watercourse north towards the system of ditches and culverts running along and crossing under Birmley Road. This natural watercourse is maintained with the proposed development and retention/infiltration has been conservatively sized due to the residential nature of the surrounding land. The sub-watersheds draining to the south and east are confined within the proposed development. Runoff from these watersheds will be directed towards the existing system of retention/infiltration basins and ditches within the existing Birmley Estates subdivision which were originally designed to accommodate that flow. Additional retention/infiltration basins are also provided where feasible. There is no evidence of downstream flooding in the existing development and existing proximate finish floor elevations are above stormwater control facility high water elevations. The proposed developed areas are modeled as 1/3 ac residential, 1/2 ac residential and impervious paved surfaces according to the plan details.

#### **SOILS AND TERRAIN**

The USDA Soil Conservation maps of this area show that the soils can be expected to be sandy with the exception of an area shown on the watershed maps which may have a stratified layer of loamy sand. The design plans note that if this material is found in the location of the retention/infiltration basins, it is to be removed and replaced with sandy soil. Soil evaluations and infiltration tests were conducted by Boyne Engineering and GFA in various locations approximate to this development in 2022 and soils were found to be sandy loam and loamy sand with an infiltration

rate of 11.34 in/hr. The slopes on the site vary between 1% and 12% with limited steeper areas in locations which have previously been graded. The proposed drives have been profiled to follow the existing contours to the extent possible and to balance earthwork.

#### **SOIL EROSION**

The engineered Grading and Drainage plan (See Sheet C2.1) specifies temporary and permanent soil erosion measures including construction entrances, silt fence, minimum earth disturbance requirements, slope stabilization requirements, 3:1 and 4:1 maximum ditch and basin side slopes, stabilized overflows and level spreader outlets, and seeding requirements.

#### **STORMWATER**

#### REQUIREMENTS:

The following summarizes the stormwater control requirements of Garfield Township and the design components which satisfy those requirements (See the attached detailed calculations and Sheet C2.1 of the engineered plans for more information).

- Runoff generated from site improvements is retained on site in retention/infiltration basins designed to limit outflow from developed areas to less than 0.13 CFS per developed acre for a 25 year, 24 hr storm event.
- The storage volume provided exceeds the requirements which are calculated as the volume of runoff from the developed area for the 25 year, 24 hr storm event minus the volume of runoff from the existing area for the 2 year, 24 hr storm event minus the volume of infiltration over 24 hours in the designed basins for the 25 year, 24 hr storm event.
- Runoff from uncontrolled areas totaling 0.61 acres flows to existing stormwater basins designed to accommodate tht flow.
- Basin slopes do not exceed 3:1.
- Snow storage is indicated on the plans.
- Erosion control measures such as check dams and outlet protection are included where anticipated flows exceed 4 fps and erosion control measures are specified for slopes and watercourses.
- The stormwater facilities are designed to safely pass a 100 year, 24 hr storm event without increasing downstream flooding.
- Basins are designed to drain through infiltration within 72 hours.

#### **CALCULATIONS:**

The following summarizes the stormwater calculations found in the attached Hydrocad reports.

### SUMMARY OF STORMWATER CONTROL:

WATERSHED (33.06 AC)	ACREAGE	PASS-THROUGH AREA OR AREA CONTROLLED BY EXISTING SYSTEMS	DEVELOPED & CONTROLLED AREA	25 YEAR, 24 HR STORM ALLOWABLE OUTFLOW: 0.13 X DEV ACREAGE PLUS 25 YEAR, 24 HR STORM RUNOFF FROM PASS-THROUGH AREA	25 YR, 24 HR STORM DESIGNED OUTFLOW	REQUIRED STORAGE: 25YR DEV RUNOFF - 2 YR EX RUNOFF - 25 YR INFILTRATED RUNOFF	STORAGE PROVIDED
	AG	AC	AG	CFS	CFS	AF	AF
NORTH	28.57	14.66	13.91	1.81 + 9.72 = 11.53	5.93	*1.01	1.29
EAST	2.85	0.39	2.46	0.32	0.00	0 (100% INFILT)	0.06
SOUTH	3.64	0.22	1.42	0.18	0.16	0.01	0.09
TOTAL	33.06	15.27	17.79	12.03	6.09	1.02	1.44

<sup>\*</sup> REDUCTION FOR INFILTRATION NOT TAKEN

### **ATTACHMENTS**

- 1. NRCS soil report
- 2. Watershed maps
- 3. Hydrocad modeling and runoff calculations4. Engineered Site Plans

### **GENERAL NOTES**

- 1. THIS CONSTRUCTION PROJECT SHALL AT ALL TIMES AND IN ALL SITUATIONS PROCEED IN A MANNER CONSISTENT WITH THE REQUIREMENTS OF THE GARFIELD TOWNSHIP ZONING ORDINANCE, PART 91 SOIL EROSION AND SEDIMENTATION CONTROL OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT, 1994 PA 451, THE CURRENT GRAND TRAVERSE COUNTY CONSTRUCTION STANDARDS, AND ALL OTHER APPLICABLE RULES, REGULATIONS AND LAWS OF ANY OTHER AUTHORITY WITH JURISDICTION TO GOVERN SUCH CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COPY OF THOSE REQUIREMENTS AND ALL CONSTRUCTION DOCUMENTS RELATED TO THIS PROJECT ON THE PROJECT AT ALL TIME AND REFERENCE SHALL BE MADE TO THEM FOR PROPER MATERIALS, METHODS, ETC. REGARDING CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR SHALL CHECK THESE PLANS AND FIELD VERIFY EXISTING CONDITIONS PRIOR TO STARTING
  WORK ON ANY SEGMENT OF THE PROJECT. IF THE CONTRACTOR HAS ANY QUESTIONS OR SUSPECTS THERE IS AN
  ERROR OR OMISSION WITHIN THE PLANS OR THE CONSTRUCTION STAKES, HE OR SHE SHALL NOT PROCEED UNTIL
  THE ENGINEER OR HIS OR HER REPRESENTATIVE HAS BEEN FULLY NOTIFIED, HAS RESPONDED, AND HAS
  SPECIFICALLY STATED THE CONTRACTOR MAY PROCEED.
- 3. EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWER AND WATER ARE IDENTIFIED BY THE BEST KNOWLEDGE OF THE SURVEYOR, HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND MISS DIG. (800) 482-7171. THE CONTRACTOR SHALL ENSURE THAT THE LOCATIONS OF ALL UTILITIES WITHIN THE VICINITY OF THE PROJECT ARE STAKED AND IDENTIFIED PRIOR TO PROCEEDING WITH WORK IN ANY AREA OF THE PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OR RELOCATION OF EXISTING UTILITIES AND STRUCTURES AND SHALL SAVE THOSE UTILITIES AND STRUCTURES HARMLESS FROM DAMAGE, WHETHER PUBLICLY OR PRIVATELY OWNED. THE CONTRACTOR SHALL REPAIR, AT HIS OR HER COST, ANY DAMAGE TO THOSE UTILITIES AND STRUCTURES. UTILITY POLES, ANCHORING CABLES AND UTILITY FOUNDATIONS SHALL NOT BE DISTURBED OR UNDERMINED. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY AND PROVIDE PROPER SUPPORT OF SUCH UTILITIES IN THE VICINITY OF THE WORK, AND IF NECESSARY, INSTALL TEMPORARY SHEETING OR TRENCH BOXES TO MINIMIZE EXCAVATION LIMITS.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE CAUSED TO THIS OR ADJACENT PROPERTY AND FOR INJURY TO ANY PERSON, OCCURRING DURING OR AS A RESULT OF THE CONSTRUCTION PROCESS, WHETHER SUCH DAMAGE OR INJURY RESULTS FROM ANY ACTION OR LACK OF ACTION BY PRINCIPALS OF THE COMPANY, EMPLOYEES, SUBCONTRACTORS, OR SUPPLIERS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING CONSTRUCTION SAFETY. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL ALL NECESSARY TEMPORARY SAFETY DEVICES, SAFEGUARDS, AND PROTECTIVE EQUIPMENT AND FOLLOW ALL ADVISABLE SAFETY PRACTICES NECESSARY TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC DURING THE CONSTRUCTION PROCESS. NEITHER THE OWNER OR THE ENGINEER ASSUME ANY LIABILITY FOR MATTERS RELATING TO SAFETY AT THE CONSTRUCTION SITE.
- 5. ANY DAMAGE TO IMPROVEMENTS NOT CAUSED BY THE OWNER, PRIOR TO FINAL PROJECT ACCEPTANCE BY THE ZONING ADMINISTRATOR AND THE OWNER, SHALL BE REPAIRED OR REPLACED AS NECESSARY TO CONFORM WITH THE DESIGN AT THE EXPENSE OF THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL NOTIFY THE GRAND TRAVERSE COUNTY CONSTRUCTION SUPERVISOR 3 DAYS PRIOR TO STARTING WORK AND SHALL FIRST PROVIDE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES ASSOCIATED WITH SUCCESSFULLY COMPLETING THE CONSTRUCTION PROCESS, INCLUDING ALL PUBLIC INSPECTION FEES.
- 7. ALL STUMPS, LARGE ROCKS, CONCRETE, SCRAP MATERIALS, TRASH AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- B. DURING CONSTRUCTION EXPOSE THE MINIMUM AREA OF SOIL FOR THE MINIMUM TIME POSSIBLE. SEE SOIL EROSION AND STORMWATER CONTROL NOTES.
- 9. THROUGH TRAFFIC ON ADJACENT ROADWAYS SHALL NOT BE INTERRUPTED WITHOUT EXPLICIT PERMISSION FROM, AND COORDINATION WITH THE GRAND TRAVERSE COUNTY ROAD COMMISSION. ALL WORK WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY ROAD COMMISSION CONSTRUCTION SPECIFICATIONS AND PERMIT REQUIREMENTS. PAVEMENT CUTS ARE TO BE MADE WITH A SAW, IMMEDIATELY PRIOR TO PAVING.
- 10. ALL WORK IS TO BE PERFORMED WITHIN THE PROPERTY, WITHIN THE PUBLIC RIGHT-OF-WAY, OR WITHIN ESTABLISHED EASEMENTS. ALL WORK WITHIN EASEMENTS SHALL BE COORDINATED WITH THE EASEMENT HOLDER AND BE IN ACCORDANCE WITH THE LIMITATIONS AND RESTRICTIONS OF THOSE EASEMENTS. ANY WORK OUTSIDE OF THESE LIMITS SHALL BE COORDINATED AND APPROVED BY THE PROPERTY OWNER AFFECTED. DOCUMENTATION OF THIS ARRANGEMENT SHALL BE PROVIDED TO THE ZONING AUTHORITY. ANY DISRUPTION CAUSED TO ADJACENT PROPERTIES OR TO THE PUBLIC RIGHT-OF WAY SHALL BE PROPERLY RESTORED INCLUDING LAWNS, SIDEWALKS, DRIVEWAYS, PLANTINGS, SIGNS, MAILBOXES, ETC., AT NO ADDITIONAL COST TO THE OWNER.
- 11. THE CONTRACTOR SHALL PROVIDE ADEQUATE ON-SITE SUPERVISION OF THE WORK AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THERE SHALL BE ONE DESIGNATED ON-SITE SUPERVISOR AVAILABLE WHENEVER CONSTRUCTION IS UNDERWAY WHO HAS THE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR.
- \*\* ALL ELEVATIONS ARE BASED ON: NAVD 88 DATUM REFERENCED TO THE TRAVERSE CITY CORS

# PLANS FOR:

# BIRMLEY MEADOWS SITE CONDOMINIUM

PART OF THE SOUTH EAST <sup>1</sup>/<sub>4</sub> OF SECTION 26, TOWNSHIP 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY MICHIGAN



LOCATION MAP

### LEGAL DESCRIPTION

PT SE1/4 SEC 26 T27N R11W COM E1/4 COR TH N 89DEG 39'W 1772.02' TH S 00DEG 28'58"E 368.51' TO POB TH S 00 DEG 28'58"E 253.84' TH N 45DEG 10'45"E 119.53' TH 58.01' ALG CRV L (R=407' CHD=N 41DEG 05'46"E) TH S 52DEG 59'12"E 66' TH 67.41' ALG CRV RT (R=473' CHD=S 41DEG 05'46"W) TH S 45DEG 10'45"W 73' TH S 02DEG 05'30"E 260.42' TH S 88DEG 05'45"W 80' TH S 16DEG 00'09"E 185' TH S 49DEG 57'49"W 180' TH 59' ALG CRV L (R=667' CHD= S 41DEG 02'29"E) TH S 43DEG 34'32E 53.88' TH S 40DEG 51'11"W 66.31' TH N 43DEG 34'32"W 60.32' TH 100.08' ALG CRV RT (R=733' CHD=N 39DEG 39'51"W) TH S 61DEG 55'17"W 317.28' TH S 89DEG 31'02"W 25' TH N 89DEG 22'41"W 149.88' TH 101.68' ALG CRV RT (R=687.94' CHD=S 02DEG 54'20"E) TH N 81DEG 07'20"W 66.64' TH 119.01' ALG CRV L (R=621.94' CHD=N 04DEG 57'36"W) TH N 09DEG 39'43"W 101.3' TH S 89DEG 31'02"W 164.23' TH N 00DEG 28'58"W 641.52' TH S 89DEG 39'E 626.42' TH N 00DEG 28'58"W 223.38' TH S 89DEG 39'E 236.41' TO POB BOUNDARY ADJ ON 01/06/2020 FROM 05-026-020-31, 05-026-020-60;

## INDEX OF DRAWINGS:

C0.0	COVER
C1.0	EXISTING CONDITIONS SURVEY
C2.0	OVERALL SITE ARRANGEMENT PLAN
C2.1	OVERALL SITE GRADING AND DRAINAGE PLAN
C3.0	SITE UTILITY PLAN
C4.0	BIRMLEY ESTATES DRIVE NE PLAN AND PROFILE
C4.1	BIRMLEY ESTATES DRIVE SW PLAN AND PROFILE
C4.2	SPRINGFIELD DRIVE PLAN AND PROFILE
C6.0	SITE DETAILS
C6.1	UTILITY DETAILS *(BY GRAND TRAVERSE COUNTY DPW)

BOYNE ENGINEERING AND DESIGN PO BOX 94 BOYNE CITY, MI 49712 CONTACT CARRIE MAY, P.E. PRINCIPAL ENGINEER PHONE: (231) 499-8361

OWNER / APPLICANT

T&R INVESTMENTS

STEVE ZAKRAJSEK

**ENGINEER** 

(231) 883-3766

841 ASHLAND DRIVE

TRAVERSE CITY, MI 49696

### SURVEYOR

GOURDIE-FRASER 123 W FRONT ST TRAVERSE CITY, MI 49684 PHONE: (231) 946-5874



### PLAN APPROVAL

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED AND APPROVED BY THE GARFIELD TOWNSHIP WITH THE EXCEPTIONS, CONDITIONS AND MODIFICATIONS INDICATED BY ME ON THIS PLAN SET

GARFIELD TOWNSHIP PLANNER OR ZONING ADMINISTRATOR

P.O. Box 94 Boyne City, MI 49727 (231) 499-8361 boyneengineering.com

**BOYNE ENGINEERING** 

AND DESIGN

CONDOMINIUM

REPARED FOR: INVESTMENTS

T& Sahland Dri

NO: DATE APP'D ISSUE / REVISION DESCRIPTION

OVER.

DRIGINAL ISSUE DATE: 04/05/2023 SCALE:

DRAWING NUMBER

CO.0

## PUBLIC AUTHORITIES

GARFIELD TOWNSHIP
3848 VETERANS DRIVE
TRAVERSE CITY, MI 49684
Telephone: (231) 941-1620

GRAND TRAVERSE COUNTY D.P.W.
2650 LAFRANIER ROAD

TRAVERSE CITY, MI 49686
Telephone: (231) 995-6039

GRAND TRAVERSE COUNTY ROAD COMMISSION
1881 LAFRANIER ROAD

Telephone: (231) 922.4848

GRAND TRAVERSE COUNTY DRAIN COMMISSIONER
2650 LAFRANIER ROAD

2650 LAFRANIER ROAD TRAVERSE CITY, MI 49686 Telephone: (231) 922.4807

TRAVERSE CITY, MI 49684

GRAND TRAVERSE COUNTY SOIL EROSION & SEDIMENTATION CONTROL 2650 LAFRANIER ROAD TRAVERSE CITY, MI 49686

Telephone: (231) 995-6051

GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT 2650 LAFRANIER ROAD TRAVERSE CITY, MI

EGLE - CADILLAC 120 W CHAPIN STREET CADILLAC, MI 49601 Telephone: (231) 775-3960

Telephone: (231) 995-6051

### **UTILITY AGENCIES**

CONSUMERS ENERGY ELECTRIC Telephone: (231) 929-6242

DTE ENERGY NATURAL GAS Telephone: (231) 932-2823

CHARTER COMMUNICATIONS CABLE Telephone: (231) 929-7012

AT&T MICHIGAN TELEPHONE Telephone: (231) 941-2707

# EMERGENCY SERVICES

EMERGENCY CALLS

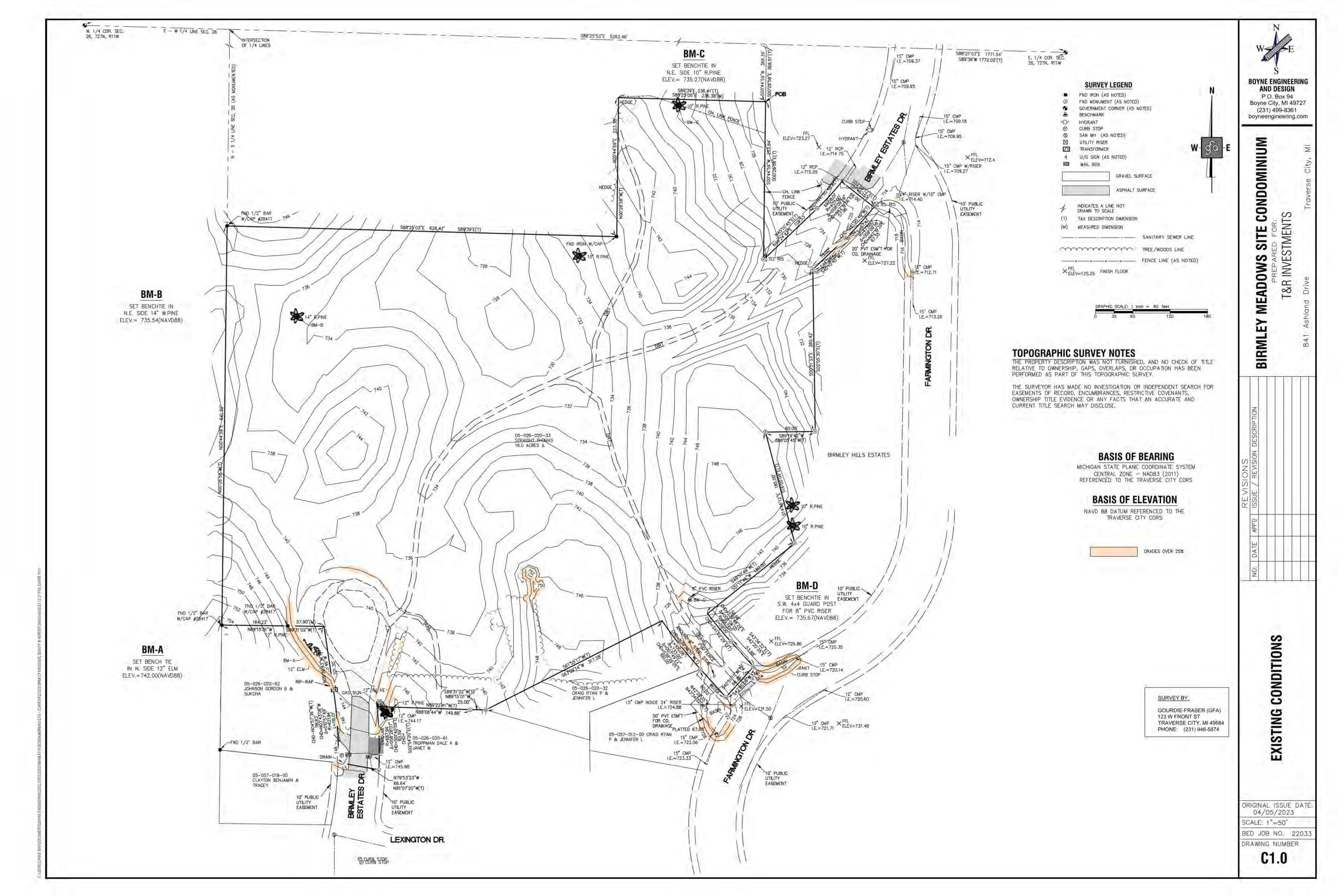
AMBULANCE SERVICE / POLICE / FIRE: 911

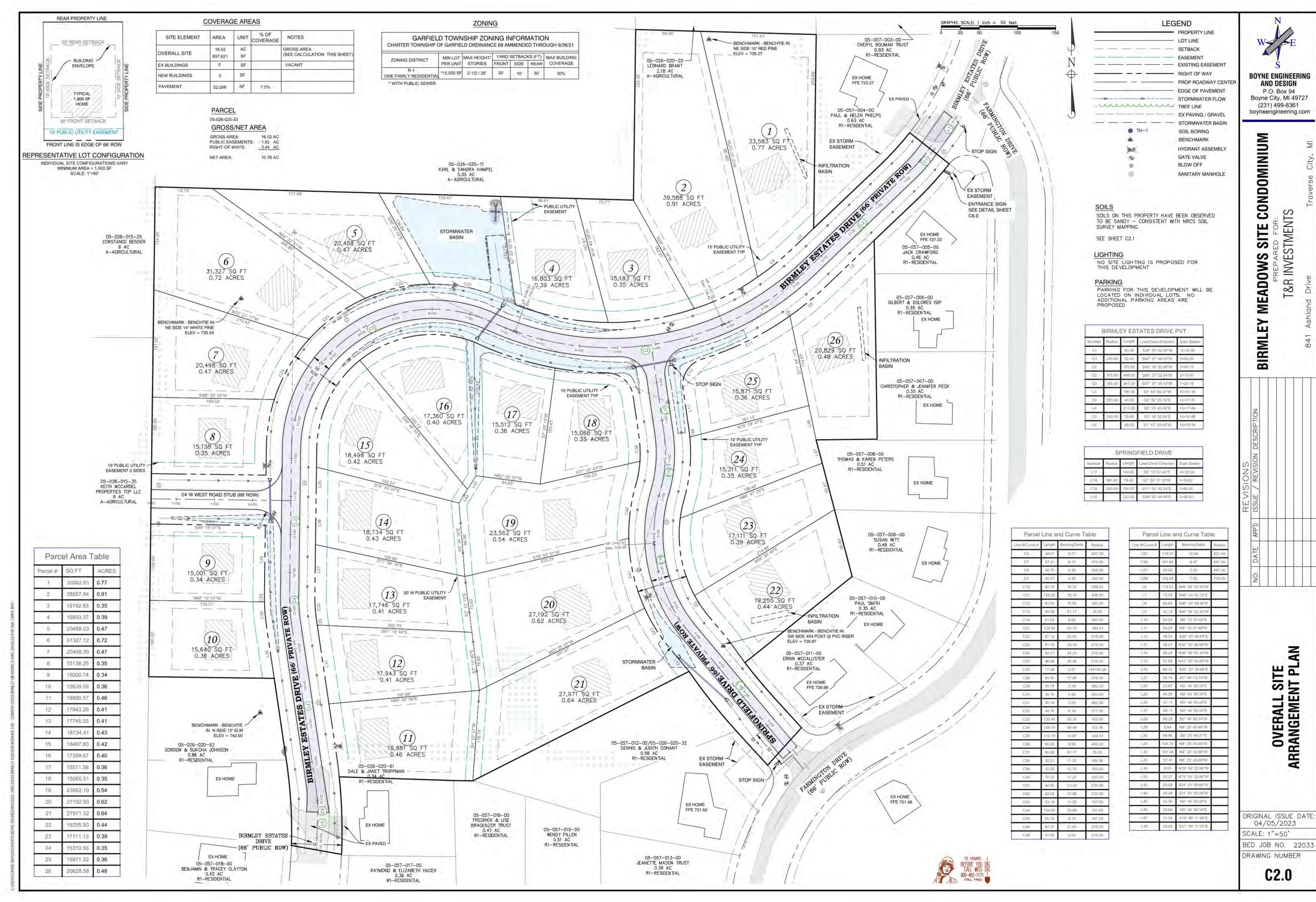
GRAND TRAVERSE METRO FIRE DEPARTMENT: 231.947-3000

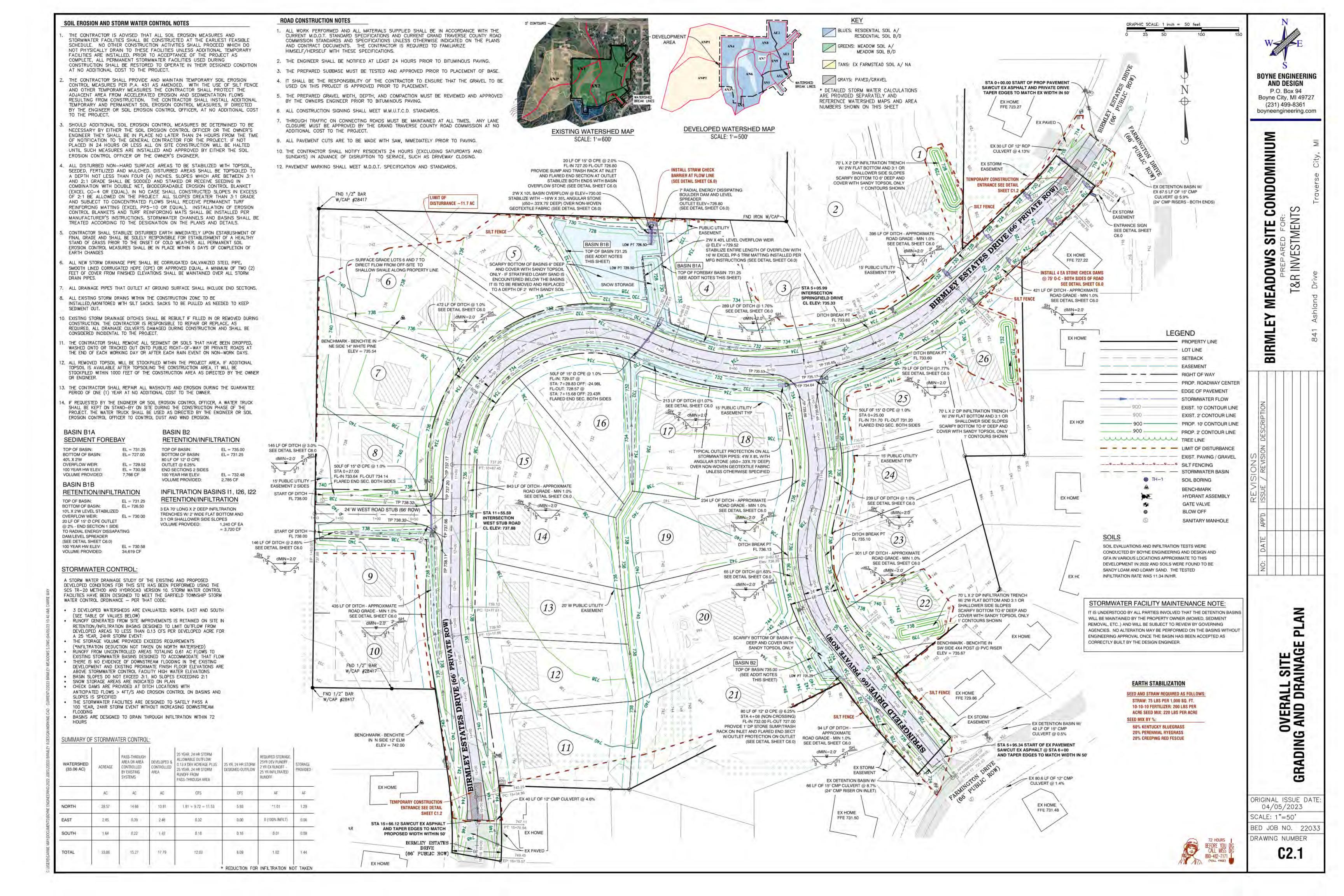
GRAND TRAVERSE COUNTY SHERIFF: 231,995-5000

MISS DIG: 1.800.482.7171









### WATERMAIN NOTES

- ALL CONSTRUCTION MATERIALS AND PROCEDURES MUST CONFORM WITH CURRENT DPW STANDARDS, SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF THE WATER MAIN, CONTRACTOR SHALL ISSUE A WORK SCHEDULE TO THE ENGINEER PRIOR TO THE START OF WATER MAIN CONSTRUCTION.
- ALL WATER MAIN SHALL BE DR 18 C900 PVC MEETING CURRENT AWWA STANDARDS.
- 4. WATER MAIN SHALL HAVE A MINIMUM OF SIX (6) FEET OF COVER BELOW EXISTING OR PROPOSED GRADE, UNLESS NOTED OTHERWISE
- 5. THE ALIGNMENT OF THE PROPOSED WATER MAIN IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR MAY DEVIATE/DEFLECT AS NECESSARY TO AVOID CONFLICTS FOR EASIER CONSTRUCTION, COST FOR ADDITIONAL PIPE, FITTINGS, ETC. ARE INCLUDED IN THE COST OF THE PROJECT.
- 6. LENGTH OF WATER MAIN SHALL BE DETERMINED ON A CASE BY CASE BASIS IN ORDER TO CONSTRUCT ACCORDING TO THE PLANS AND SPECIFICATIONS. COSTS FOR THE MAIN ARE INCLUDED IN THE COSTS OF THE PROJECT.
- 7. RETAINER GLANDS SHALL BE USED ON ALL MECHANICAL JOINT
- 8. BURLAP, PLASTIC OR POLY (20 MILLS) OR APPROVED EQUAL SHALL BE PLACED BETWEEN THE CONCRETE THRUST BLOCK AND DEAD-END MAINS OR DEAD-END PLUGS, TEES, HYDRANTS AND CROSSES TO FACILITATE THE REMOVAL OF THE THRUST BLOCK FOR FUTURE EXTENSION AND MAINTENANCE.
- 9. A PHYSICAL GAP SHALL BE MAINTAINED BETWEEN THE PROPOSED WATER MAIN AND THE EXISTING WATER MAIN UNTIL ALL WATER MAIN TESTING HAS BEEN COMPLETED AND APPROVED BY THE ENGINEER
- 10. THE CONTRACTOR SHALL COORDINATE THE CONNECTION TO THE EXISTING WATER MAIN WITH THE DPW AND THE ENGINEER. THE DPW SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY
- 11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN WATER FOR FLUSHING AND TESTING PURPOSES, CONTRACTOR SHALL COORDINATE WITH THE DPW, IF WATER IS OBTAINED FROM THE CITY/VILLAGE/TOWNSHIP WATER SYSTEM, THE DPW SHALL BE GIVEN 24 HOURS NOTICE PRIOR TO USING ANY WATER FROM THE TOWNSHIP WATER SYSTEM.
- 12. TO FACILITATE WATER SAMPLING, THE CONTRACTOR MAY INSTALL TWO (2) INCH CORPORATION STOPS AND TYPE K COPPER TUBE FROM THE TWO (2) INCH CORPORATION TO APPROXIMATELY FOUR (4) FEET ABOVE THE FINISH GRADE IN LOCATIONS APPROVED BY THE FIELD ENGINEER. AFTER THE WATER MAIN HAS BEEN FLUSHED AND SATISFACTORY BACTERIOLOGICAL ANALYSIS TESTS HAVE PASSED, THE TYPE 'K' COPPER TUBE SHALL BE REMOVED AND THE TWO (2) INCH CORPORATION WILL BE CLOSED, CONTRACTOR WILL INFORM THE FIELD REPRESENTATIVE/CONSTRUCTION REPRESENTATIVE TO ALLOW HIM TO WITNESS THE REMOVING OF THE COPPER TUBING AND THE CLOSING OF THE CORPORATION.
- 13. PRIOR TO PIGGING AND FLUSHING ALL LINES SHALL BE CHARGED WITH WATER.
- 14. ALL PERMANENT BLOW-OFF ASSEMBLIES SHALL BE CUT OFF BELOW GRADE AFTER TESTING IS COMPLETE. THE STANDING WATER WITHIN THE BLOW-OFF SHALL BE PUMPED OUT OF THE RISER CAPPED. BOLTED AND BURIED.
- 15. CONTRACTOR SHALL PROPERLY DISPOSE OF CHLORINATED WATER USED IN TESTING OPERATIONS.
- 16. ACTUAL WATER MAIN, HYDRANT AND GATE VALVE LOCATIONS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANTS AND VALVE BOXES TO THE FINISHED GRADE.
- 18. THE CONTRACTOR MUST OBTAIN APPROVAL BEFORE DIRECTING ANY FLUSHING AND TESTING WATERS TO ANY COUNTY STORM WATER DRAINAGE DITCH SYSTEM. CONTRACTOR SHALL PROTECT THE DITCH FROM EROSION WHICH MAY REQUIRE THE USE AN ENERGY DISSIPATER ON THE DISCHARGE OF THE FLUSHING VALVE. ALL FLUSHING WATERS SHALL BE CONTAINED WITHIN THE DITCH AND SHALL NOT IMPACT THE ROADWAY OR ADJACENT LANDOWNERS, IF NOT APPROVED, AN ALTERNATE METHOD MUST BE DETERMINED AND APPROVED, ALL COSTS ASSOCIATED WITH FLUSHING, TESTING, AND DISCHARGING ARE INCLUDED IN THE COST OF THE PROJECT.
- 19. WATER SERVICE LEADS SHOWN ARE FOR REFERENCE DNLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY THE DPW AND ENGINEER PRIOR TO PLACEMENT, IF APPLICABLE.
- 20. CONTRACTOR MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ALL SANITARY SEWER AND STORM SEWER WHEN INSTALLING THE WATER MAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.
- CONTRACTOR MUST MAINTAIN A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES AT ALL SANITARY SEWER AND STORM SEWER CROSSINGS WHEN INSTALLING THE WATER MAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.
- 22. IT WILL BE REQUIRED THAT THE CONTRACTOR INSTALL ALL NEW WATER MAIN BELOW EXISTING WATER MAIN WHEN A CROSSING IS ENCOUNTERED, MAINTAIN A MINIMUM SIX (6) INCH SEPARATION FROM EXISTING WATER MAIN WITH PROPER BACKFILL/COMPACTION.
- 23. FIRE HYDRANT ASSEMBLY SHALL CONSIST OF:

1-8"X6" TEE OR 1-8"X6" REDUCER

- 1-6" GATE VALVE 1-FIRE HYDRANT 24. CONTRACTOR TO MAINTAIN WATER SERVICE TO CUSTOMERS AT ALL
- 25. CONTRACTOR TO PROTECT EXISTING WATER MAIN AND SERVICES DURING THE INSTALLATION OF THE PROPOSED WATER MAIN. IF EXISTING WATER MAIN IS DAMAGED, CONTRACTOR IS TO REPAIR TO MAINTAIN SERVICE TO RESIDENCE. ALL COST FOR THIS ARE INCLUDED IN THE COST OF THE PROJECT.

TIME WITH THE EXCEPTION OF LEAD TRANSFERS, IF APPLICABLE.

- 26. ALL OPERATIONS OF EXISTING EQUIPMENT, VALVES, ETC. TO BE PERFORMED BY THE DPW STAFF ONLY.
- 27. CONTRACTOR TO SUBMIT A CONSTRUCTION SCHEDULE AND SEQUENCE FOR APPROVAL PRIOR TO PERFORMING ANY WORK.

### SANITARY SEWER/FORCE MAIN NOTES

- 1. ALL CONSTRUCTION MATERIALS AND PROCEDURES MUST CONFORM WITH CURRENT DPW STANDARDS, SPECIFICATIONS AND DETAILS.
- 2. ALL SANITARY SEWER SHALL BE SDR-35 PVC UNLESS DEEPER THAN 16 FT. SANITARY SEWER DEEPER THAN 16 FT SHALL BE SDR-26 AND MEET THE ASTM D 3034 REQUIREMENTS UNLESS OTHERWISE NOTED.
- 3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF THE SANITARY SEWER, CONTRACTOR SHALL ISSUE A WORK SCHEDULE TO THE ENGINEER PRIOR TO THE START OF SANITARY SEWER CONSTRUCTION.
- 4. NO CONNECTION RECEIVING STORM WATER OR GROUND WATER SHALL BE MADE TO SANITARY SEWERS.
- 5. NO CONNECTION TO THE EXISTING SANITARY SEWER SHALL BE MADE UNTIL THE NEW SEWER HAS BEEN INSTALLED, TESTED, INSPECTED, AND APPROVED BY THE ENGINEER AND
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE MANHOLE RIMS TO THE FINISH GRADE ELEVATIONS, THE ELEVATIONS SHOWN ARE BASED UPON PLAN GRADES AND
- 7. THE ALIGNMENT OF THE PROPOSED SANITARY SEWER/FORCE MAIN IS SHOWN FOR REFERENCE ONLY, CONTRACTOR MAY DEVIATE/DEFLECT AS NECESSARY TO AVOID CONFLICTS FOR EASIER CONSTRUCTION. COSTS FOR ADDITIONAL PIPING, FITTINGS, ETC.
- 8. CONTRACTOR MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ALL WATER MAIN WHEN INSTALLING THE SANITARY SEWER/FORCE MAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.

STA:9+07.13 OFF:19.89R

RIM:733.16 \

SUMP:722.92

INV IN:723.02 8"

INV OUT:722,92 8

SHALL BE INCLUDED IN THE COST OF THE PROJECT.

BENCHMARK - BENCHTIE IN -

STA:1+73.09 OFF:17.85R

15' PUBLIC UTILITY

EASEMENT 2 SIDES

8"BLOW OFF

ASSEMBLY

INV OUT:725.17 8"

RIM:738.98-

NE SIDE 14" WHITE PINE

ELEV = 735.54

8" 22.5" BEND +

HYDRANT . (1248) ASSEMBLY W/

SAN 5 TP 738,32

24' W WEST ROAD STUB (66' ROW)

----

FND 1/2" BAR FND 1/2" BAR

W/CAP #28417 W/CAP #28417

- 8" GATE VALVE

1+00 TP 738.32 0+50

-w-w-w

1618 VALVE & BOX

8"X8"X8" TEE -- 2 EA 8" GATE

8" 45" BEND -

STA 15+66.12 SAWCUT EX ASPHALT

AND TAPER EDGES TO MATCH

PROPOSED WIDTH WITHIN 50'

BIRMLEY ESTATES DRIVE

(66' PUBLIC ROW

BENCHMARK - BENCHTIE -

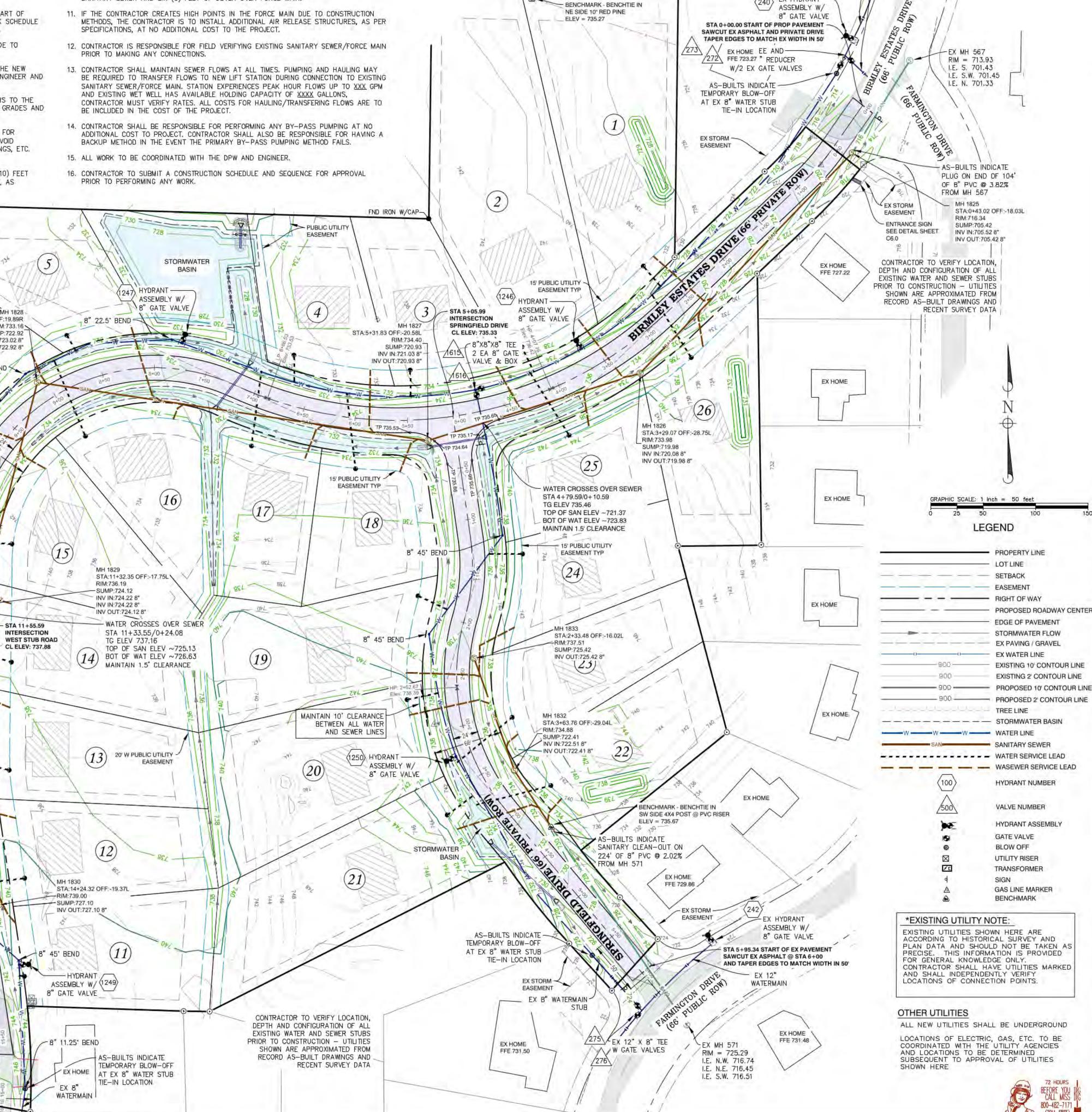
IN N SIDE 12" ELM

EX HOME

EX HOME

ELEV = 742.00

- 9. CONTRACTOR MUST MAINTAIN A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES AT ALL WATER MAIN CROSSINGS WHEN INSTALLING THE SANITARY SEWER/FORCEMAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.
- 10. CONTRACTOR SHALL MAINTAIN A MINIMUM FIVE (5) FEET OF COVER OVER GRAVITY SANITARY SEWER AND SIX (6) FEET OF COVER OVER FORCE MAIN.
- 11. IF THE CONTRACTOR CREATES HIGH POINTS IN THE FORCE MAIN DUE TO CONSTRUCTION





WATERMAIN \_

-EX MH 567

RIM = 713.93I.E. S. 701.43

I.E. S.W. 701.45

- AS-BUILTS INDICATE

OF 8" PVC @ 3.82%

FROM MH 567

MH 1825

RIM:716.34

SUMP:705.42

INV IN:705.52 8

INV OUT:705.42 8

PLUG ON END OF 104'

STA:0+43.02 OFF:-18,03L

LEGEND

(100)

- LOT LINE

EASEMENT

PROPOSED ROADWAY CENTER

EXISTING 10' CONTOUR LINE

EXISTING 2' CONTOUR LINE

EDGE OF PAVEMENT

STORMWATER FLOW

HYDRANT NUMBER

VALVE NUMBER

GATE VALVE

**BLOW OFF** 

SIGN

UTILITY RISER

BENCHMARK

TRANSFORMER

GAS LINE MARKER

HYDRANT ASSEMBLY

EX WATER LINE

I.E. N. 701.33

(240) EX HYDRANT-

BOYNE ENGINEERING AND DESIGN P.O. Box 94

Boyne City, MI 49727 (231) 499-8361 boyneengineering.com

0 ONO C TMENT

SITE 0 0 EA

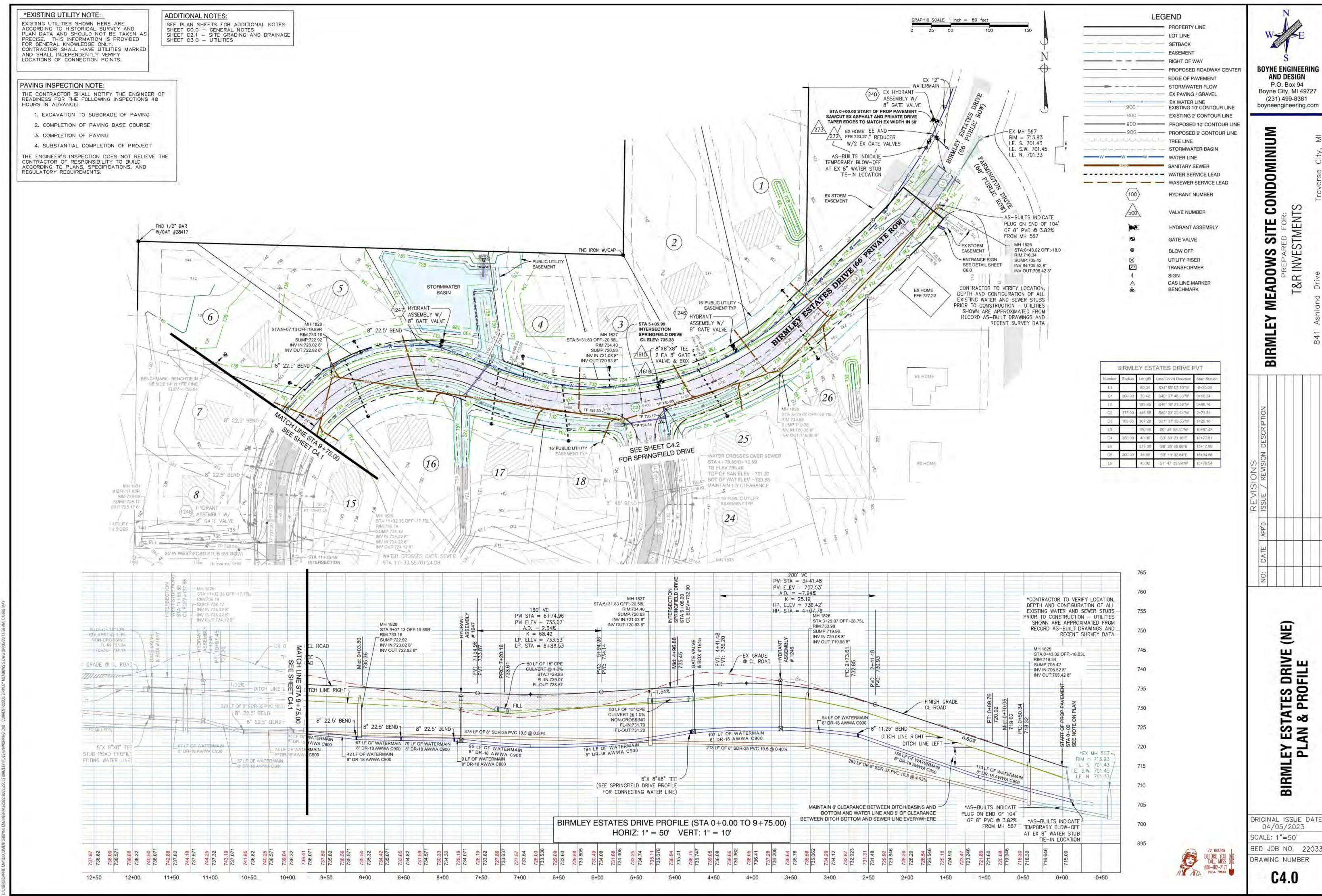
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SITE

ORIGINAL ISSUE DATE: 04/05/2023 SCALE: 1"=50"

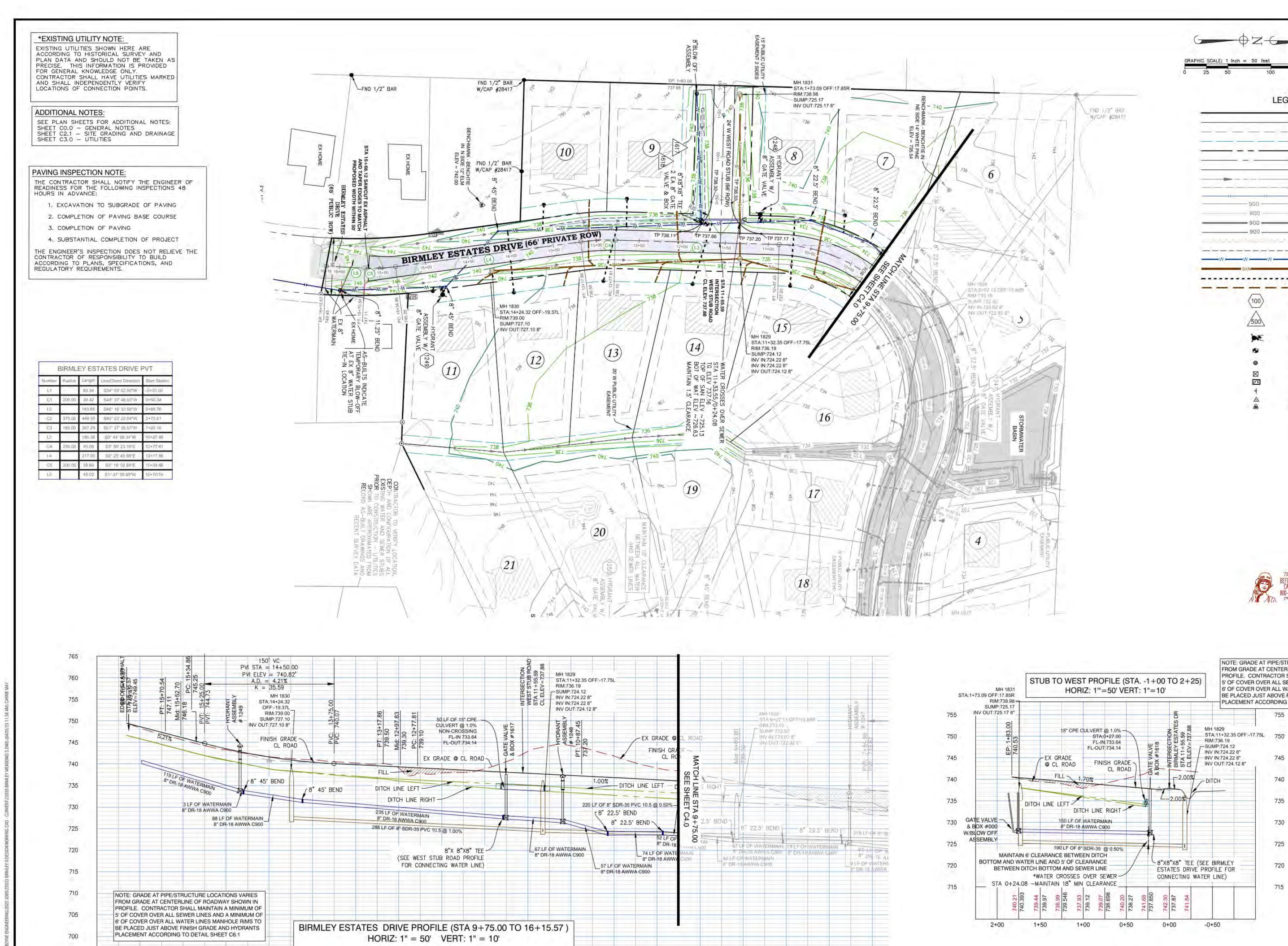
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Boyne City, MI 49727

ORIGINAL ISSUE DATE

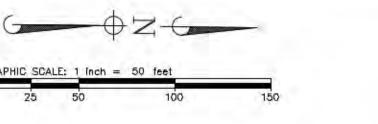


12+00

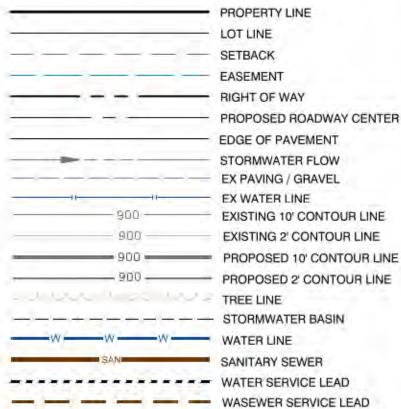
735.50

737,50 735.82 736.56 735.571

695



### LEGEND



HYDRANT NUMBER VALVE NUMBER

> HYDRANT ASSEMBLY GATE VALVE **BLOW OFF** UTILITY RISER TRANSFORMER SIGN

GAS LINE MARKER BENCHMARK

NOTE: GRADE AT PIPE/STRUCTURE LOCATIONS VARIES FROM GRADE AT CENTERLINE OF ROADWAY SHOWN IN

PROFILE. CONTRACTOR SHALL MAINTAIN A MINIMUM OF

5' OF COVER OVER ALL SEWER LINES AND A MINIMUM OF

6' OF COVER OVER ALL WATER LINES MANHOLE RIMS TO

BE PLACED JUST ABOVE FINISH GRADE AND HYDRANTS

PLACEMENT ACCORDING TO DETAIL SHEET C6.1

755

740

735

730

725

720

715

**BOYNE ENGINEERING** 

AND DESIGN

P.O. Box 94

Boyne City, MI 49727

boyneengineering.com

INVESTMENT

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(231) 499-8361

CONDOMINIUM

SITE

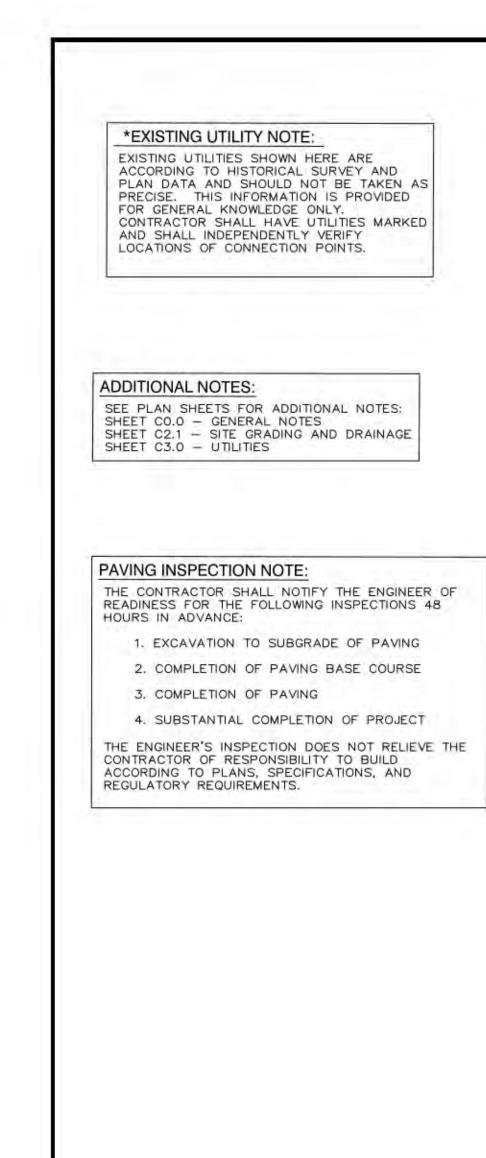
ADOWS

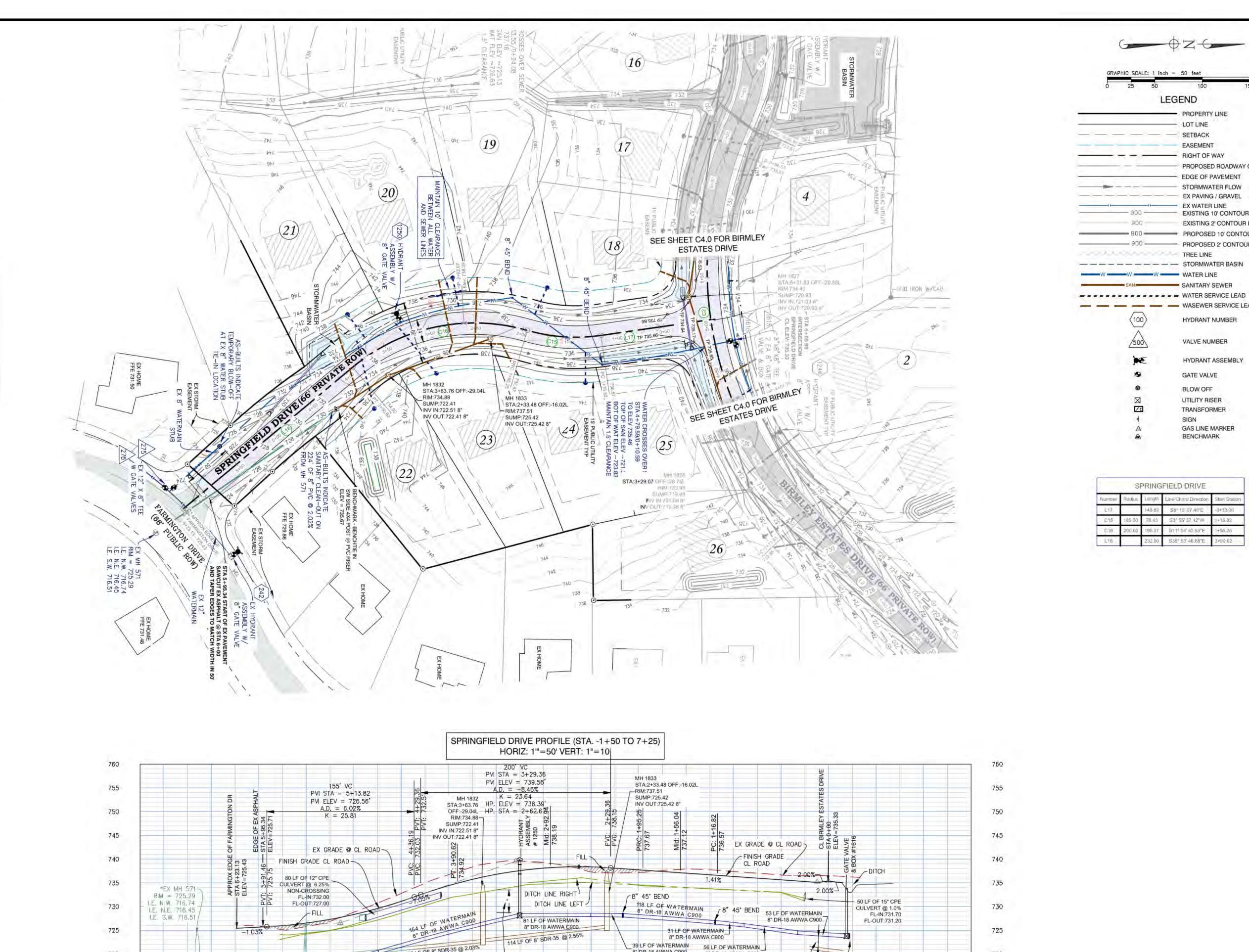
BIRML

(SW) TATES DRIVE & PROFILE EST. 무교 BIRMLI

ORIGINAL ISSUE DATE 04/05/2023 SCALE: 1"=50'

BED JOB NO. 22033 DRAWING NUMBER





70 LF OF 8" SDR-35 @ 2.03%

MAINTAIN 6' CLEARANCE BETWEEN

DITCH/BASINS AND BOTTOM AND WATER LINE AND 5' OF CLEARANCE

BETWEEN DITCH BOTTOM AND

SEWER LINE EVERYWHERE

4+00

3+50

3+00

2+50

2+00

8" DR-18 AWWA C900

5+00

4+50

\*AS-BUILTS INDICATE

TEMPORARY BLOW-OFF

AT EX 8" WATER STUB

\*AS BUILTS INDICATE 224' OF EX 8" PVC SANITARY

6+00

\*CONTRACTOR TO VERIFY LOCATION,

DEPTH AND CONFIGURATION OF ALL

EXISTING WATER AND SEWER STUBS

UTILITIES SHOWN ARE APPROXIMATED

FROM RECORD AS-BUILT DRAWINGS

7+00

PRIOR TO CONSTRUCTION -

AND RECENT SURVEY DATA

6+50

720

715

710

705

700

8" DR-18 AWWA C900 8" DR-18 AWWA C900

1+50

\*WATER CROSSES OVER SEWER ~

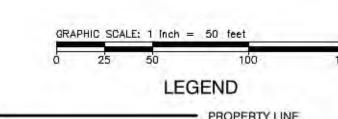
STA 0+10.59 -MAINTAIN 18" MIN CLEARANCE

1+00

0+50

0+00





	PROPERTY LINE
	LOT LINE
	SETBACK
	EASEMENT
	RIGHT OF WAY
	PROPOSED ROADWAY CENTER
-	EDGE OF PAVEMENT
	STORMWATER FLOW
	EX PAVING / GRAVEL
900 —	EX WATER LINE EXISTING 10' CONTOUR LINE
900	EXISTING 2' CONTOUR LINE
900	PROPOSED 10' CONTOUR LINE
900 —	PROPOSED 2' CONTOUR LINE
	TREE LINE
	STORMWATER BASIN
	WATER LINE
SAN	SANITARY SEWER

	WASEWER SERVICE LEAD
(100)	HYDRANT NUMBER
500	VALVE NUMBER

720

715

705

700

8"X 8"X8" TEE

(SEE BIRMLEY ESTATES DRIVE PROFILE

-1+00

FOR CONNECTING WATER LINE)

NOTE: GRADE AT PIPE/STRUCTURE LOCATIONS VARIES

FROM GRADE AT CENTERLINE OF ROADWAY SHOWN IN

PROFILE. CONTRACTOR SHALL MAINTAIN A MINIMUM OF

5' OF COVER OVER ALL SEWER LINES AND A MINIMUM OF

6' OF COVER OVER ALL WATER LINES MANHOLE RIMS TO

BE PLACED JUST ABOVE FINISH GRADE AND HYDRANTS

PLACEMENT ACCORDING TO DETAIL SHEET C6.1

-0+50

VALVE NUMBER HYDRANT ASSEMBLY GATE VALVE BLOW OFF

UTILITY RISER TRANSFORMER GAS LINE MARKER BENCHMARK

SPRINGFIELD DRIVE

**BOYNE ENGINEERING** 

AND DESIGN P.O. Box 94 Boyne City, MI 49727 (231) 499-8361 boyneengineering.com

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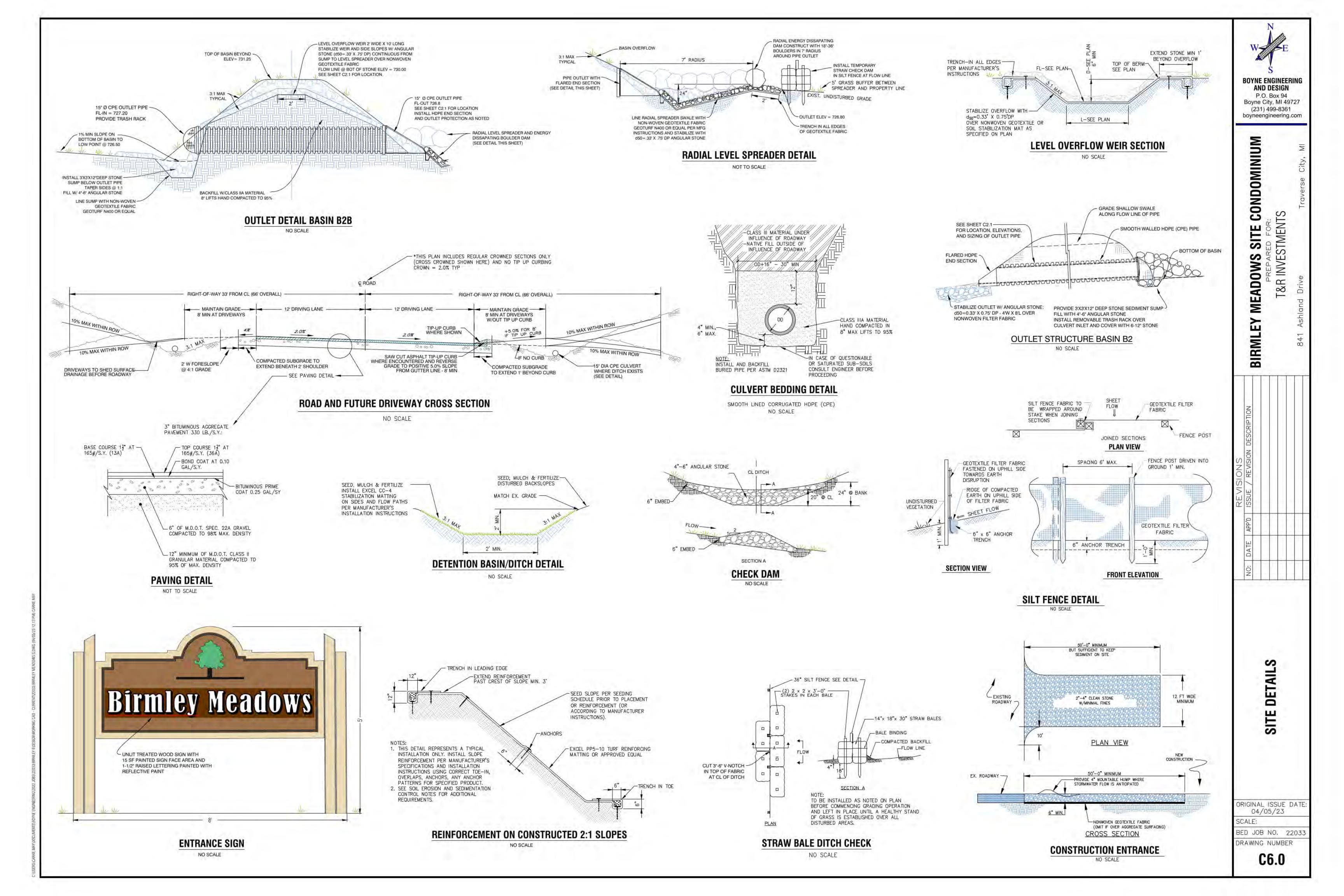
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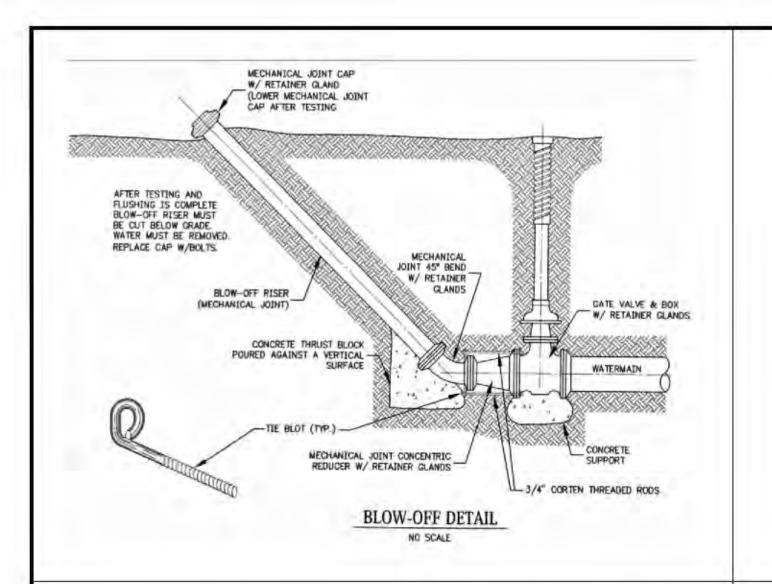
SPRINGFIELD DRIVE PLAN & PROFILE

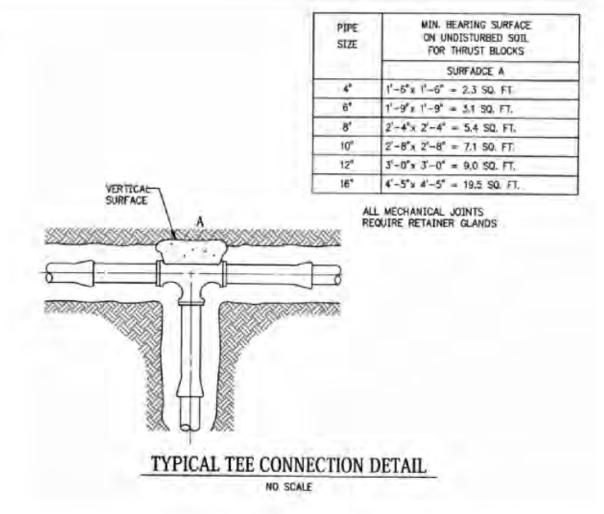
ORIGINAL ISSUE DATE 04/05/2023 SCALE: 1"=50"

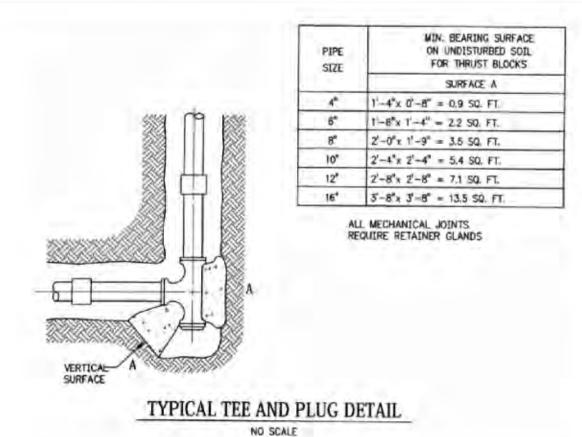
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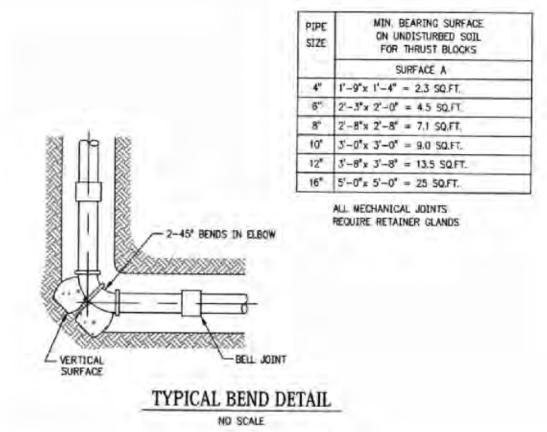


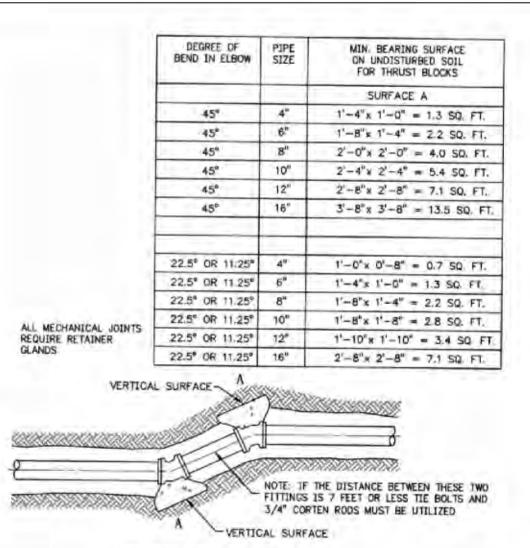


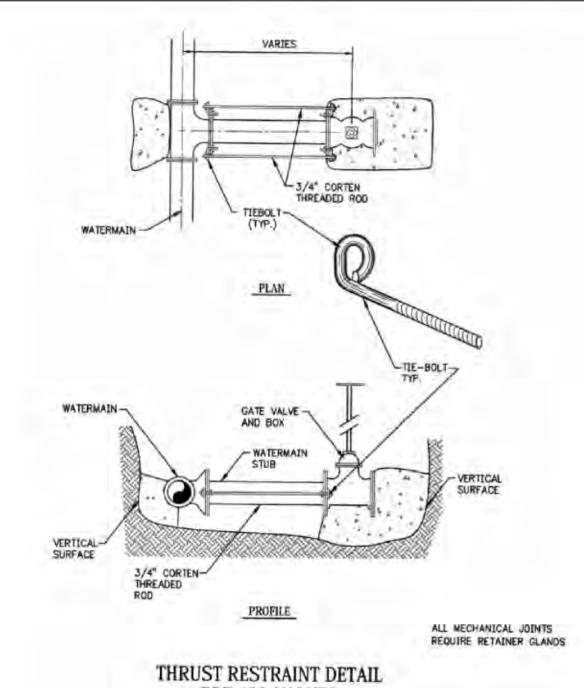


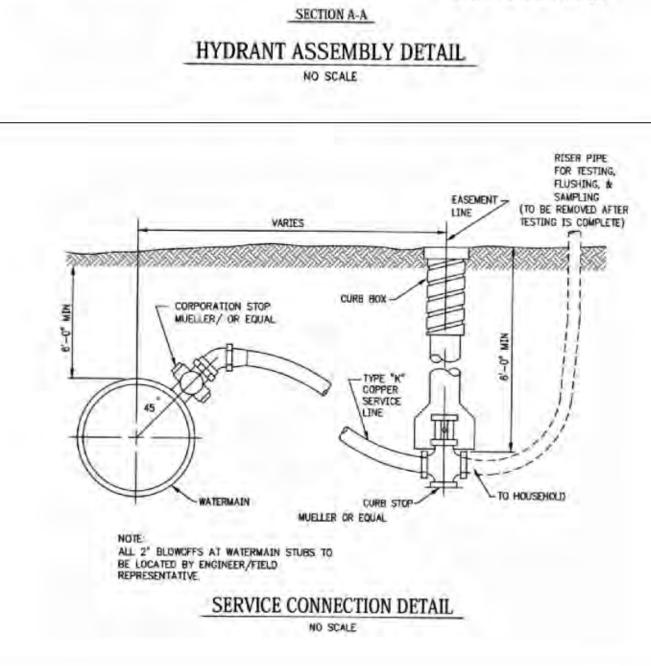












PLAN VIEW

CLEAN AND WATERPROOF INSIDE WALLS OF NEW MANHOLES PER SPECIFICATIONS.

SECTION THRU STANDARD MANHOLE

STO, M.M. FRAME & COVER EJ 1949 OR EDUAL, WITH SOLED SOLF-SEALENG COVER (MOUTED COVER MARKE NOTED). MARKOLES LOCATED IN PANED AREAS BAALL BE SUMPLIED WITH ST ADJUSTABLE RINGS.

POWER PLOW DIAMINE POWERD LEVEL WITH TOP OF MAIN SEVER PIPE

DETAIL - STANDARD MANHOLE NO SCALE

5'-0" MAX.

HYDRAN'

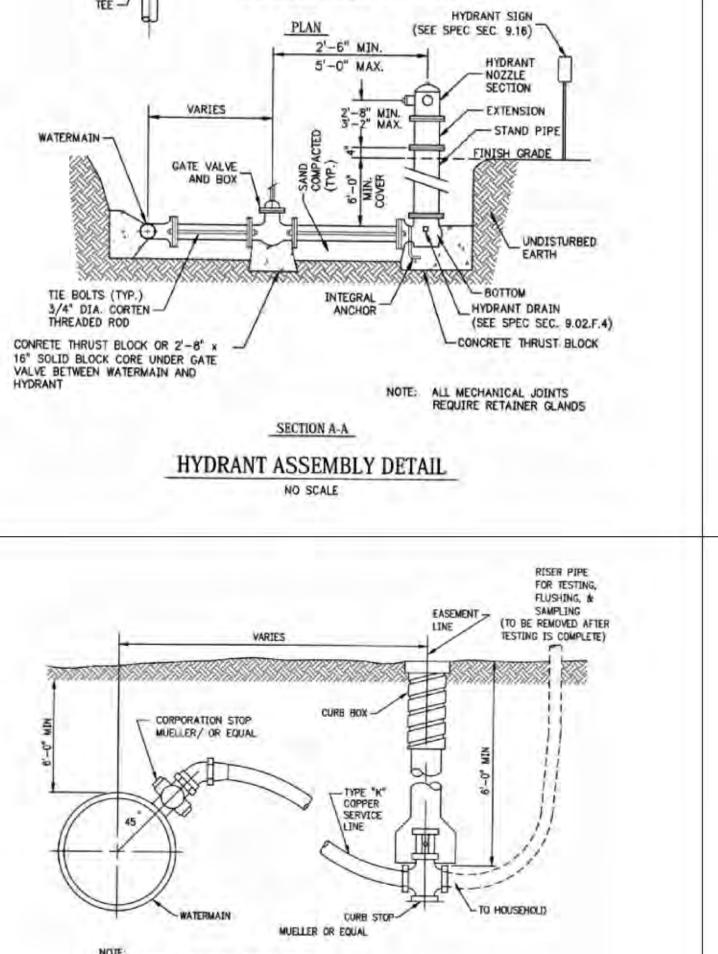
3/4" CORTEN THREADED ROD TIE BOLT (TYP.)

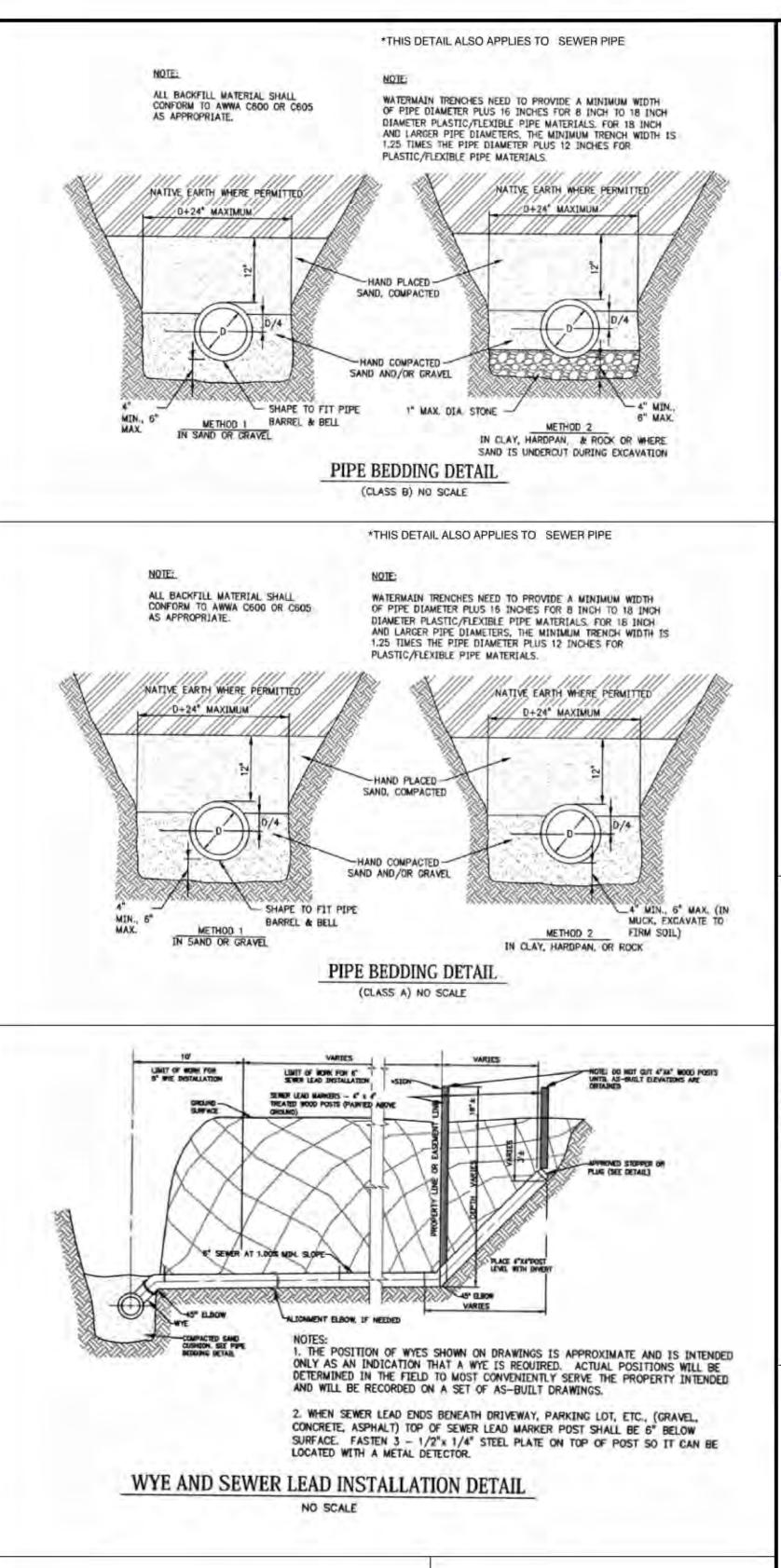
VARIABLE

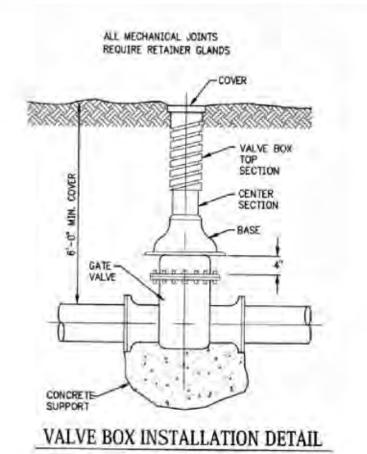
- PIC PUSH-ON CAP

PARTIAL SECTION THRU DROP MANHOLE

- 34" WIDE MANHOLE CLEAR OPENING (MIN.)







\*DETAILS AND SPECIFICATIONS ON THIS SHEET ARE STANDARD DETAILS FROM THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS

ORIGINAL ISSUE DATE: 04/05/2023 SCALE: BED JOB NO. 22033 DRAWING NUMBER

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BOYNE ENGINEERING

AND DESIGN

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Boyne City, MI 49727

(231) 499-8361 boyneengineering.com

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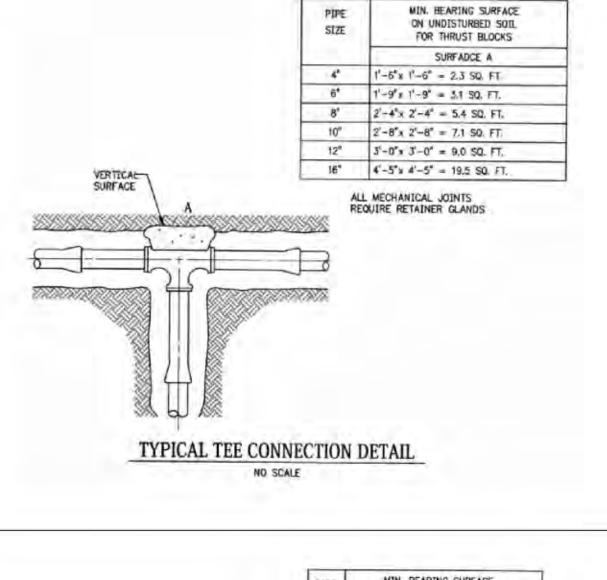
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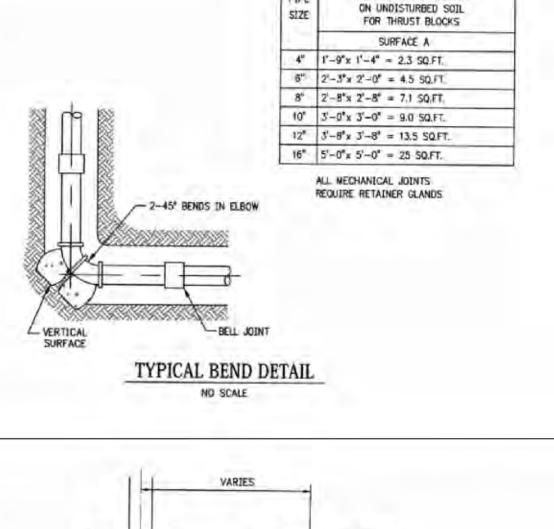
C6.1

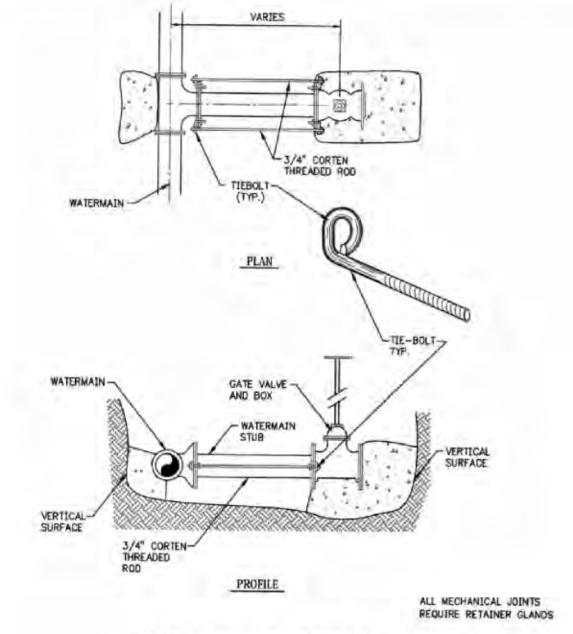
TYPICAL OFFSET DETAIL NO SCALE CONCRETE FLEX RESTRAINT - DEVICE CENTERED IN CONCRETE

TO BE PLACED AT EACH SERVICE LEAD AND WHERE SPECIFIED BY FIELD ENGINEER. AS SUPPLIED BY CENTRAL PLASTICS, OR EQUAL, PER PIPE MANUFACTURER'S SPECIFICATIONS.

SERVICE LEAD THRUST RESTRAINT DETAIL (APPLICABLE FOR HDPE/PVC WATERMAIN DNLY) NO SCALE

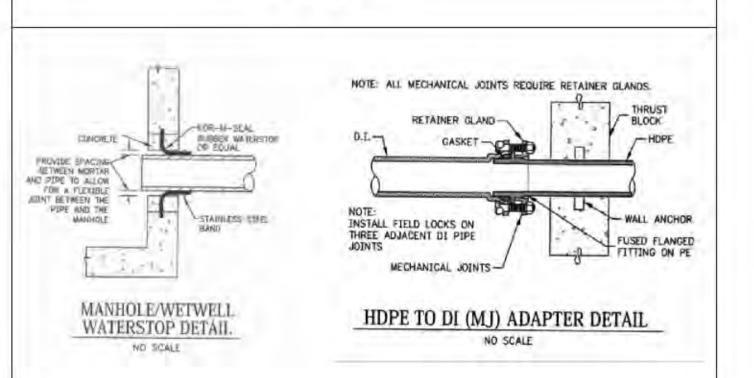


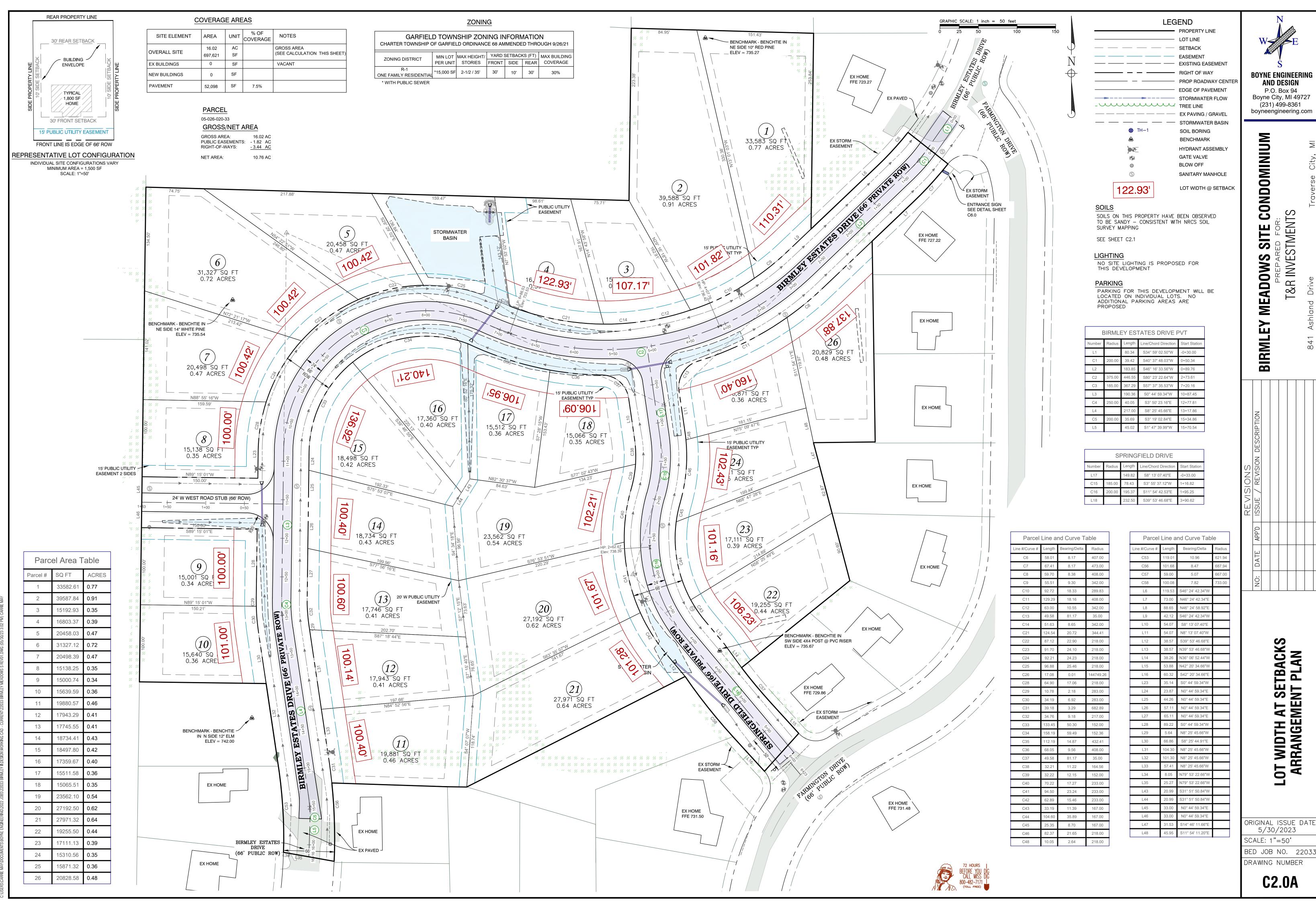




FOR ALL VALVES ON STUBBED LINES

NO SCALE







# GRAND TRAVERSE METRO FIRE DEPARTMENT FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686 Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: <a href="www.gtfire.org">www.gtfire.org</a> Email: <a href="mailto:lnfo@gtfire.org">lnfo@gtfire.org</a>

### SITE PLAN REVIEW RECORD

ID # M7400 DATE: 5/12/2023

PROJECT NAME: Birmley Meadows Site Condo

PROJECT ADDRESS: 841 Ashland Dr.

TOWNSHIP: Garfield

APPLICANT NAME: Carrie May

APPLICANT COMPANY: Boyne Engineering & Design

**APPLICANT ADDRESS:** 

APPLICANT CITY: STATE: ZIP:

APPLICANT PHONE: 231-499-8361 FAX #

REVIEW FEE: \$75.00

Reviewed By: <u>Kathy Fordyce</u>, Plan Reviewer

This review is based solely on the materials submitted for review and does not encompass any outstanding information. Compliance with all applicable code provisions is required and is the responsibility of the permit holder. Items not listed on the review do not negate any requirements of the code nor the compliance with same. Inspection requests must be made a minimum of 48 hours prior to needed inspection. This plan review is based on the 2015 International Fire Code, as adopted.



### GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686 Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: <a href="www.gtfire.org">www.gtfire.org</a> Email: <a href="mailto:lnfo@gtfire.org">lnfo@gtfire.org</a>

#### SITE PLAN REVIEW

ID# M7400 DATE: 5/12/2023

#### 1. 505.1 Address identification.

New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

#### 2. 505.2 Street or road signs.

Streets and roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replaced by permanent signs.

#### 3. 503.4 Obstruction of fire apparatus access roads.

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times.

Project may proceed with township approval process.

#### **Steve Hannon**

From: Steve Barry <sbarry@gtcrc.org>
Sent: Wednesday, May 24, 2023 9:50 AM

**To:** boyneeng@torchlake.com

**Subject:** RE: Conceptual Review Birmley Meadows

Carrie,

GTCRC approves of Birley Meadows Development. Be advised you will need to apply for permits prior to start of work.

Thank you,

Steve Barry GTCRC Permit and Violations Agent 231-922-4849 EXT 205

From: boyneeng@torchlake.com <boyneeng@torchlake.com>

**Sent:** Monday, May 8, 2023 11:17 AM **To:** Steve Barry <sbarry@gtcrc.org>

Cc: Wayne Schoonover <wschoonover@gtcrc.org>; Derek Weichlein <DWeichlein@gtcrc.org>

Subject: RE: Conceptual Review Birmley Meadows

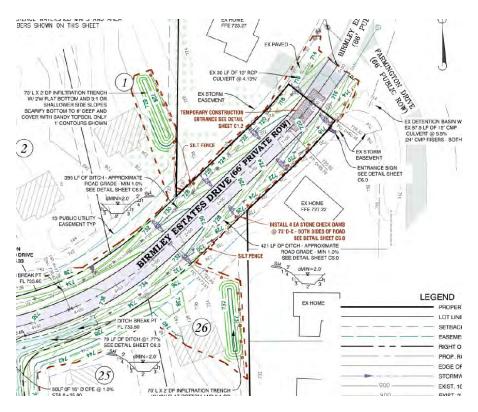
Steve,

Thank you for the review. No problem moving the sign. We can coordinate to location and installation with you moving forward. Here's a quick pic of the intersection:

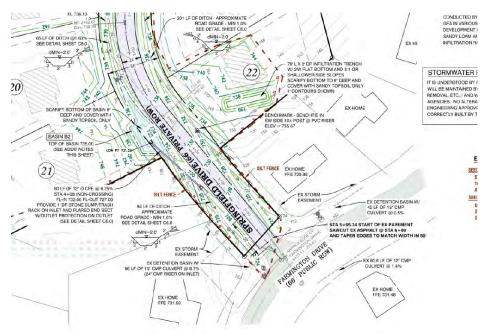


The stub maintenance shouldn't be a problem. If you agree, we will handle it the same way we discussed for Birmley Hills and will provide an agreement for the Association to take care of that.

Sheet C2.1 on the plan shows the ditches where Birmley Estates Drive (PVT) comes down to Farmington Drive. There will be check dams in those existing ditches as noted and there are existing basins at the bottom of the hill originally designed to take that water. We've also included some localized infiltration trenches downstream of planned home construction on lots 1 and 26 just as an additional measure. Did you get a copy of the stormwater control plan with the hydrology calculations? If not, I can email it to you.



Where Springfield drive comes down to Farmington Drive there are existing ditches also. There isn't much area that will be contributing to those ditches and there is a planned basin at the top of the hill on the south side of the drive with an outlet pipe and stone outlet protection. There are also existing basins at the intersection that were originally designed to take the flow and an additional infiltration trench on lot 22.



Please feel free to give me a call if that doesn't sufficiently answer your questions or concerns.

Thanks, and have a great day,

#### Carrie



CARRIE MAY, PE | OWNER/PRINCIPAL ENGINEER BOYNE ENGINEERING AND DESIGN, PLLC

Direct Phone: 231-499-8361 | E-mail: <a href="mailto:boyneeng@torchlake.com">boyneeng@torchlake.com</a> boyneengineering.com PO Box 94, Boyne City, MI 49712

To Box o 1, Boyno ony, mi Tor 1.

From: Steve Barry < sbarry@gtcrc.org > Sent: Friday, May 5, 2023 11:52 AM
To: boyneeng@torchlake.com

Cc: Wayne Schoonover < wschoonover@gtcrc.org >; Derek Weichlein < DWeichlein@gtcrc.org >

**Subject:** Conceptual Review Birmley Meadows

Carrie,

GTCRC has completed the Conceptual Review of Birmley Meadows and have the following comments:

- Stop sign to be moved to Farmington Dr not Birmley Estates
- Private roads that connect to county roads will need to be maintain all stubs.
- How will water be handled on a 6% slope down to Farmington Dr?

Thank you,

Steve Barry GTCRC Permit and Violations Agent 231-922-4849 EXT 205



231.946.3703 🕥



June 12, 2023

Mr. Chuck Korn, Supervisor Charter Township of Garfield 3848 Veterans Drive Traverse City, MI 49684

RE: Birmley Meadows Site Condominium – T&R Investments

Water Main and Sanitary Sewer Extension, Plan Review

GFA No. 23120

Dear Mr. Korn,

We have reviewed the plans for the proposed water and sewer system improvements associated with the above referenced project. The review was based on the current standards adopted by Garfield Township in conjunction with the Grand Traverse County Department of Public Works as well as Michigan Department of Environmental Quality requirements, Ten State Standards and accepted engineering practice for this area. The plans were prepared by Boyne Engineering & Design dated 4-5-2023. Based upon our review on behalf of Garfield Township with respect to utilities, I offer the following comments.

#### **DESCRIPTION OF THE PROPOSED PROJECT**

#### Water System

The proposed water system extension consists of a scaled quantity of approximately 2,300 linear feet of 8-inch PVC C900 water main to service the proposed development with one (1) extension. The system incorporates three (3) connections that loop back to the water system and provide increased reliability to this service area. The development will be served by the Lower Pressure zone of the Birmley District.

#### Sanitary Sewer System

The proposed sanitary sewer system extension consists of a scaled quantity of approximately 1,800 linear feet of 8-inch PVC sanitary sewer and eight (8) manholes to service the proposed development extension. The system incorporates two (2) connections to the existing sanitary sewer system.

#### **IMPACT ON THE EXISTING SYSTEM**

#### Sanitary Sewer System

The Garfield Township sanitary sewer collection system is divided up into eight (8) distinct service areas, designated by name according to the primary trunkline running along the respective road. In this case the proposed developed would be immediately serviced by the Garfield Road Service District. The development proposes to connect to the existing sanitary sewer system at two (2) existing structures; MH #571 and MH #567. Sewer flow will follow the gravity sewer system to Birmley Road, and north along Garfield Road to Garfield Lift Station No. 1. The design peak flows for the developments ultimate



buildout are estimated to be 25 GPM, however basis of design information was not submitted to confirm. Garfield Lift Station No. 1 was upgraded in 2005 to increase firm capacity to 2,700 gpm. The lift station is currently experiencing peak flows of approximately 1,032 gpm. Based on our review, the existing lift station is capable of handling the anticipated peak flows from the development. One segment of sanitary sewer (8" line between Manhole 565 and 565G) is the restrictive segment and will be at or near 60% capacity with full build out at permit flow values. Sewer review does not account for ability to provide basement service and only finish floor.

#### Water System

The Garfield Township water distribution system is divided up into four (4) distinct service districts with the limits defined by the existing infrastructure that services the users. In this case the proposed developed would be immediately serviced by the Birmley District. The development proposes to connect to the Birmley Primary Lower Pressure Zone receiving its supply directly from the City of Traverse City's four (4) million gallon storage tank on LaFranier road. Pressure is supplied by the Birmley Estates Elevated Storage Tank and maintained by Booster Station #2 having a rated firm capacity of 1,440 gpm. This portion of the development proposes to connect to existing water main at three (3) locations. All locations are within previously constructed phases of the development. Based upon information obtained from the 2011 Water Reliability Study and hydrant test data conducted by GFA, operating pressures are range from 45 to 65 psi with an available fire flow of approximately 1,800 gpm at 20 psi. It is estimated that the design maximum domestic demands for the development cannot be determined as REU data was not provided, once made available system analysis will be completed and determined adequacy of system pressure will be provided. GFA has requested a recent hydrant test report from the DPW and awaiting results. Finish Floor Elevations are not provided however to comply should be at or below 770 and should be provided to review

#### **COMMENTS ON THE PLANS**

#### **General Comments**

- 1. All design standards and specifications shall comply with the Current Standards adopted by Grand Traverse County Sewer and Water Systems (2017). Copies may be obtained from the Grand Traverse County Department of Public Works.
- 2. Please ensure all local regulatory permits including Soil Erosion and EGLE NPDES Permits are obtained. Please ensure Township receives copies of issued permits.
- 3. Please ensure all easements have been obtained and recorded with the Township prior to final acceptance of the utilities
- 4. Please ensure the Grand Traverse County DPW and Fire Department has reviewed the proposed plans and accepted.
- 5. The installation of water main, sewer main, hydrants, valves, and manholes shall not be installed within proposed sidewalk, and/or asphalt that would inhibit access by the DPW. Please ensure that there are no obstructions that would prohibit access. If this cannot be complied with, please note the DPW is not responsible for any costs associated with replacement of such infrastructure such as the landscaping, drives.



- 6. Incorrect hydrant # shown near sta. 5+50, sheet 4.2, shall be updated to reflect: 241
- 7. Please also note the following: In order for a developer to obtain their building permit and begin site work all permits must be issued including benefit fee payment to the DPW. However the DPW cannot accept this payment unless the infrastructure is either in place (water / sewer main) or a bond is provided by the developer equivalent to 100% of the cost of the utility. Please contact the DPW if you need further clarification, etc.
- 8. The applicant / design engineer is responsible to verify and confirm adequate water and sewer lead design (size and slope) are adequate to meet demands.
- 9. Two (2) benchmarks shall be provided on each utility sheet.
- 10. Applicant shall confirm that all water main and lines maintain 18" vertical and 10' horizontal separation from existing and proposed sewer (storm and sanitary) mains and leads.
- 11. Water and sewer stubs shall be installed to the limits of the property to facilitate future connections and provided on the proposed west road stub.

#### Water Main Plan and Profile Comments

- 1. Please note that C900 DR 18 is a minimum requirement and DR 14 is proposed.
- 2. Hydrant bonnets should be noted or shown to face the roadway or nearest curb.
- 3. Watermain shall maintain minimum of 18" vertical separation from all storm water ditches / basins and 10' horizontal.
- 4. Verify distance between proposed hydrant #1249 and existing hydrant #245 is less than 400' separation.
- 5. Drawings indicate a total of four (4) hydrants numbered 1246-1249. Our records indicate a total of 5 hydrant numbers allocated to Birmley Meadows. Please verify Hydrant numbers 1246-1249 will be assigned with this project.

#### Sanitary Sewer Plan and Profile Comments

- 1. The proposed slope between proposed MH#1826 and proposed MH #1827 is 0.399%. The minimum slope required by Ten States Standards for 8" pipe is 0.4% to ensure 2 feet per second.
- 2. Manholes in the profile appear to be below/above existing grade in all locations, the manhole rim should at or slightly above proposed grade as to not impede on regular maintenance activities such as plowing, mowing.
- 3. Drawings indicate a total of seven (7) manholes numbered 1825-1831. Our records indicate a total of 9 manholes numbers allocated to Birmley Meadows. Please verify manhole numbers 1825-1831 will be assigned with this project

#### **COMMENTS ON THE PERMIT APPLICATIONS**

<u>EGLE Part 41 and Act 399</u> Please provide word document draft of the permit application with items 1 - 19 filled out.

- 1. Technical specifications need to be provided and are available on the GTC DPWs website. Please prepare three (3) copies submitted, signed and sealed.
- 2. Please provide basis of design for the project. A typical REU usage value 350 GPD/REU and a maximum of 4 peaking factor should be applied for sewer and 200 GPD/ REU and a maximum peaking factor of 3.0 for water.



At this point we expect that the design engineer will be making the above revisions and re-submitting the plans and permit applications for a minor second review. We will provide the subsequent review to verify the appropriate revisions have been made. Assuming the appropriate corrections have been made we will make recommendation to the Township for submission of permit application. At such time, four (4) copies of plans and specifications (signed/ sealed) including an Act 399 Permit Application will need to be provided for submission.

We appreciate the opportunity to assist the Township during the approval of this project. If you have any questions, please don't hesitate to contact me at (231) 946-5874.

Sincerely,

Jennifer Graham, P.E.

Project Manager

CC: John Divozzo, Director, GTC DPW
Carrie May, P.E., Boyne Engineering & Design

Dale & Janet Troppman 1226 Birmley Estates Dr Traverse City, MI 49696

June 24, 2023

Garfield Township Planning Commission 3848 Veterans Dr Traverse City, MI 49684

#### **Dear Commissioners:**

I was not able to attend the meeting June 14, 2023 regarding the public hearing of application submitted by T&R Investments for Birmley Meadows. To that regard, I do have some comments and concerns I would like addressed.

- 1. Who will be responsible for paying and installing the municipal water and sewer?
- 2. Looking at the Site Map provided for the hearing and reviewing the property lines on Regrid, plus the survey stakes that were placed on our property lines, it looks as though T&R Investments will be responsible for the road maintenance in front of our residence. Please confirm how this will be handled.
- 3. When performing the excavation for both our water and sewer installations, it was noted to the County personnel on site that the water main terminates directly under our concrete driveway. We were told at the time the County had no plans to extend the line. We would be interested on how this will be addressed or even incorporated into the new site condominium to be located to the north of our property.

Thank you for your attention and I am looking forward to your response.

Best Regards,

Dale Troppman 1226 Birmley Estates Dr Traverse City MI 49696 c: 231-218-0520

#### **Steve Hannon**

**From:** boyneeng@torchlake.com

**Sent:** Wednesday, June 28, 2023 4:02 PM

**To:** Steve Hannon; zakrajseksteve@gmail.com; Andrew J. Blodgett

Cc: John Sych

**Subject:** RE: Birmley Meadows - Letter from Resident

#### Hello Steve,

As I understand it, the platted lots that front on Mr. Zakrajsek's property for both Birmley Hills and Birmley Meadows currently access their property through existing easements across his property. These easements will be continued when the property is converted into a site condominium. These platted lots will not be part of the site condominium association. With regards to maintenance, The County Road Commission is responsible for the roads up to Mr. Zakrajsek's property, but there will be a maintenance agreement put into place with the Road Commission for the new association to plow the portion of the county road (stubs) where there is no turn around (such as the one we are providing near the water tower in Birmley Hills). I am copying Andy Blodgett here as he is the attorney who is drafting the Site Condominium Documents. I'd like him to weigh in if I have not adequately explained how the arrangement works.

Thanks, Carrie



CARRIE MAY, PE | OWNER/PRINCIPAL ENGINEER BOYNE ENGINEERING AND DESIGN, PLLC Direct Phone: 231-499-8361 | E-mail: boyneeng@torchlake.com

Direct Phone: 231-499-8361 | E-mail: <a href="mailto:boyneeng@torchlake.com">boyneeng@torchlake.com</a> boyneengineering.com PO Box 94, Boyne City, MI 49712

From: Steve Hannon <shannon@garfield-twp.com>

Sent: Wednesday, June 28, 2023 2:00 PM

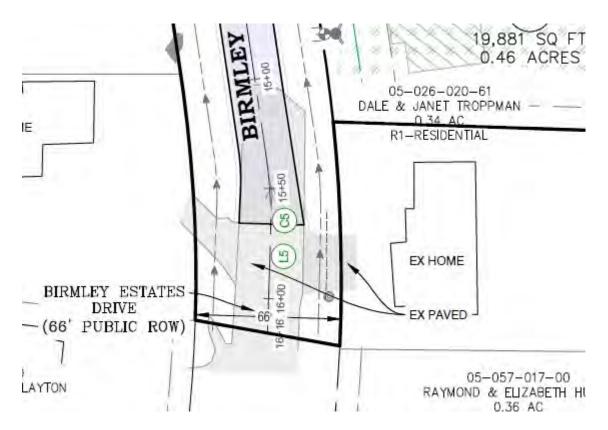
To: boyneeng@torchlake.com; zakrajseksteve@gmail.com

Cc: John Sych <jsych@garfield-twp.com>

Subject: RE: Birmley Meadows - Letter from Resident

Thanks for calling Steve and clarifying a few things. After taking a look at the letter and at the site plan, I think I understand what he was asking.

His property fronts along the portion of Birmley Estates Drive that is on your site. Is there an easement that covers the existing portion of the roadway on your site? In other words, will his property be part of the site condo or no? It looks like part of the existing public ROW goes onto your site (see below).



I looked back at Birmley Hills as well and some of the existing homes in the subdivision also front onto the portion of the road that is on your site. Is there an easement that covers the existing portion of the roadway there as well?

Before I call him back, let me know how this works so I can tell him the right information.

Thanks,

#### Stephen Hannon, AICP

Deputy Planning Director Charter Township of Garfield

3848 Veterans Drive Traverse City, MI 49684 <a href="mailto:shannon@garfield-twp.com">shannon@garfield-twp.com</a> (231) 225-3156

From: Steve Hannon

Sent: Tuesday, June 27, 2023 3:30 PM

To: boyneeng@torchlake.com; zakrajseksteve@gmail.com

Cc: John Sych <jsych@garfield-twp.com>

Subject: Birmley Meadows - Letter from Resident

Hello Carrie and Steve,

I'm forwarding you the attached letter we received from a resident on Birmley Estates Drive. He had questions on a few items related to construction/maintenance and coordination of some aspects of the project.

If you could provide responses to his questions back to me, I can call him and relay the information. Any information you'd like to say is greatly appreciated.

Thanks,

**Stephen Hannon, AICP**Deputy Planning Director
Charter Township of Garfield

3848 Veterans Drive Traverse City, MI 49684 shannon@garfield-twp.com (231) 225-3156

Charter Township of Garfield  Planning Department Report No. 2023-86				
Prepared:	July 5, 2023	Pages: 10		
Meeting:	July 12, 2023 Planning Commission	Attachments:		
Subject:	Ridge 45 Phase I-III and Phase IV SUP Amendments – Findings of Fact			
File Nos.	SUP-2021-02-B and SUP 2015-01-E			
Parcel Nos.	05-023-026-55, 05-023-025-60, and 05-023	3-026-45		
Applicant:	Hammond Investment Properties, LLC			
Agent:	Scott Jozwiak/Jozwiak Consulting, Inc.			
Owner:	Hammond Investment Properties, LLC			

#### **BRIEF OVERVIEW:**

#### Phase I-III

• Location: 1555 Ridge Boulevard, west off LaFranier Road

• Parcel area: 37.8 acres

• Existing land use: multi-family housing

• Existing zoning: R-3 Multi Family Residential

• Existing development: 16 multi-family residential buildings with a total of 400 dwelling units

#### Phase IV

• Location: 1532 West Hammond Road, west of LaFranier Road, north of Hammond Road

• Parcel area: 21.85 acres

• Existing land use: undeveloped land

• Existing zoning: R-3 Multi Family Residential

• Proposed development: 7 multi-family residential buildings with a total of 196 dwelling units

Aerial image of the subject property (property lines highlighted in blue):

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#### **PURPOSE OF APPLICATION:**

Ridge45 Phase I-IV were developed/approved as follows:

Ridge45 Multi-family Housing Development Phases I-IV						
Phase Year Approved by Total Number of Apartment Buildings Apartment Units						
I 2015		9	232			
II	2017	3	72			
III	2018	4	96			
IV	2021/2022*	12	204			
Total 28 604						

<sup>\*</sup>Approved as South22 by the Planning Commission in 2021. An Administrative Amendment to South22 was approved in 2022. Project has not been constructed.

In 2021, the South22 Special Use Permit (now Phase IV) was approved by the Planning Commission for a 216-unit multi-family housing development. In 2022, an administrative amendment to the Special Use Permit was approved. As part of the amendment, the number of multi-family units was reduced to 204 based on internal reconfiguration of the floor plans for the three proposed apartment buildings. Initial site preparation has been underway. The developer wants to combine Phase I-III with Phase IV into one continuous development. Township Attorney, Scott Howard, determined that combining the two Special Use Permits into one Special Use Permit is permissible.

The new application for Ridge45 Phase IV proposes seven apartment buildings containing 28 units each for a total of 196 dwelling units. Final approval merges all phases into one Report and Decision Order.

Ridge45 Multi-family Housing Development Phase IV						
Building Type	Square Feet Footprint Each	Total Number of Units	Total Square Feet			
3-story apartment building	28 each	7	11,600	196	81,200	
Maintenance building	n/a	1	4,000	n/a	4,000	
Total 196 85,200						

The final configuration of Ridge45 will be as follows:

Ridge45 Multi-family Housing Development					
Phase	Total Number of Apartment Units				
I	9	232			
II	3	72			
III	4	96			
IV	7	196			
Total	23	596			

#### SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;
- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

#### STAFF COMMENTS FOR PHASE IV:

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

#### **Building Density**

The proposed multi-family housing development consists of 196 dwelling units on 21.85 acres of land resulting in 8.97 units per acre.

#### **Building Types**

Building façade elevations have been provided. Maximum building height in the R-3 District is 3 stories or 40 feet. Dimensions should be noted, or other documentation provided to ensure that the buildings are in conformance. As presented, proposed buildings appear to meet all height requirements.

Maximum lot coverage or the percentage of the lot occupied by a building, including accessory buildings, is 35%. At 21.85 acres or 951,786 square feet, proposed lot coverage is 9%.

Proposed new amenities include a dog park and sidewalks. By incorporating this development as Phase IV of Ridge45, residents will have access to the existing clubhouse and pool in Ridge45. The Phase IV site plan identifies an area that states, "Community space and future area for amenities such as a second community building, pool, playground or other needs derived from future capacity constraints at existing facilities."

#### Setbacks

The front setback is 25 feet in the R-3 District. Side and rear yards in the R-3 District shall be 20 feet. The proposed buildings and structures meet all setback requirements.

#### Ingress and Egress

Ingress and egress for the site will be provided from the existing Lloyd Lane to the south and from the existing Parkside Boulevard in the Ridge45 development to the north. Lloyd Lane provides access to Hammond Road, and Parkside Boulevard provides access to LaFranier Road.

#### Traffic Impact Report

A traffic impact report shall be required for any major development, special use permit, or site plan under the following described conditions:

- (1) A proposed rezoning that could generate 150 or more directional trips during the peak hour or at least 1,000 more trips per day than the most intensive use that could be developed under existing zoning;
- (2) A proposed development that will generate 150 or more directional trips during the peak hour or at least 500 trips per day; or
- (3) A proposed development for a 5-acre or larger site; or
- (4) Upon determination by the Director of Planning, or by the Planning Commission, that a report is necessary to determine needed road improvements or to determine that unsafe or hazardous conditions will not be created by the development as proposed.

The requirements for a traffic impact report may be waived in whole or in part by the Director of Planning, or by the Planning Commission, upon a determination that such report is not necessary to determine needed road improvements or that no unsafe or hazardous conditions will be created by the development as proposed.

The proposed development exceeds 5 acres and is a development expected to generate more than 500 trips per day. While a new driveway will be proposed on Lloyd Lane, no new driveways are proposed for Hammond or LaFranier Roads. Considering this driveway configuration and design, Staff recommends waiving the requirement for a traffic impact report.

#### Parking and Bicycle Racks

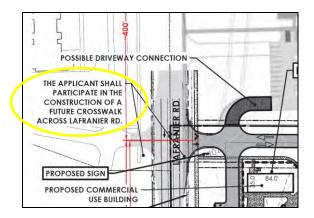
Parking areas for multiple family dwellings have a minimum parking requirement of 1.5 spaces per dwelling unit to a maximum of 2.0 spaces per dwelling unit. With 196 proposed units, a minimum of 294 parking spaces is required and a maximum of 392 parking spaces are permitted. 385 parking spaces are proposed. An additional four parking spaces are provided for the proposed maintenance building for a total of 389 parking spaces onsite. Of the proposed multi-family parking spaces, 273 are outdoor surface spaces and 112 are indoor garage spaces.

Wherever off-street parking is required, a minimum of two bicycle parking spaces are required. For parking areas with greater than twenty-five (25) motor vehicle spaces, bicycle parking shall be provided on a basis of two spaces per twenty-five motor vehicle parking spaces. Two bicycle racks are proposed at each of the seven apartment buildings for a total of 14 racks. Typical details on the racks should be provided.

#### Sidewalks

Sidewalks are proposed on the site. Dimensions and type of construction materials must be provided in compliance with Township requirements.

A crosswalk connection to the BATA/TCHC Transit-Oriented Mixed-Use Planned Unit Development located on the east side of LaFranier Road is required. Construction of the crosswalk would be shared by the applicant and BATA/TCHC. The crosswalk will provide access to the new BATA transfer station planned on the east side of LaFranier Road.



#### Wetlands

Approximately 0.12 acres of wetlands located near LaFranier Road have been delineated and verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE). A 25-foot buffer has been provided as required by the Township.

#### Landscaping

Landscaping requirements are described by the following for each length of greenspace area (e.g., without including ingress and egress drives):

Greenspace		Amount	
(Length)	Buffer Planting Requirement	Required	Amount Provided
East (1,090 ft.)	Type "D" Buffer – ground cover as	44 large trees	44 large trees
	specified in Section 530.J, plus 4 large	33 med/small trees	33 med/small trees
	trees, 3 medium or small trees, and 3	33 evergreens	33 evergreens
	evergreen or coniferous trees per 100	20 ft. min width	20 ft. min width shown
South (880 ft.)	linear feet of greenspace area, and a	36 large trees	36 large trees
	minimum width of 20 feet.	27 med/small trees	27 med/small trees
		27 evergreens	27 evergreens
		20 ft. min width	20 ft. min width shown
West (632 ft.)	Type "C" Buffer – ground cover as	18 large trees	19 large trees
	specified in Section 530.J, plus 3 large	18 med/small trees	19 med/small trees
	trees, 3 medium or small tree, and 1	6 evergreens	7 evergreens
	evergreen or coniferous per 100 linear	10 ft. min width	10 ft. min width shown
	feet of greenspace area, and a minimum		
	width of 10 feet.		

A north buffer is not required since the proposed development is a continuation of the Ridge45 development. An existing landscaping inventory will be taken following site work. At that time, the plan will be amended to credit for existing trees. This is a practice that the Township has permitted on other sites.

Specific locations of plantings, species, and minimum plant sizes have not been designated on the landscaping plan. Per Section 530.F, Plant Material Requirements require a mix of species and minimum plant sizes. Showing locations of plantings assures that the minimum number of required plantings has been met. The landscaping plan shall note specific locations of plantings, species, and minimum planting sizes.

#### Lighting

A photometric plan has been included with the site plan. The lighting standards of Section 517 of the Zoning Ordinance are described by the following:

Zoning Ordinance Lighting Standard	Subject Site
A. Applicability – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	Proposed lighting along Lloyd Lane provides lighting for the public street and is exempt.  Approval from the Road Commission may be required for the proposed fixture within the right-of-way.
B. Shielding and Filtration – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cutoff and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	A notation regarding shielding has been provided on the plan.
C. Illumination – Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.	Illumination levels exceed for three proposed fixtures along Lloyd Lane. However, these lights provide public street illumination including the driveway entrance, the proposed sidewalk, and Lloyd Lane, and are therefore exempt as noted above.
D. Color Temperature – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.	Based on the plan, the proposed lamps meet this requirement.
E. Prohibitions – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	No prohibited lights are proposed.
F. Pole Height – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.	Based on the plan, the proposed fixture lighting does not exceed the maximum height in the R-3 District.

#### Snow Storage

Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Snow storage areas have been identified and meet the minimum requirements.

#### Dumpster Enclosures

Two dumpster enclosures are proposed. One proposed enclosure is located adjacent to the proposed Maintenance Building. The other proposed enclosure is located on Orchard Circle where an existing enclosure is located 75 feet to the north. Staff recommends that the proposed enclosure on Orchard Circle

be consolidated with the existing enclosure. Details of the construction of the enclosures noted on the site plan meet the requirements.

#### Other Reviews

The application is subject to additional reviews, including but not limited to the Township Engineer, Grand Traverse County Road Commission, and Metro Fire. Sewer and water utility improvements and stormwater improvements will be reviewed by the Township Engineer. Escrow for these reviews is needed as determined by the Township Engineer. Signs are reviewed by the Township Zoning Administrator.

#### STAFF COMMENTS FOR PHASE I-III:

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

#### Changes

No changes are proposed to the Ridge45 Phases I-III multi-family housing development. However, the previously required landscaping buffer along the southern parcel line will no longer be required. Also, a new Report and Decision Order will be required to acknowledge the merged developments.

#### Ridge Boulevard Entrance

Ridge Boulevard, the primary entrance to Ridge45 Phases I-III needs to be corrected to meet Road Commission standards and match the entrance to the Village of LaFranier Woods on the east side of LaFranier Road. An approved plan and Road Commission permit has been obtained by the applicant. Any amendment to the Ridge45 Phases I-III will include the condition that the Ridge Boulevard entry will be completed.

#### FINDINGS OF FACT:

At its June 14, 2023 meeting, the Planning Commission unanimously passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration.

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The Master Plan identifies the site as High Density Residential on the Future Land Use map.
- The site is zoned R-3 Multi Family Residential. Multi-family housing is permitted via Special Use Permit in the R-3 Multi Family Residential district.
- The site will be able to meet all regulations of the R-3 zoning district.
- (2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The Planning Commission may find this standard to be **MET** for the following reasons:

• The site is adjacent to other compatible multi-family housing in the LaFranier Hill neighborhood including the approved Village of LaFranier Woods senior residential community, the existing Oak Park apartments, and the approved BATA/Traverse City Housing Commission planned unit development.

- There are wetlands located on the site. The applicant has obtained a delineation and a natural buffer as required has been provided.
- (3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

The Planning Commission may find this standard to be **MET** for the following reasons:

- No nuisances or hazards are expected to be generated.
- The proposed lighting and photometric plan address all lighting requirements of the Ordinance.
- (4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The placement of the building and the parking have been made in a way that will minimize any impact on adjacent properties.
- Setback and landscaping requirements have been met.
- (5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The Planning Commission may find this standard to be **MET** for the following reasons:

- There are wetlands located on the site. The applicant has obtained a delineation and a natural buffer as required has been provided.
- The proposed development will provide landscaping as part of the site design to contribute positively to the general character of the neighborhood.
- (6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

The Planning Commission may find this standard to be **MET** for the following reasons:

- Municipal water and sewer facilities currently serve the area. This proposed development will coordinate with neighboring developments to gain service for the site.
- The applicant proposes to manage storm water onsite with three retention basins. The storm water management system will be reviewed by the Township Engineer.
- Significant additional demand for schools, police, or fire protection is not anticipated.
- (7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The proposed use will not be detrimental to public health, safety, morals, or general welfare. The proposed use is compatible with nearby uses and is not expected to generate any nuisances.
- (8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

The Planning Commission may find this standard to be **MET** for the following reasons:

- The public interest and welfare are well-served by the proposed use, which is allowed via special use permit in the R-3 district.
- A public hearing was held on June 14, 2023.
- (9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

The Planning Commission may find this standard to be **MET** for the following reasons:

- Ingress and egress for the site will be provided from Lloyd Lane to the south and Parkside Boulevard in the Ridge45 development to the north. Lloyd Lane will provide access to Hammond Road. Parkside Boulevard will provide access to LaFranier Road.
- (10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

The Planning Commission may find this standard to be **MET** for the following reasons:

- The site design will allow for safe vehicular traffic throughout the site.
- Pedestrians will be accommodated with new sidewalks along LaFranier and Hammond Roads and internally within the site.
- A new pedestrian crosswalk will be provided at Parkside Boulevard and LaFranier Road to provide access to the new transit center being built by BATA on the east side of LaFranier Road.
- (11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The Planning Commission may find this standard to be **MET** for the following reasons:

• The proposed use is permitted via a special land use permit in the R-3 district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

#### **ACTION REQUESTED:**

The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT the Findings of Fact for applications SUP-2021-02-B and SUP 2015-01-E SUP-2021-02, as presented in Planning Department Report 2023-86 and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

MOTION THAT applications SUP-2021-02-B and SUP 2015-01-E BE APPROVED and identified going forward as SUP-2023-05, subject to the following conditions (1-9 as indicated in PD 2023-86):

- 1. The landscaping plan shall note specific locations of plantings, species, and minimum planting sizes.
- 2. Reconstruct the Ridge Boulevard entry in accordance with Road Commission requirements and prior to any land use permit being issued.
- Share in the construction of a crosswalk at Parkside Boulevard and LaFranier Road
  to provide access to the new BATA transfer station planned on the east side of
  LaFranier Road.
- 4. Waive the requirement for a traffic impact report.
- 5. Final engineering review and approval by the Township Engineer is required including all infrastructure and stormwater.
- 6. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
- 7. All proposed landscaping and site amenities shall be installed prior to the issuance of a Certificate of Occupancy.
- 8. The applicant shall provide two (2) full-size plan sets, one (1) 11x17" plan set, and one electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.
- 9. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Director of Planning within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

#### Attachments:

- 1. Ridge45 Phases I-III Application dated April 10, 2023
- 2. Ridge45 Phase IV (formerly South22) Application dated April 10, 2023
- 3. Ridge45 Phases I-III and Phase IV Narrative dated April 11, 2023
- 4. Ridge45 Phase IV (formerly South22) Written Impact Statement dated April 23, 2023
- 5. Ridge45 Phases I-IV Site Plan dated June 30, 2023



# **Charter Township of Garfield**

**Grand Traverse County** 

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

## SPECIAL USE PERMIT (SUP) APPLICATION

#### **ASSISTANCE**

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTIO	N REQUESTED					
	New Special Use Permit					
	Major Amendment					
	Minor Amendment					
	Administrative Amend	Iment				
PROJE	CT / DEVELOPMENT	NAM <u>E</u>				
	Ridge45 Multi-Family	Apartment Community (Ridge 45 Phases 1 - 3)				
APPLIC	CANT INFORMATION		1			
	Name:	Midwest MFD - South, LLC				
	Address:	1435 Fulton, 2nd Floor, Grand Haven, MI 49417				
	Phone Number:	616-842-2030				
	Email:	scott@westwind.build				
<u>AGEN</u> 1	INFORMATION					
	Name:	Scott Jozwiak, Jozwiak Consulting				
	Address:	13300 S. West Bay Shore Dr, Traverse City, MI	49684			
	Phone Number:	231-218-1201				
	Email:	scott@jozwiakconsulting.com				
<u>OWNE</u>	R INFORMATION					
	Name:	Midwest MFD - South, LLC				
	Address:	1435 Fulton, 2nd Floor, Grand Haven, MI 49417				
	Phone Number:	616-842-2030				
	Fmail:	scott@westwind.build				

CONTACT P				
		e contact p	erson for a	all correspondence and questions:
	licant:			
Age		Scott Jozy	viak ————	
Owi	ner:			
PROPERTY	INFORMATION			
Prop	perty Address:	1555 Ridg	e Blvd	
Prop	erty Identification	Number	05-023-02	6-40
Lega	al Description:		see attach	ed
Zon	ing District:		R1-M	
Mas	ter Plan Future La	and Use De	esignation:	
Area	of Property (acre	es or squar	re feet):	15.012 acres
Exis	sting Use(s):	Multi-Fami	ilv	· · · · · · · · · · · · · · · · · · ·
	- ''			equest to allow privacy fence in lieu of some req'd plantings
PROJECT T	,			
	nated Start Date:	2	N/A	
	nated Start Date. nated Completion		November	, 2021
LSun	nateu Completion	Date.		
		10		
2	SUBMITTAL ITEN  pplication for a Sp		Permit cons	sists of the following:
Appl	cation Form:			
		igned appli	ication	
				PDF only)
Appli	cation Fee:	<b>,</b>	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
		ablished by	resolution	of the Garfield Township Board and are set out in the current Fee
				ng Department page of the Township website (http://www.garfield-
				Charter Township of Garfield.
	_ '			o onarror rownamp or carnoig.
_	ow Fee:			
L301		e may bo r	sauired if a	review by independent professional help is deemed necessary by the
				nal fees must be placed in escrow by the applicant in accordance with
				p and prior to any further processing of this application. Any unused
		andii De l'el	umed to th	e applicant. Please complete an Escrow and Review (ER) Application
	form.			
Site l	Development Plar	า:		

☐ Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)

☐ Two complete bound 24"x36" paper sets

One digital set (PDF only)

Written I	Written Information:				
	Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)				
	One digital copy of the Approval Criteria (PDF only)				
	Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)				
	One digital copy of the Impact Assessment (PDF only)				
Digital ite	Digital items to be delivered via email or USB flash drive				

#### SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

#### **WAIVERS**

#### Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

#### Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

### SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

#### APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance,
including all regulations of the applicable zoning district;

	The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and
	appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural
	environment;
	The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public
	welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or
	electromagnetic interference;
	Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be
	minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well
	as the provision and location of screening, fencing, landscaping, buffers or setbacks;
	The proposed use will retain as many natural features of the property as practicable, particularly where the natural
	features assist in preserving the general character of the neighborhood;
	Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage
	structures, police and fire protection, and schools, already exist or will be provided without excessive additional
	requirements at public cost;
	The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the
	public health, safety, morals, comfort, or general welfare;
	The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that
	are adversely affected by the establishment of the proposed use;
	Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to
	minimize traffic congestion on the public roads;
	Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets
	and sidewalks servicing the site in a safe and convenient manner; and
	The proposed use shall not impede the orderly development and improvement of surrounding property for uses
	permitted within the zoning district.
IMPAC	T ASSESSMENT
	en impact statement to include the following information:
	A written illustrative description of the environmental characteristics of the site prior to development, i.e.,
	topography, soils, vegetative cover, drainage, streams, creeks or ponds.
	Types of uses and other man-made facilities.
	The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
	Phasing of the project including ultimate development proposals.
	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams
_	wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on
	the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
П	The method to be used to serve the development with water and sanitary sewer facilities.
	The method to be used to control drainage on the site and from the site. This shall include runoff control during
	periods of construction.
	If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health
	Department or other responsible public agency indicating approval of plans for sewage treatment.
	the state of the s

Page 4 of 8 SUP - Form Date: March 1, 2021

	Ц	The method to be used to control any increase in effluent di	scharge to the air or	any increa	ase in noise leve	el .				
		emanating from the site. Consideration of any nuisance that	would be created w	ithin the si	ite or external to	the site				
		whether by reason of dust, noise, fumes vibration, smoke or	lights.							
		An indication of how the proposed use conforms with existing and potential development patterns and any								
	adverse effects.									
		The proposed density in units per acre for residential developments.								
		Name(s) and address(es) of person(s) responsible for prepare	aration of statement							
		Description of measures to control soil erosion and sedimen	g and cons	struction operati	ons					
		and until a permanent ground cover is established. Recomm	and until a permanent ground cover is established. Recommendations for such measures may be obtained from							
		the County Soil Erosion and Sedimentation office.								
		Type, direction, and intensity of outside lighting.								
		General description of deed restrictions, if any.								
Αſ	DITIO	ONAL INFORMATION								
7		cable, provide the following further information:								
			<u>Yes</u>	No	Not <u>Applicable</u>					
A.	San	itary Sewer Service	165	<u>No</u>	Applicable					
1.	Doe	es project require extension of public sewer line?				e.				
		If yes, has a Utility Agreement been prepared?								
2.	Will	a community wastewater system be installed?		7						
		If yes, has a Utility Agreement been prepared?								
		If yes, provide construction plans and specifications								
3.	Will	on-site disposal be used?		<b>/</b>						
		If yes, is it depicted on plan?								
В.	Wate	er Service		_						
1.	Doe	es project require extension of public water main?		Ø						
		If yes, has a Utility Agreement been prepared?								
2.	Will	a community water supply be installed?		Ø						
		If yes, has a Utility Agreement been prepared?								
		If yes, provide construction plans and specifications								
C.	Publ	lic utility easements required?			<b>7</b>					
		If yes, show on plan.								
D.	Stor	mwater Review/Soil Erosion	_	_	_					
1.	Soil	Erosion Plans approved by Soil Erosion Office?			Ø					
		If so, attach approval letter.								
		If no, are alternate measures shown?								
2.	Storr	mwater Plans approved by Township Engineer?			<b>/</b>					
		If so, attach approval letter.		_						
		If no, are alternate measures shown?								
		Note: Alternate measures must be designed and sealed by a registered Engineer.								

E.	Roads and Circulation				
1.	Are interior public streets proposed?			7	
	If yes, has Road Commission approved (attach letter)?			<b>7</b>	
2,	Will public streets connect to adjoining properties or future streets?			<b></b>	
3.	Are private roads or interior drives proposed?			<b>7</b>	
4.	Will private drives connect to adjoining properties service roads?	<b>7</b>			
5.	Has the Road Commission or MDOT approved curb cuts?			✓	
	If yes, attach approved permit,				
OT	THER INFORMATION		·		
If t	there is any other information that you think may be useful in the re	view of this a	application, pl	ease attach it to	o this
	plication or explain it on a separate page.				
RE	EVIEW PROCESS				
	<ul> <li>Upon submittal of this application, Staff will review the materials st</li> </ul>	ubmitted and	will, within te	n (10) working	days,
	forward a determination of completeness to the applicant. If the sub	mission is in	complete or n	oncompliant wit	h the
	Zoning Ordinance, it will be returned to the applicant for revision.	Once the sub	mission is rev	rised, Staff will a	again
	review it for completeness and again forward a determination to t	he applicant	within ten (1	0) working days	ŢX.
	This procedure shall be repeated until a complete submission is rece	eived.			
	<ul> <li>Once the application is deemed to be complete and submitted ad</li> </ul>	cording to th	ne application	deadlines, it wi	ll be
	forwarded to the Planning Commission for review. The Planning	Commission	will determine	if the application	on is
	complete and schedule a public hearing.				
1	<ul> <li>Upon holding a public hearing, the Planning Commission may a</li> </ul>	pprove, appr	ove with con-	ditions, or deny	the
	proposed special use.				
•	<ul> <li>If approved or approved with conditions, the decision of the Plan</li> </ul>	ning Commis	sion shall be	incorporated in	to a
	written report and decision order.				
PE	RMISSION TO ENTER SUBJECT PROPERTY				
Pe	rmission is hereby granted to Garfield Township staff and Planning Con	missioners to	enter the pre	mises subject to	this
ар	plication for the purposes of making inspections associated with this ap	olication, duri	ng normal and	l reasonable wo	rking
ho	urs.				

SUP - Form Date: March 1, 2021

Date:

Owner Signature:
Applicant Signature:
Agent Signature:

#### **OWNER'S AUTHORIZATION**

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We	MIDU	TZZL	MFD	authorize to make this application on my/our behal
and to p	provide any of m	y/our perso	onal information	necessary for the processing of this application. Moreover, this shall be
your goo	od and sufficient	t authorizat	in for so doing	. /
Owner S	Signature:	NA	CHALA	
Date:	9	4-10	· 702}	

#### **AFFIDAVIT**

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date:

Applicant Signature:

Date:

	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A.	Basic Information		
1.	Applicant's name, address, telephone number and signature		
2.	Property owner's name, address, telephone number and signature		
3.	Proof of property ownership		
4.	Whether there are any options or liens on the property		
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
7.	A vicinity map showing the area and road network surrounding the property		
8.	Name, address and phone number of the preparer of the site plan		
9.	Project title or name of the proposed development		
10.	Statement of proposed use of land, project completion schedule, any proposed development phasing		
11,	Land uses and zoning classification on the subject parcel and adjoining parcels		
12.	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	TÜ	
B.	Site Plan information		
1.	North arrow, scale, and date of original submittal and last revision		
2.	Boundary dimensions of natural features	hash	
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		
4.	Proposed alterations to topography and other natural features		
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where stopes exceed 18%		
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing		
8.	structures		
0.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals,	100	_
	salls, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		
9,	Proposed finish floor and grade line elevations of any structures		
3.	*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.	□ *	
10,	Existing and proposed driveways, including parking areas		
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		
_	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared		
	parking areas		
13.			
	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		
	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
	Location of water supply lines and/or wells		
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems		
	Location, specifications, and access to a water supply in the event of a fire emergency		
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		0
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV,		0
00	telephone and steam		
22.			
	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
24.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what		
	is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate	17.5	
26.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities,	1112	-
	and on the natural environment on and adjacent to the site)		
27.	Changes or modifications required for any applicable regulatory agencies' approvals		



# **Charter Township of Garfield**

**Grand Traverse County** 

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

### SPECIAL USE PERMIT (SUP) APPLICATION

#### ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

<u>ACTIO</u>	N REQUESTED			
	New Special Use Pe	ermit		
V	Major Amendment		7	(*)
	Minor Amendment			
	Administrative Amer	ndment	8 5 8	40
PROJE	ECT / DEVELOPMEN	T NAME		
Ri	dge45 - Phase 4 (form	nerly South22)		
APPLIC	CANT INFORMATION			
	Name:	Hammond Investment Properties, LLC		
	Address:	1435 Fulton St., 2nd Floor, Grand Haven, MI 4	9417	
	Phone Number:	616-842-2030		
	Email:	pete@westwind.build		
AGEN <sup>*</sup>	TINFORMATION			
	Name:	Scott Jozwiak, PE of Jozwiak Consulting, Inc.		
	Address:	PO Box 5342, Traverse City, MI 49696		
	Phone Number:	231-218-1201		
	Email:	scott@jozwiakconsulting.com		
<u>OWNE</u>	R INFORMATION			
	Name:	Hammond Investment Properties, LLC		
	Address:	1435 Fulton St., 2nd Floor, Grand Haven, MI 49	9417	
	Phone Number.	616-842-2030		
	Email:	pete@westwind.build		

CONTACT PEI		e contact p	erson for all correspondence and questions:			
Applic	ant:	Pete Oleszczuk				
Agent	1					
Owne		Pete Olesz	zczuk			
PROPERTY IN	IFORMATION					
Proper	rty Address:	1532 W Ha	ammond Rd., Traverse City, MI 49686			
Proper	ty Identification	Number:	28-05-023-026-50			
Legal i	Description:		See attached site plan C0			
Zoning	District:		R-3 Multi Family Residential			
Maste	r Plan Future La	and Use De	esignation: High Density Residential			
Area o	of Property (acre	es or squar	e feet): 19.5 ac. (net)			
Existir	ng Use(s):	vacant res	idences			
		Multi-family	y Development			
PROJECT TIM	ELINE ted Start Date:		July. 2023			
	ted Start Date: ted Completion	Data	Nov./Dec., 2026			
REQUIRED SU A complete app			Permit consists of the following:			
Applica	ation Form:					
	One original s	igned appli	ication			
V	One digital co	py of the a	pplication (PDF only)			
Applica	ation Fee:					
	Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.					
<b>7</b>	Fee					
Escrow	/ Fee:					
	Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.					
Site De	Site Development Plan:					

☐ Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)

☐ Two complete bound 24"x36" paper sets

☐ One digital set (PDF only)

Written	Information:
	Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
	One digital copy of the Approval Criteria (PDF only)
	Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
	One digital copy of the Impact Assessment (PDF only)
Digital it	rems to be delivered via email or USB flash drive

#### SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

#### WAIVERS

#### Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking:
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

#### Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

#### SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

#### APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordi	nance,
including all regulations of the applicable zoning district;	

	The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and
	appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural
	environment;
	The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public
	welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or
	electromagnetic interference;
	Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be
	minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well
	as the provision and location of screening, fencing, landscaping, buffers or setbacks;
	The proposed use will retain as many natural features of the property as practicable, particularly where the natural
	features assist in preserving the general character of the neighborhood;
	Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage
	structures, police and fire protection, and schools, already exist or will be provided without excessive additional
	requirements at public cost;
	The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the
	public health, safety, morals, comfort, or general welfare;
	The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that
	are adversely affected by the establishment of the proposed use;
	Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to
	minimize traffic congestion on the public roads;
	Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets
	and sidewalks servicing the site in a safe and convenient manner, and
	The proposed use shall not impede the orderly development and improvement of surrounding property for uses
	permitted within the zoning district.
	T 4005004545
	T ASSESSMENT
	en impact statement to include the following information:
	A written illustrative description of the environmental characteristics of the site prior to development, i.e.,
_	topography, soils, vegetative cover, drainage, streams, creeks or ponds.
	Types of uses and other man-made facilities.
	The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
	Phasing of the project including ultimate development proposals.
	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams
	wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on
	the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
	The method to be used to serve the development with water and sanitary sewer facilities.
	The method to be used to control drainage on the site and from the site. This shall include runoff control during
	periods of construction.
	If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health
	Department or other responsible public agency indicating approval of plans for sewage treatment.

The method to be used to control any increase in effluent discharge to the air or any increase in noise level					h
	emanating from the site. Consideration of any nuisance th	nat would be created w	ithin the s	ite or external to	the sit
	whether by reason of dust, noise, fumes vibration, smoke	or lights.			
	adverse effects.				
	The proposed density in units per acre for residential deve	•			
	Name(s) and address(es) of person(s) responsible for pre	•			
	Description of measures to control soil erosion and sedim		_	•	
	and until a permanent ground cover is established. Recon	nmendations for such	measures	may be obtained	i from
	the County Soil Erosion and Sedimentation office.				
	Type, direction, and intensity of outside lighting.				
	General description of deed restrictions, if any.				
ADDIT	IONAL INFORMATION				
If appli	icable, provide the following further information:			Not	
A. Sai	nitary Sewer Service	<u>Yes</u>	<u>No</u>	Applicable	
	pes project require extension of public sewer line?	Ø			
	If yes, has a Utility Agreement been prepared?				
2. Wi	Il a community wastewater system be installed?		<b>7</b>		
2. 111	If yes, has a Utility Agreement been prepared?				
	If yes, provide construction plans and specifications		ш		
3. Wi	If on-site disposal be used?		Ø		
J. 111	If yes, is it depicted on plan?				
R Wa	ter Service			Ш	
	es project require extension of public water main?	Z			
1. 00	If yes, has a Utility Agreement been prepared?				
2. Wi	Il a community water supply be installed?	_	_ Z		
Z. 441	If yes, has a Utility Agreement been prepared?	П		П	
	If yes, provide construction plans and specifications	9	_	_	
C Pul	olic utility easements required?	<b>7</b>			
O. <u>1 O.</u>	If yes, show on plan.	_	9	_	
D. Sto	ormwater Review/Soil Erosion				
	il Erosion Plans approved by Soil Erosion Office?	<b>7</b>			
	If so, attach approval letter.				
	If no, are alternate measures shown?	A			
2. Sto	rmwater Plans approved by Township Engineer?		Ø		
	If so, attach approval letter.	_	_	_ <del>_</del>	
	If no, are alternate measures shown?				
	Note: Alternate measures must be designed and sealed b	ov a registered Engine	er.		

site

E. Roads and Circulation				
Are interior public streets proposed?		Z		
If yes, has Road Commission approved (attach letter)?				
2. Will public streets connect to adjoining properties or future streets?			<b>Ø</b>	
3. Are private roads or interior drives proposed?	7			
4. Will private drives connect to adjoining properties service roads?	<b>7</b>			
5. Has the Road Commission or MDOT approved curb cuts?	<b></b>			
If yes, attach approved permit.				
OTHER INFORMATION				
If there is any other information that you think may be useful in the rev	iew of this	application, pl	ease attach it to	this
application or explain it on a separate page.				
<ul> <li>REVIEW PROCESS</li> <li>Upon submittal of this application, Staff will review the materials surforward a determination of completeness to the applicant. If the submitted action of the completeness and again forward a determination to the thing procedure shall be repeated until a complete submission is received.</li> <li>Once the application is deemed to be complete and submitted actions forwarded to the Planning Commission for review. The Planning Commission for review.</li> </ul>	mission is in nce the sub ne applicant ived. cording to the	ncomplete or nomission is revolution is within ten (10) the application	oncompliant with ised, Staff will a 0) working days deadlines, it wil	n the again
complete and schedule a public hearing.		***************************************	" ale application	<i></i>
<ul> <li>Upon holding a public hearing, the Planning Commission may ap proposed special use.</li> </ul>	prove, app	rove with cond	ditions, or deny	the
<ul> <li>If approved or approved with conditions, the decision of the Plans written report and decision order.</li> </ul>	ning Commi	ssion shall be	incorporated in	to a
PERMISSION TO ENTER SUBJECT PROPERTY				
Permission is hereby granted to Garfield Township staff and Planning Com	missioners t	o enter the pre	mises subject to	this
application for the purposes of making inspections associated with this app	lication, dur	ing normal and	l reasonable wor	king
hours.				
Owner Signature:				

Applicant Signature:

Agent Signature:

Date:

#### **OWNER'S AUTHORIZATION**

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

11 ,		
INVE JAMMOND JUVESTI	MENTS	_ authorize to make this application on my/our behalf
and to provide any of my/our person	al information necessary for the	e processing of this application. Moreover, this shall be
your good and sufficient authorization	n for so doing.	
Owner Signature:	-little	
Date: 4-10	-2023	

#### **AFFIDAVIT**

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date:

Applicant Signature:

Date:

1-10-2023

	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A.	Basic Information		200
1.	Applicant's name, address, telephone number and signature		
2.	Property owner's name, address, telephone number and signature		
3.	Proof of property ownership		
4.	Whether there are any options or liens on the property		
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	0	
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
7.	A vicinity map showing the area and road network surrounding the property		
8.	Name, address and phone number of the preparer of the site plan		
9.	Project title or name of the proposed development		
	Statement of proposed use of land, project completion schedule, any proposed development phasing		
11	Land uses and zoning classification on the subject parcel and adjoining parcels		
	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as		
	their name, address and telephone number		
-	Site Plan Information		
1.	North arrow, scale, and date of original submittal and last revision		
2.	Boundary dimensions of natural features		
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		
4.	Proposed alterations to topography and other natural features		
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	. 🗆	
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals,		
0.	salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		0
9.	Proposed finish floor and grade line elevations of any structures		_
	*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.	□ *	
10.	Existing and proposed driveways, including parking areas		
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		6
	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared		
	parking areas		
	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		
	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		
	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
17.	Location of water supply lines and/or wells		
18.			
	Location, specifications, and access to a water supply in the event of a fire emergency	* .	
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		0
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric		
	plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by		
26	general location or range of sizes as appropriate		
	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		
27.	Changes or modifications required for any applicable regulatory agencies' approvals		

#### Ridge45, Phases 1-3

Midwest MFD, LLC and Midwest MFD - South, LLC dba Ridge45 built a 16-building, 400-unit multifamily housing development on 40 acres of land with a vison of expansion to meet housing needs in the area. The owners and operators have completed Phases 1-3 and are the same principles as the developers and owners of the Phase 4 housing project to the south on approximately 22 acres.

Ridge45 is applying for a special use amendment to remove the landscaping along the south property line where Phase 4 joins it. The aim is to connect sidewalks and roadways, create a sense of community among the residents, create visual cohesion between the properties, and serve the practical purpose of connecting amenities for all residents to enjoy (i.e. community center, fitness center, playground, dog park, maintenance buildings, offices, etc.). Residents of Ridge45 Phase 1-3 will be able to walk to Phase 4 on sidewalks, which is right across the street from the future BATA transit station, making public transportation all the more readily available. The joined properties in theory/plan, will now be joined physically.

#### Ridge 45, Phase 4

Hammond Investment Properties, LLC, "Hammond Investment Properties," was formed in December 2018 to develop roughly 22 acres of land in Garfield Township. Hammond Investment Properties is owned and operated by the same principals as the developers and owners of the Ridge45 Phase 1-3 project located just north of the subject property. Sidewalks, roadways, and amenities will connect between all Ridge45 phases, cultivating a sense of community and visual cohesion between the properties. Planned features in Phase 4 support and enhance Ridge45 Phase 1-3 with a spacious maintenance building and dog park. Additionally, Phase 4 will provide expansion opportunities for Ridge45 amenities — such as multi-sport courts, pool additions, and a community gardens expansion.

On the acreage, seven new multifamily housing structures are being constructed, which will be under the same Ridge45 name. In total, this new development will provide 196 housing units, including various studio, 1-bedroom, 2-bedroom, and 3-bedroom layouts.

Hammond Investment Properties is requesting a special use major amendment for the updated layout to join Ridge45 Phase 4 with Phases 1-3.

Received by Garfield Twp - April 11, 2023

#### **SOUTH22 APPROVAL CRITERIA**

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

Both current Zoning Map and Future Land Use Map indicate this area as a multi-family/high density zoning designation. Currently the R-3 District allows for Multi-family residential, allowing 1 unit / 4,000 sf. The Master Plan (Future Land Use Map) allows for High Density Residential, 6-10 units per acre.

The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

• This proposed development is compatible to all the surrounding uses and characteristics of this area and is allowed by Special Land Use. Surrounding neighborhoods include mobile home park, multi-family developments, and proposed BATA transfer station with additional multi-family house proposed. Further, this development will now be combined with Ridge45. Although it will be under separate special use permits, Ridge45 and South22 will operate as a single entity.

The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

• South22, a multi-family housing development will not create any detrimental impacts. Traffic is handled by internal private drives and entrances onto public rights-of-way are limited to reduce congestion.

Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

• This development's intent is to operate in conjunction with Ridge45 and continue to create a community that includes amenities, parking and landscaping to create the sense of neighborhood. This layout benefits the area by eliminating adverse effects to adjacent properties. Landscaping and screening create a buffer

around the development.

The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

• The parcel is generally vacant, open land. The south end of the property has some established vegetations (both deciduous and coniferous trees) and a regulated wetland as identified and delineated by Environment, Great Lake and Energy (EGLE). The proposed layout maintains the wetlands, and maintains a 25' setback from said wetlands. Some vegetation will be necessary to be removed but the layout has addressed keeping as much as possible to provide the scenery and buffering.

Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

• Permits were acquired for the previous layout. The proposed amendment will result in a slightly lower apartment unit density and therefore result in less impact to all items in this section. Both sewer and water utilities have the capacity for the proposed use. Drainage will be contained on site.

The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

• South22 is not detrimental or an endangerment but rather provides the community with much needed multi-family housing in an area that has been designated for such a development.

The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

• The continual growth of the Grand Traverse region requires housing of all types, with a high demand in multi-family housing options. South22 provides 196 dwelling units that are similar to Ridge45. A mix of unit sizes are included to offer choices to clients. This use supports the public interest and welfare greatly.

Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

• South22 has direct connection to Ridge45, with shared internal drives. This network allows for sharing the main entrances that are already constructed on LaFranier. The south end of the development fronts on Lloyd Lane (public) where a new curb cut is designed to service not only South22 but will provide access to Ridge45.

Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

• Vehicular drives are interconnected with Ridge45, sized for the amount of traffic and configured to calm traffic within the development. The pedestrian flow follows the same principle- providing connectivity between developments and with the sidewalk along the public roads for use to surrounding areas, providing safe passage for all users in, through and around the area.

The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

 South22 completes the zoning district with creating a safe multi-family housing community that helps meet the needs of the area AND fulfils the intent of the zoning district.

#### **IMPACT ASSESSMENT**

South22, a proposed multi-family housing development located in Garfield Township is comprised 7 multi-family apartment buildings containing a mx of unit sizes. All buildings are three stories. Each building will have 28 units for a total of 196 dwelling units. This equates to 10.05 units per acre density (using 19.50 acres net). This site is adjacent to the Ridge 45 apartment complex which includes amenities such as a community building, workout facility, pool and playground.

Hammond Investment Properties, LLC, "Hammond Investment Properties," was formed in December 2018 to develop roughly 22 acres of land in Garfield Township. Hammond Investment Properties is owned and operated by the same principals as the developers and owners of the Ridge45 (Midwest MFD, LLC) project located just north of the subject property. Sidewalks, roadways, and amenities will connect all Ridge45 phases and the proposed South22 development, cultivating a sense of community and visual cohesion between the properties. Planned features in South22 support and enhance Ridge45 with a spacious maintenance building and dog park.

Additionally, South22 will provide expansion opportunities for more amenities to be constructed – such as multi-sport courts, pool additions, and a community gardens expansion as needs arise. The continued evolution of the apartment industry require us to be able to provide amenities in order to remain competitive with other communities and thus we have set aside substantial areas to adapt to these requests. While apartment communities are necessary, they are a competitive business whereby clients seek out certain amenities. Our desire to lead in this market requires us to be constantly looking forward to identifying new or expanded amenity options. Use of existing amenities in Ridge45 are under capacity and therefore can support the additional capacity from South22. Having adequate green space in the South22 development affords the opportunity to adapt to changing needs. Ideas of pickleball courts, additional playground equipment or even the need to construct a second community building and pool are all plausible.

Due to the financial implications, committing to the construction of such amenities should come on a "need" basis so as not to incur expenses which are passed through to the customer. Carrying costs for underutilized facilities have to be absorbed somewhere and that is contradictory to keeping rent as low as possible. We wish to work with township staff as future amenities are decided on.

Hammond Investment Properties is requesting a special use major amendment for the updated layout to South22 and to join Ridge45 into a common community that shares amenities and operates as a single entity.

The plan is for a one phase development, with construction to continue Summer of 2023 with site grading followed by utilities and vertical construction commencing upon final permitting.

The southeast corner of the site has a regulated wetland as identified and delineated by Environment, Great Lake and Energy (EGLE). Site work will necessitate removing some of the vegetation to perform site grading but no work is proposed in or near the regulated wetlands.

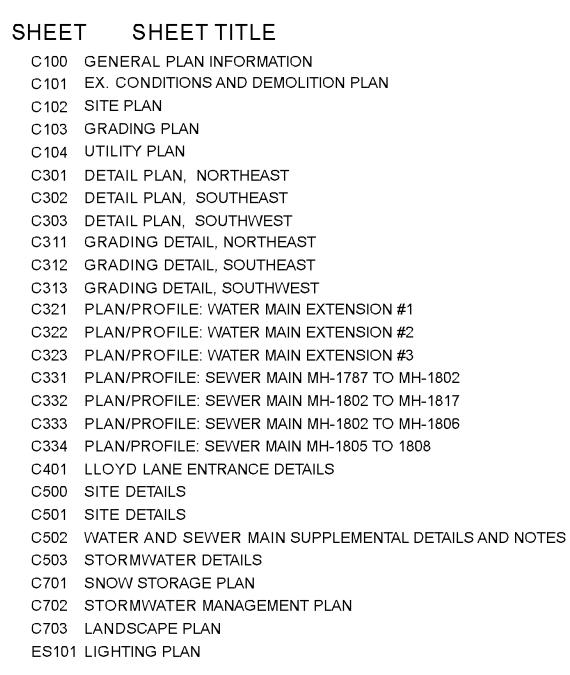
Working with Garfield Township Engineers, it has been determined that the public sanitary sewer and water system have capacity for the proposed development as is evident by the previous layout being permitted for both utilities.

# SPECIAL USE PERMIT AMENDMENT FOR ridge 15

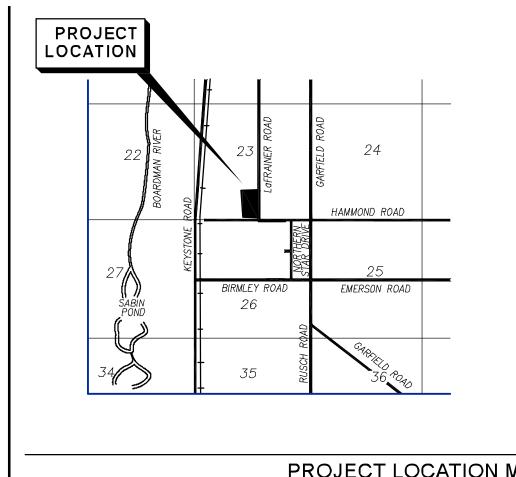
# (PHASE 4)

		SF Footprint	Length	Width	Eave Height	Stories	Units	Parking Req'd	Parking Prov'd	Surface Pkg	Indoo Pkg
1	Building Q	11600	105	164	30	3	28	56	55	39	16
	Building R	11600	105	164	30	3	28	56	55	39	16
	Building S	11600	105	164	30	3	28	56	55	39	16
HASE	Building T	11600	105	164	30	3	28	56	55	39	16
RIDGE15 PHASE 1	Building U	11600	105	164	30	3	28	56	55	39	16
	Building V	11600	105	164	30	3	28	56	55	39	16
	Building W	11600	105	164	30	3	28	56	55	39	16
	Maintenance Building	4000	100	40	16	1	0	4	4	4	
						196 Dwelling Units		396	389		
						V - 1	Acres Units/Acre				

PHASE 4 BUILDING SYNOPSIS



SHEET INDEX



PROJECT LOCATION MAP

Hammond Investment Properties, LLC 1435 Fulton St., 2nd Floor Grand Haven, MI 49417 616-842-2030 Peter Oleszcsuk

<u>APPLICANT</u>

<u>SITE:</u>
Parcel ID: 28-05-023-026-50
Address: 1532 W. Hammond Rd.

Current Zoning: R-1M

SITE DATA

PLAN DATE:

7-27-2023 SUP MAJOR AMENDMENT INTRODUCTION SU
6-1-2023 SEWER AND WATER REVIEW
6-30-2023 LANDSCAPE AND PROJECT NAME UPDATES

ZONING CLASSIFICATION: AG ZONING CLASSIFICATION: RM - PHASE 3 - PHASE 2 **BUILDING J** BUILDING 0 25 D ORCHARD CIRCLE **BUILDING F** 2420 ORCHARD CIRCLE ORCHARD CIRCLE **BUILDING I** ZONING CLASSIFICATION: R-3 **BUILDING A** ZONING CLASSIFICATION: R-3 2325\_OROTHARD\_CIRCL ORCHARD CIRCLE ZONING CLASSIFICATION: AG

- R11W, GARFIELD TWP,

SECTION 23, T27N - R11W, GGRAND TRAVERSE COUNTY

MENDMENT TO SPECIAL US
ESTMENT PROPERTIES, LLC

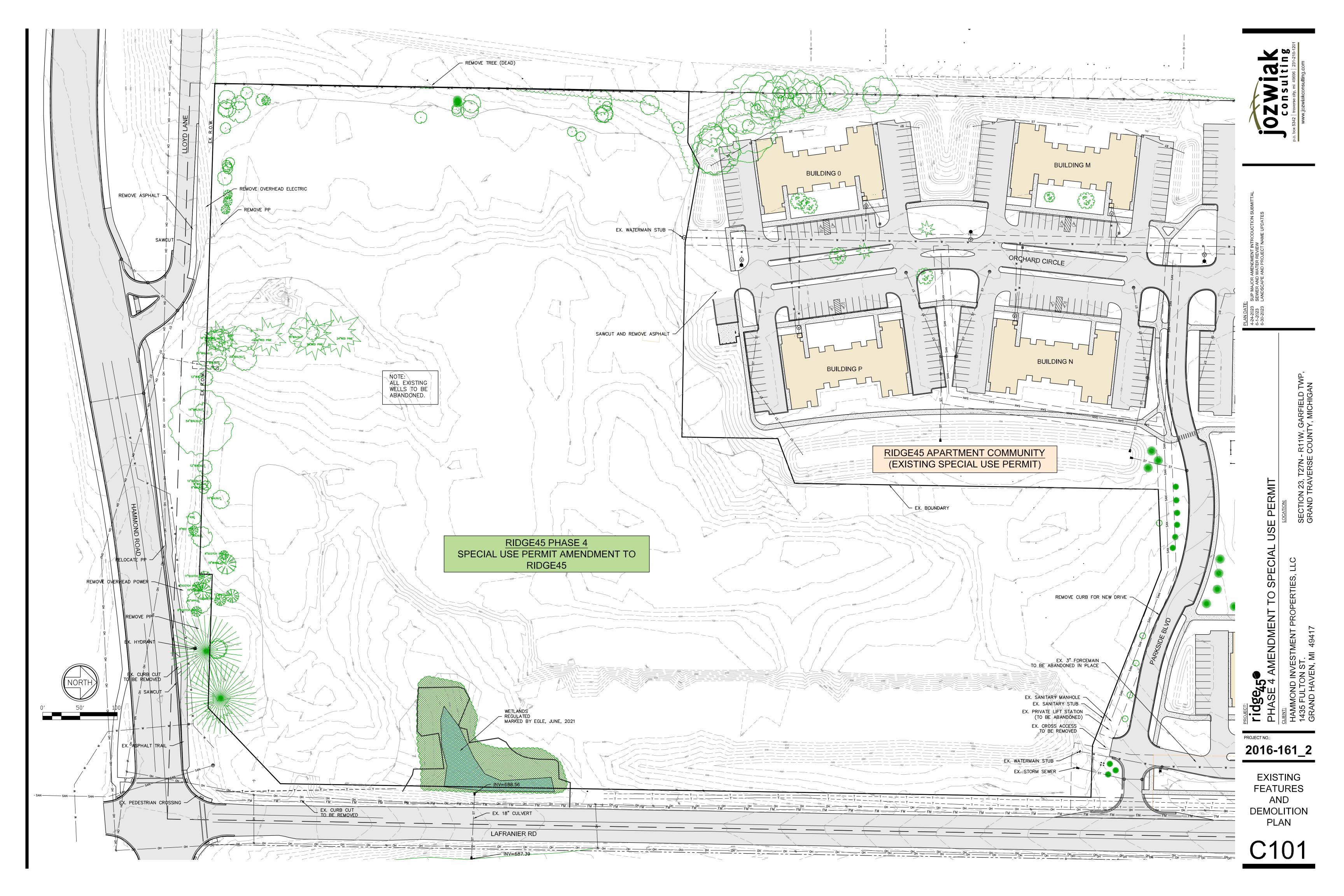
FIGS 45 PHASE 4 AMEND

PROJECT NO.: 2016-161\_2

GENERAL PLAN INFORMATION

C100

OVERALL DEVELOPMENT MAP



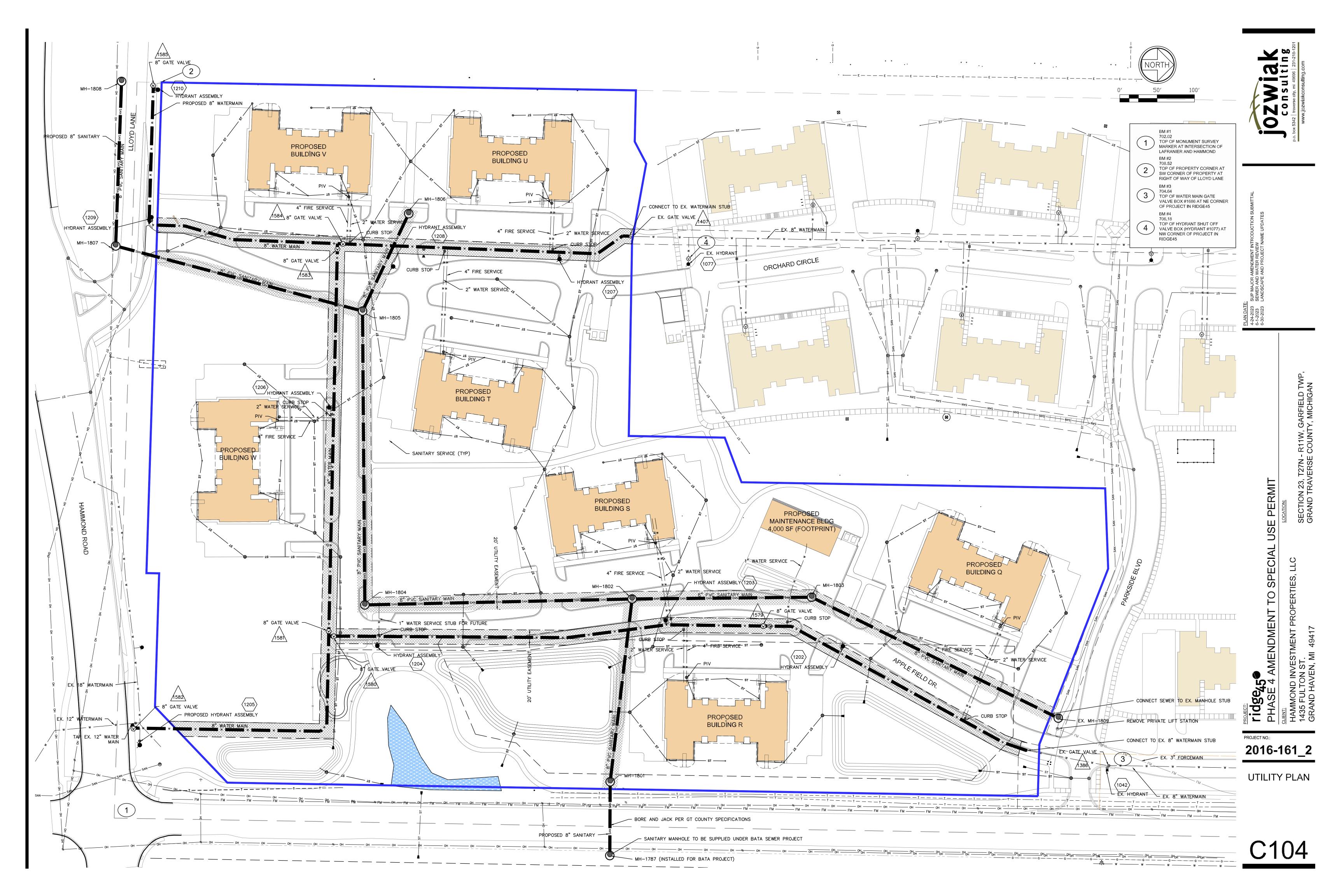
PROJECT NO.: 2016-161\_2

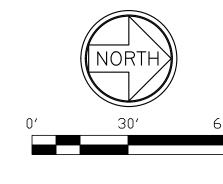
OVERALL SITE PLAN

Consulting Consulting

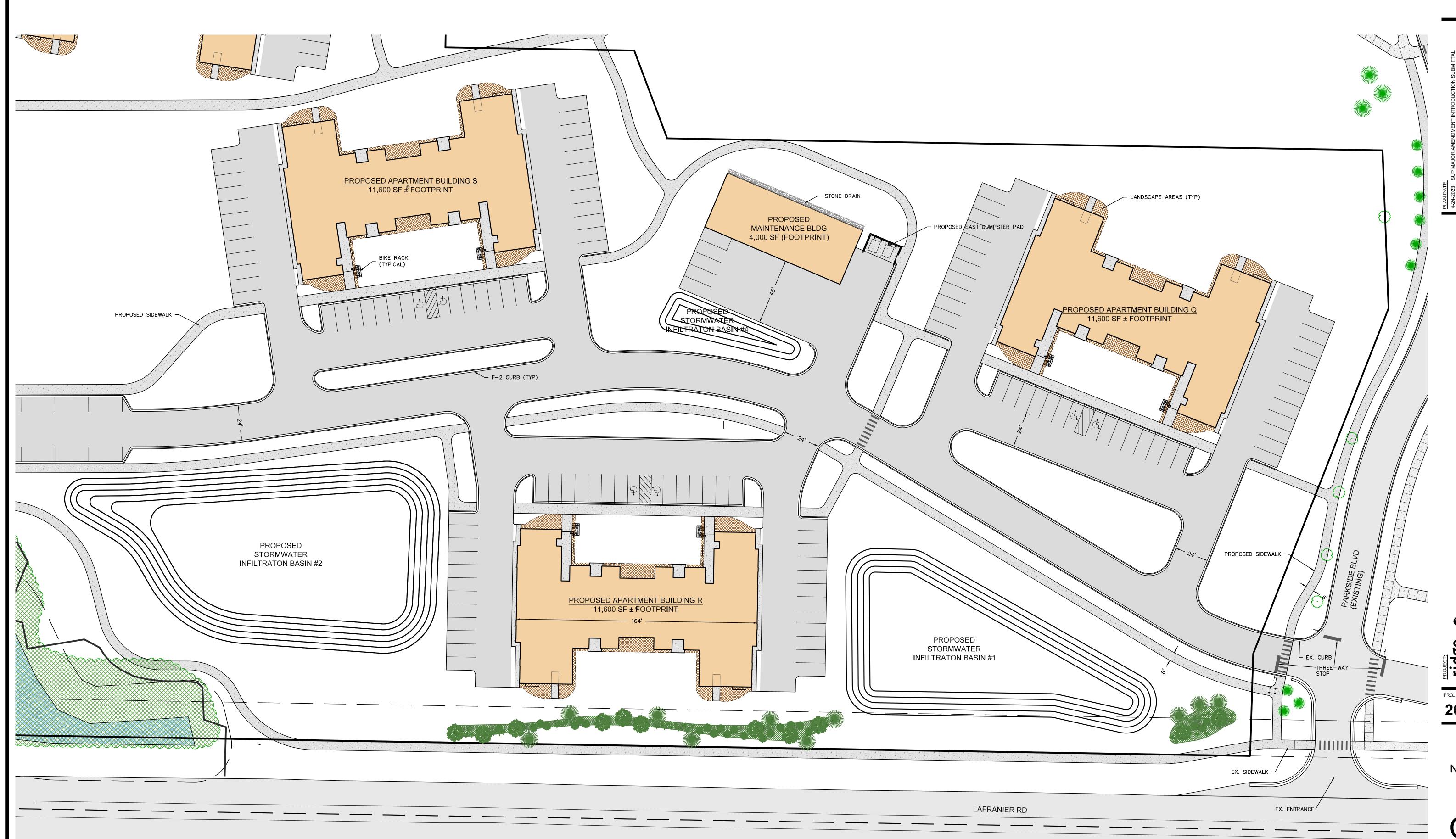
2016-161\_2

OVERALL GRADING PLAN









SECTION 23, T27N - R11W, GARFIELD TWP, GRAND TRAVERSE COUNTY, MICHIGAN

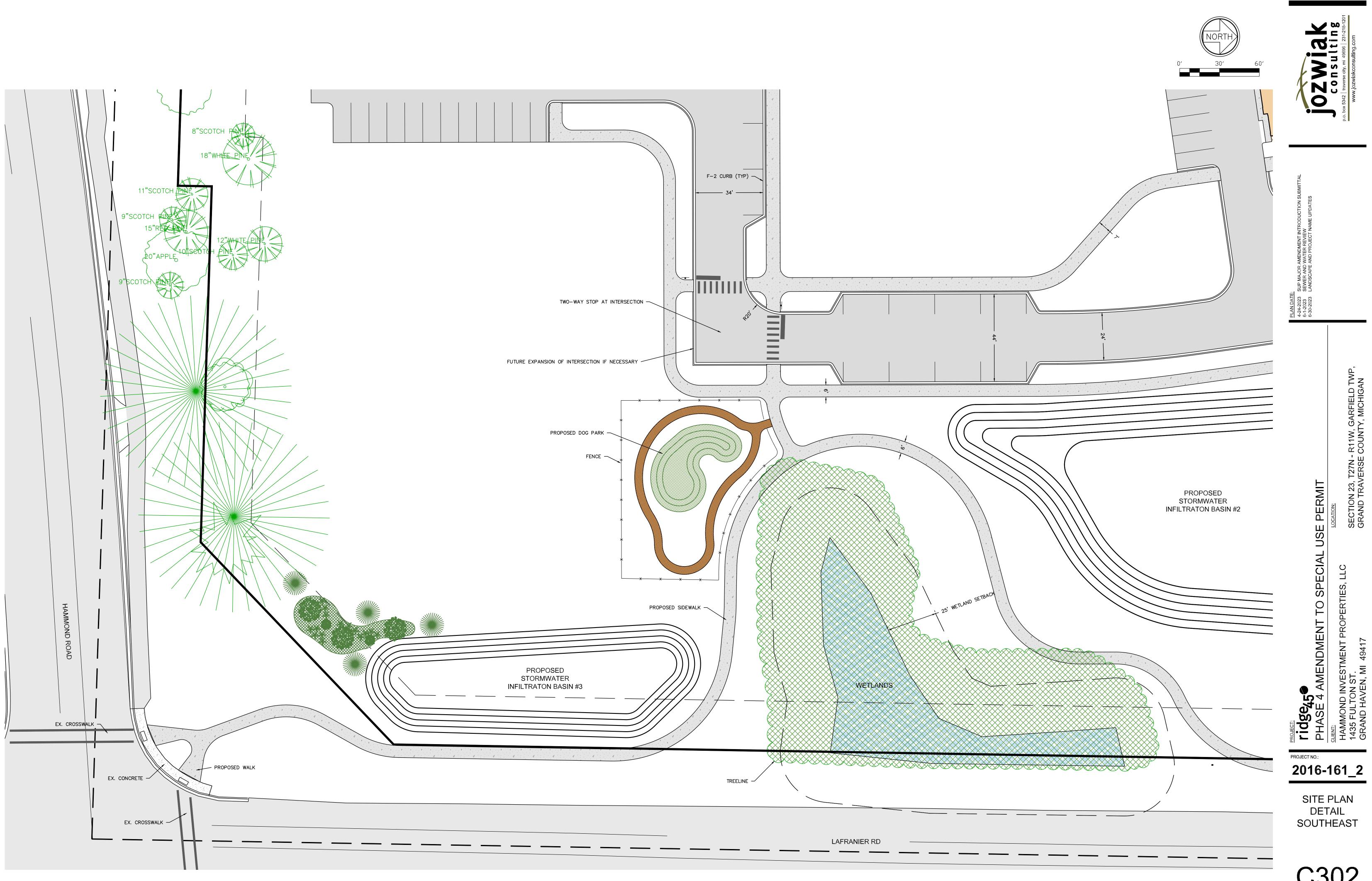
E 4 AMENDMENT TO SPECIAL USE PERMIT

PHASE 4 AME

CLIENT:
HAMMOND INVES
1435 FULTON ST.

PROJECT NO.:
2016-161\_2

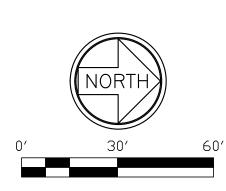
SITE PLAN DETAIL NORTHEAST



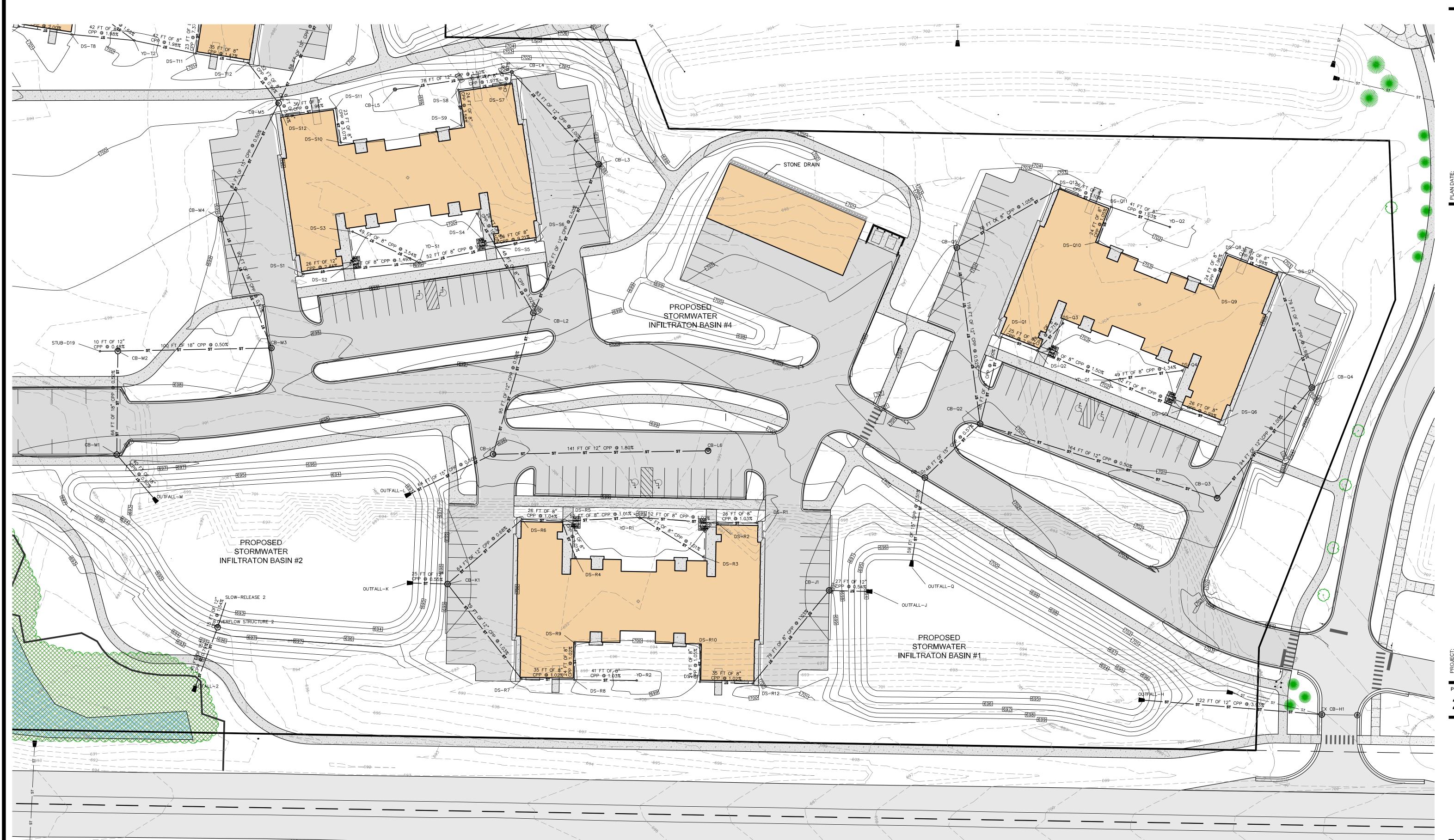
2016-161\_2

SITE PLAN DETAIL SOUTHWEST









4-24-2023 SUP MAJOR AMENDMENT INTR 6-1-2023 SEWER AND WATER REVIEW 6-30-2023 LANDSCAPE AND PROJECT NA

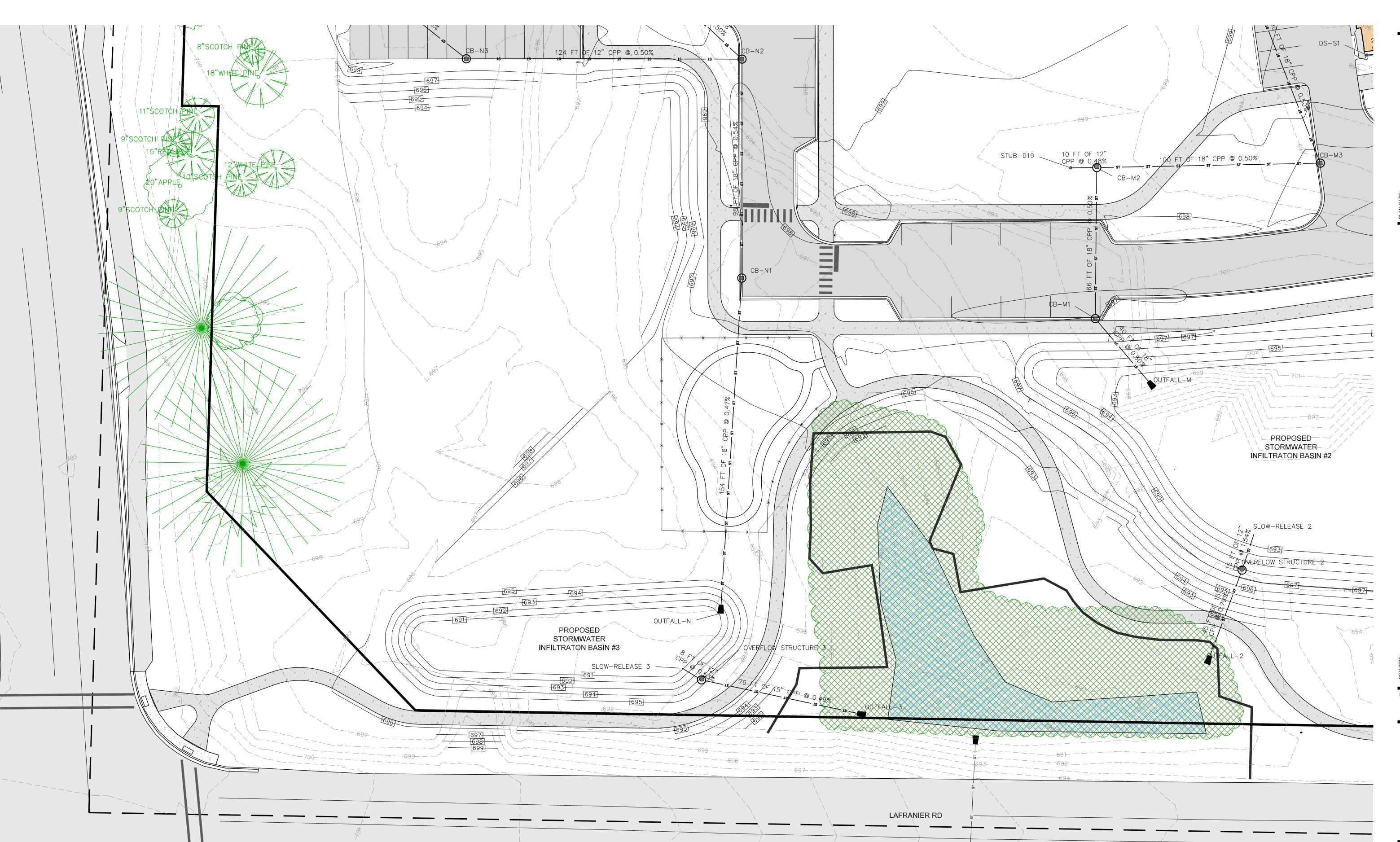
CTION 23, T27N - R11W, GARFIELD TWF

4 AMENDMENT TO SPECIAL USE PER LINVESTMENT PROPERTIES, LLC

PHASE 4 AMENI CLIENT: HAMMOND INVESTME 1435 FULTON ST.

PROJECT NO.:
2016-161\_2

GRADING DETAIL NORTHEAST



4-24-2023 SUP MAJOR AMENDMENT INTRODUCTION SUBN 6-1-2023 SEWER AND WATER REVIEW 6-30-2023 LANDSCAPE AND PROJECT NAME UPDATES

SECTION 23, T27N - R11W, GARFIELD TWP, GRAND TRAVERSE COUNTY, MICHIGAN

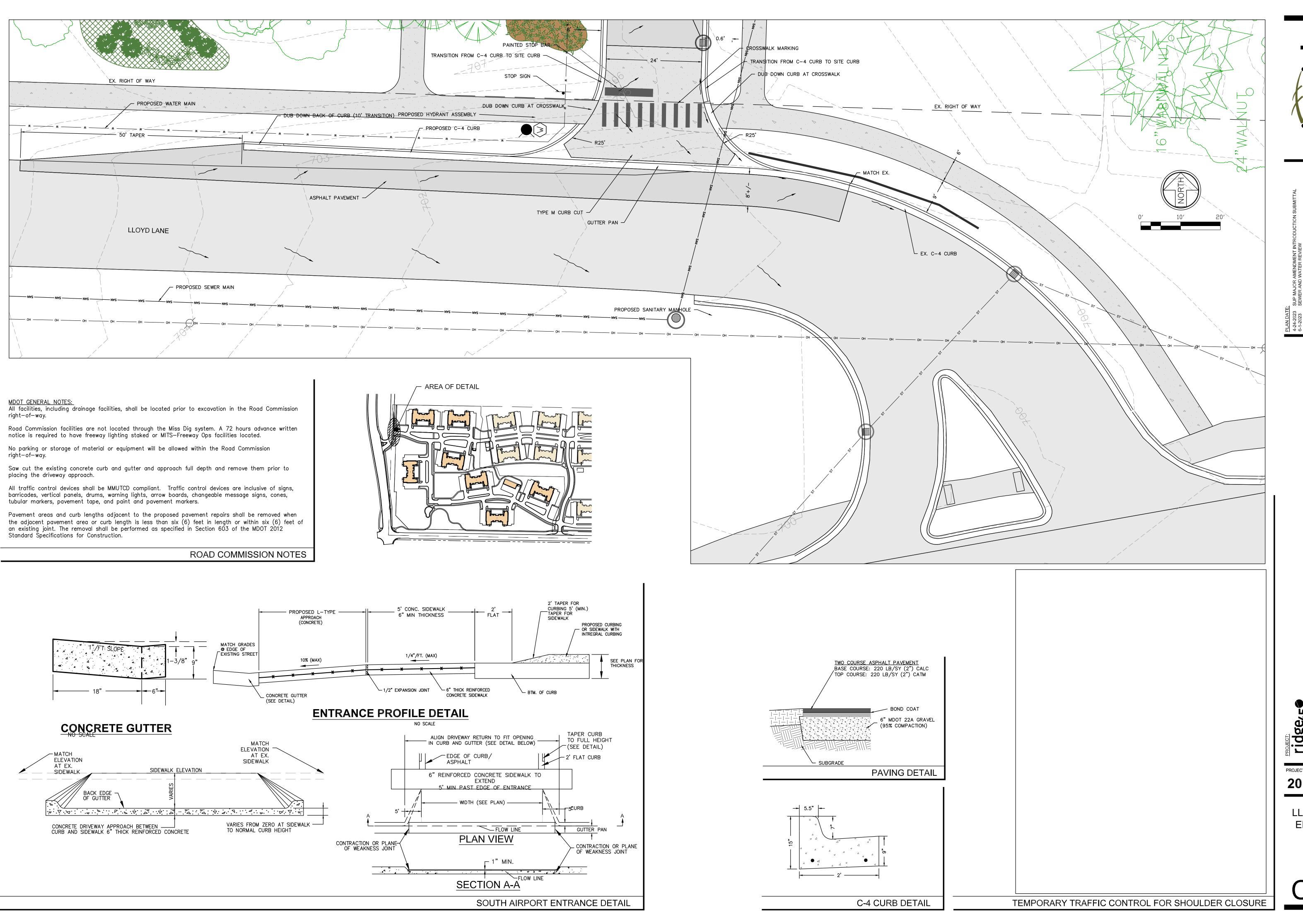
HASE 4 AMENDMENT TO SPECIA MMOND INVESTMENT PROPERTIES, LLC

PROJECT NO.:
2016-161\_2

GRADING DETAIL SOUTHEAST

GRADING DETAIL SOUTHWEST

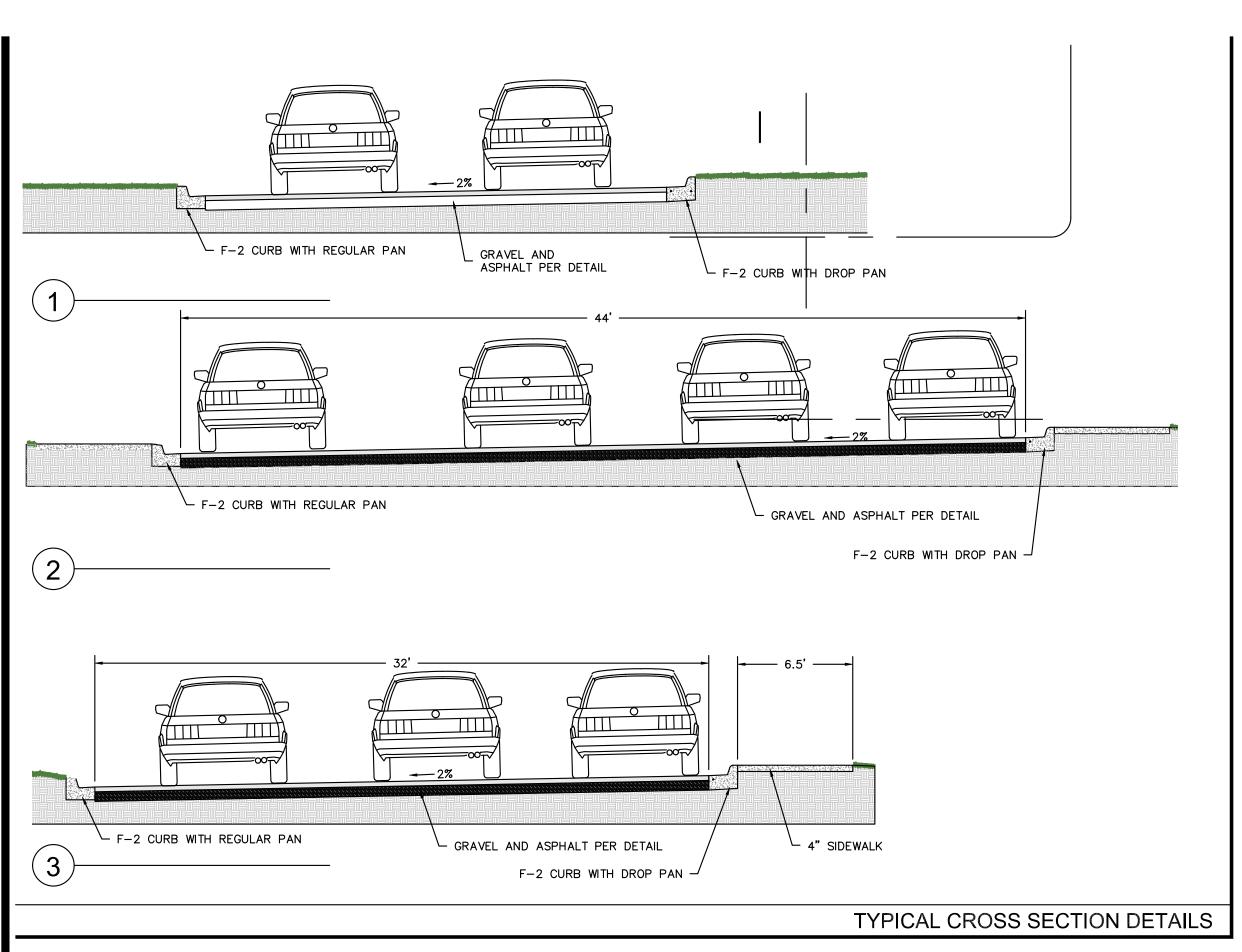


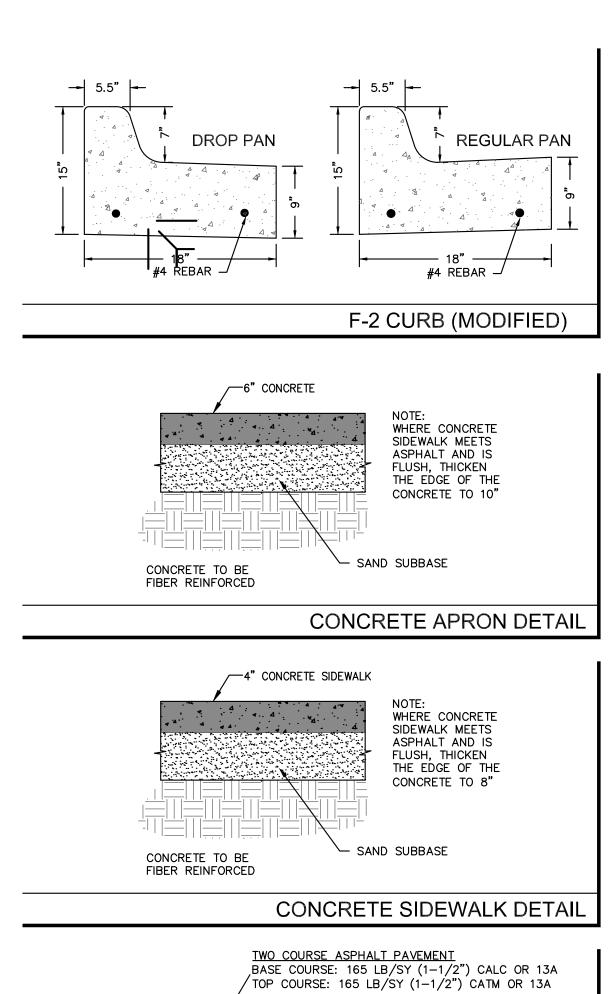


PERMIT SECTION 23, 1 GRAND TRAVI USE

PROJECT NO.: 2016-161\_2

LLOYD LANE **ENTRANCE** DETAIL

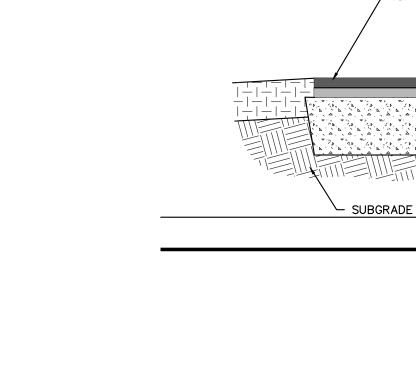


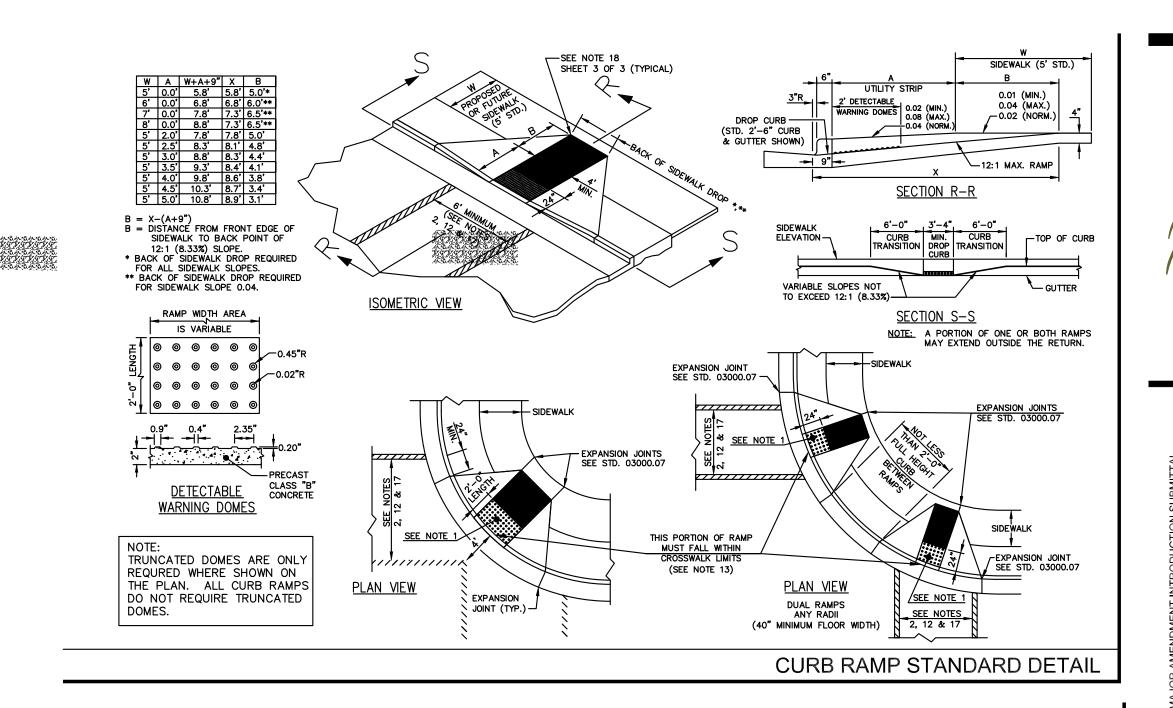


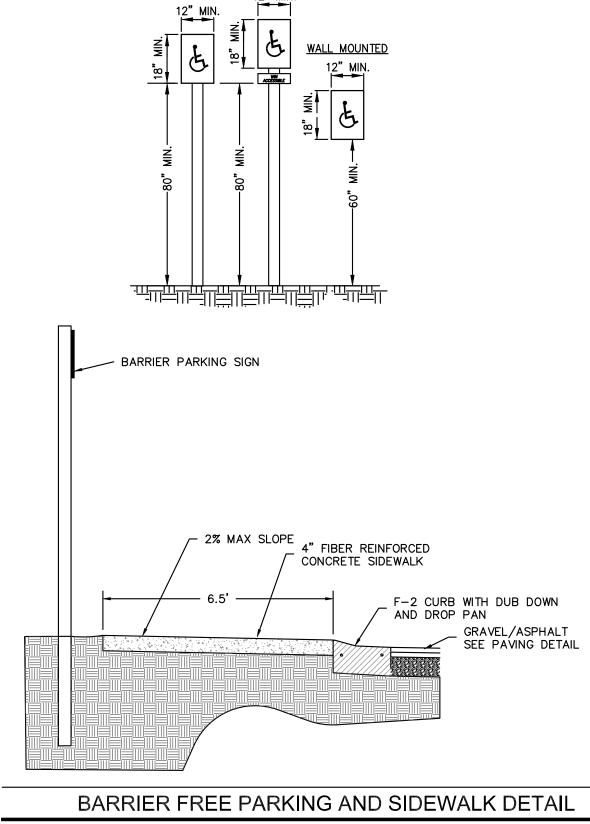
BOND COAT

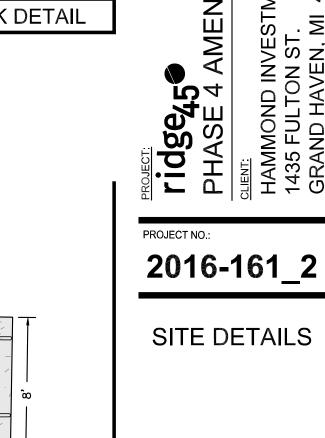
\_ 6" MDOT 22A GRAVEL (95% COMPACTION)

ON-SITE PAVING DETAIL









C500

0

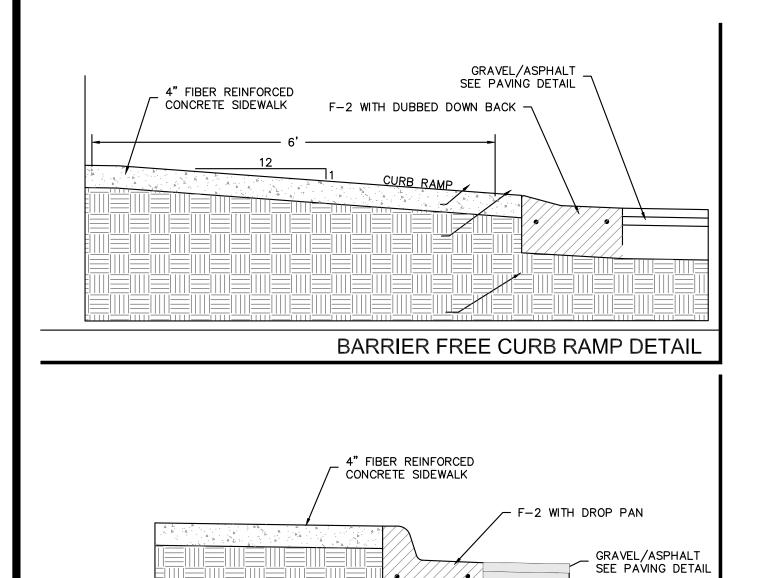
'N - R11W, GARFIELD TWP SE COUNTY, MICHIGAN

SECTION 23, T27 GRAND TRAVERS

PERMIT

BIKE HOOP
OWNER TO SELECT.
INSTALL PER
MANUFACTURER
REQUIREMENTS

BIKE RACK DETAIL



CURB AND SIDEWALK DETAIL

8' HIGH SPLIT FACE CONCRETE BLOCK WALL
2" PRECAST WALL CAP

CONCRETE FOOTING

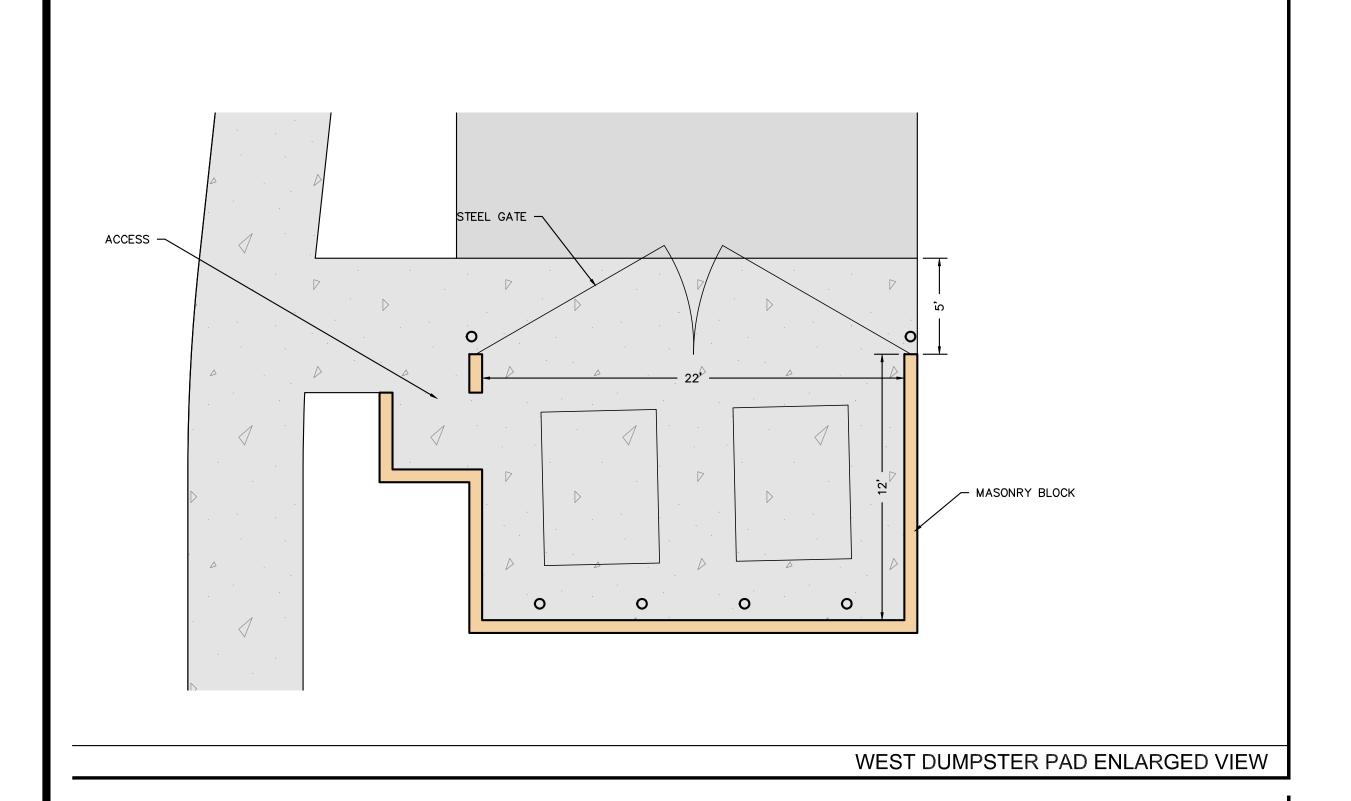
DUMPSTER PAD DETAIL

SIDE VIEW

6" DIA. CONCRETE FILLED
STEEL BUMP POST
(PAINTED)

2016-161\_2

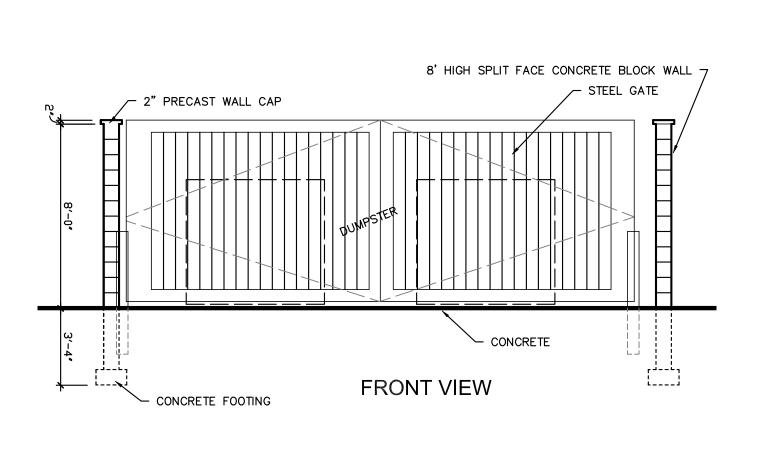
DUMPSTER PAD DETAILS



MASONRY BLOCK —

5.5'

MAINTENANCE BUILDING





- ACCESS

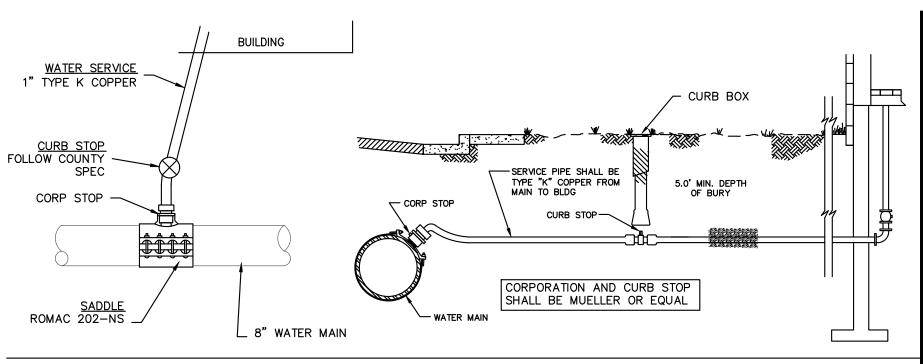
\_\_ SIDEWALK

EAST DUMPSTER PAD ENLARGED VIEW

STEEL GATE

MH-1809 RECONSTRUCTION AND PUMP STATION REMOVAL DETAIL

BUILDING GROUND LINE -WATER SERVICE 2" TYPE K COPPER 6" FIRE SUPPRESSION <u>CURB STOP</u> FOLLOW COUNTY -SPEC CORP STOP



1" WATER SERVICE DETAIL

SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO 2017 GRAND TRAVERSE COUNTY DPW STANDARD DETAILS AND SPECIFICATIONS. WATER MAIN TO MAINTAIN MIN. 18" VERTICAL AND 10' HORIZONTAL

SEPARATION FROM ALL SANITARY AND STORM LINES AND STRUCTURES NO CONNECTION TO RECEIVING STORM WATER OR GROUND WATER SHALL

BE MADE TO SANITARY SEWERS CONTRACTOR SHALL FIELD VERIFY ALL TIE IN LOCATIONS AND ELEVATIONS

SANITARY SEWER PIPE SHALL BE PVC SDR-35 AND THE SERVICE LEADS

SHALL BE SCHEDULE 40 PVC PER THE GRAND TRAVERSE COUNTY DPW STANDARD SPECIFICATIONS.

SANITARY SEWER LEADS REQUIRE CLEANOUTS EVERY 75 FT. CONTRACTOR TO FIELD LOCATE AND INSTALL AS NECESSARY. CONTRACTOR TO FIELD VERIFY SERVICE LATERAL ELEVATIONS TO ENSURE GRAVITY SERVICE CAN BE ACHIEVED.

WATER MAIN SHALL BE PVC C-900 BELL AND SPIGOT TYPE PRESSURE PIPE AND FITTINGS SHALL BE DUCTILE IRON PIPE SIZE, CONFORM TO AWWA C900/C905 STANDARDS, PRESSURE CLASS 235 PSI AND DR18 IN CONFORMANCE WITH THE GRAND TRAVERSE COUNTY DPW STANDARD SPECIFICATIONS.

PLAN ELEVATIONS BASED ON NAVD88 DATUM.

OF EACH TIE IN.

ALL BUILDINGS WILL BE OWNED BY ONE ENTITY THEREBY ALLOWING ONE METER TO BE INSTALLED ON EACH BUILDING. A SECOND METER MAY BE INSTALLED FOR THE PURPOSES OF MONITORING IRRIGATION USE.

ALL WATER AND SEWER MAIN THAT IS OUTSIDE OF PUBLIC RIGHT OF WAY WILL BE PLACED IN EASEMENTS. EASEMENTS WILL BE RECORDED WITH THE TOWNSHIP PRIOR TO FINAL ACCEPTANCE.

ALL EXISTING WELLS ON THE SUBJECT PROPERTY ARE TO BE ABANDONED IN ACCORDANCE WITH THE GT COUNTY HEALTH DEPT.

**UTILITY NOTES** 

0

, GARFIELD TWF TY, MICHIGAN

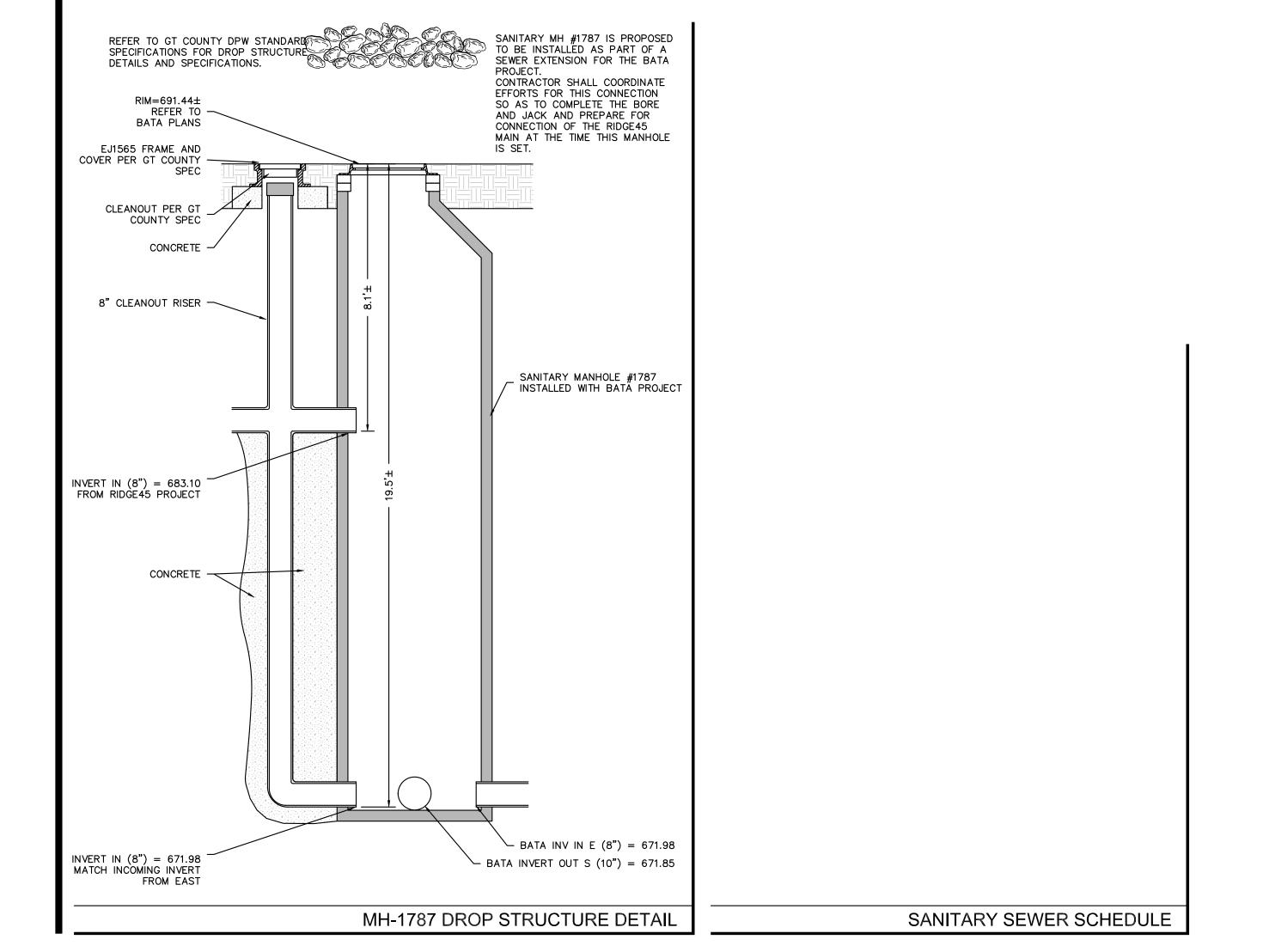
PROJECT NO.:

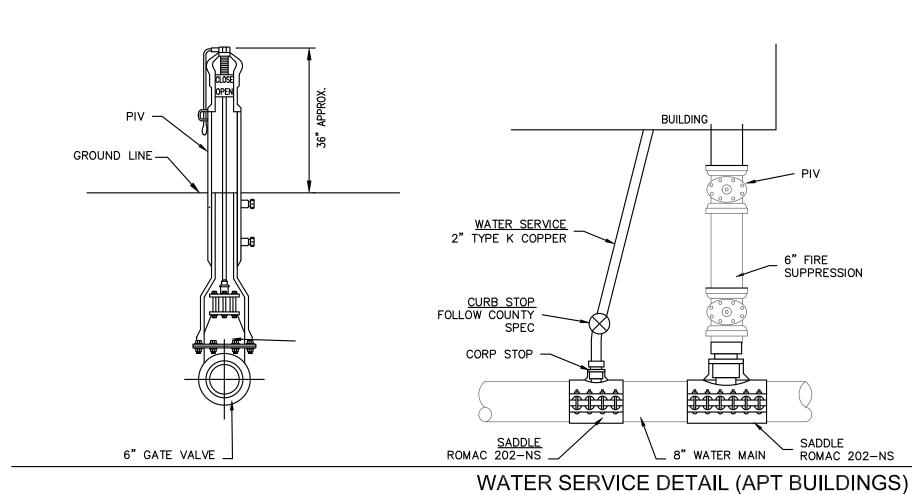
ridge<sub>45</sub>6 PHASE 4

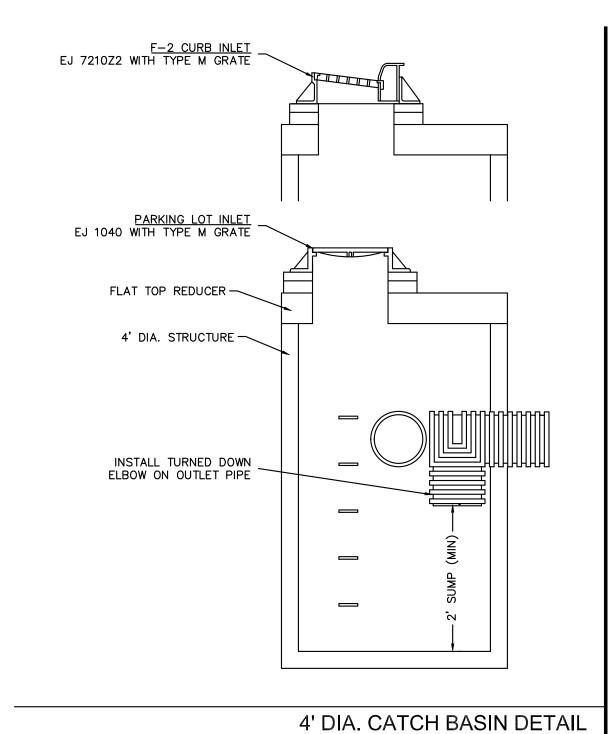
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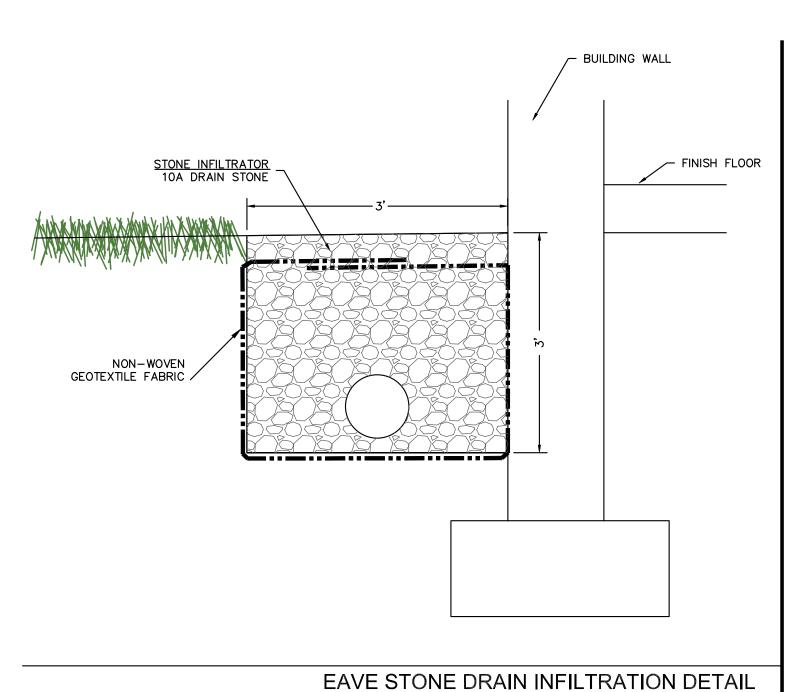
WATER MAIN AND SEWER MAIN SUPPLEMENTAL

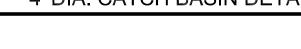
**DETAILS** 

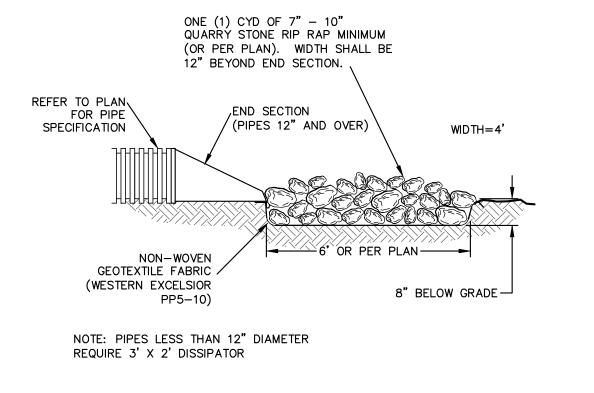


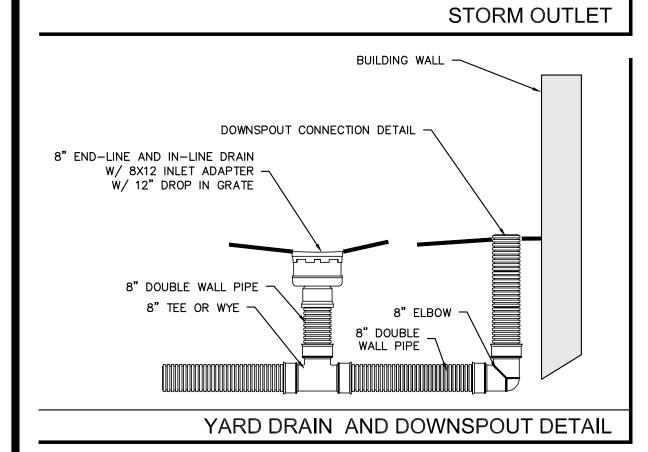


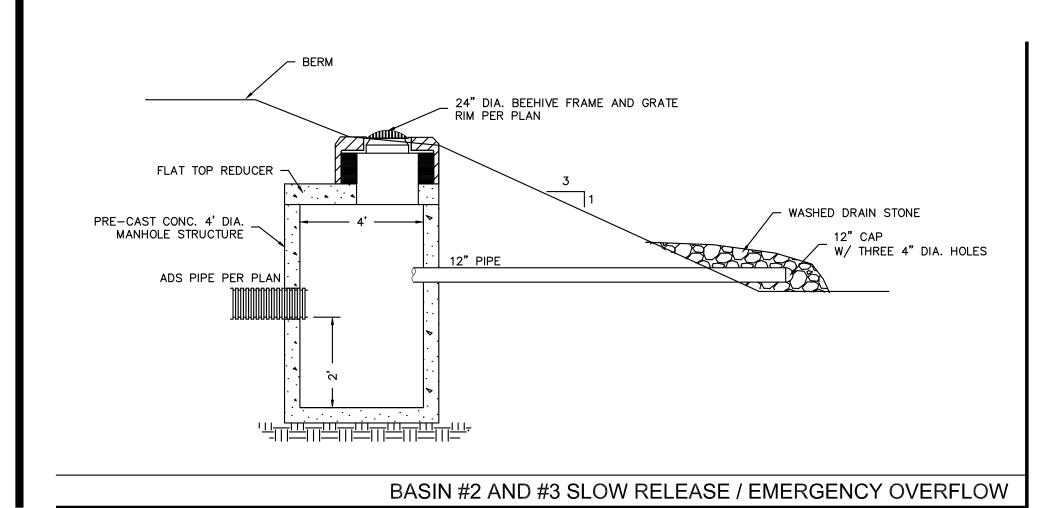












Sewer Network Table
UP STRUCTURE LE

NAME CB-M1 CB-M2	STRUCTURE 4' STRUCTURE 4' STRUCTURE		691.70 692.03	N/A N/A	691.70 692.63	N/A 692.13
STUB-D19 CB-M3	Box1 4' STRUCTURE	698.33	692.68 692.63	N/A N/A	N/A 692.73	N/A N/A
CB-M4 CB-M5	4' STRUCTURE 4' STRUCTURE	699.45	693.18 693.70	N/A 693.80	693.28 695.30	N/A 695.10
DS-T12 DS-T11	DS-CONN DS-CONN	701.12 701.06	695.61 696.23	N/A N/A	695.71 696.33	N/A 696.33
DS-T10 YD-T2 DS-T9	DS-CONN YARD DRAIN DS-CONN	701.02 699.76 701.03	698.02 697.16 698.03	N/A N/A N/A	N/A 697.26 N/A	N/A 697.26 N/A
DS-18 DS-T7	DS-CONN DS-CONN	701.05 701.11	698.09 698.89	N/A N/A	698.19 N/A	N/A N/A
DS-S12 DS-S11	DS-CONN DS-CONN	700.12	695.42 696.22	N/A N/A	695.52 696.32	N/A N/A
DS-S10 CB-M6	DS-CONN 4' STRUCTURE	700.03	697.03 694.23	N/A N/A	N/A 694.33	N/A 694.33
DS-T1 DS-T2	DS-CONN DS-CONN	701.05 701.01	695.17 695.52	N/A N/A	695.27 695.62	N/A 695.62
DS-T3 YD-T1	DS-CONN YARD DRAIN	701.29 699.98	698.29 696.14	N/A N/A	N/A 696.24	N/A 696.24
DS-T4 DS-T5	DS-CONN DS-CONN	701.28 701.06	698.28 697.19	N/A N/A	N/A 697.29	N/A N/A
DS-T6 CB-M7	DS-CONN 4' STRUCTURE		698.05 694.79	N/A 694.89	N/A 694.89	N/A 695.89
CB-M10 CB-M11 DS-U7	4' STRUCTURE 2' STRUCTURE DS-CONN	705.35 705.62	698.95 699.89 700.89	N/A N/A	699.05 701.49 700.99	699.55 699.99
DS-U8 DS-U9	DS-CONN DS-CONN	705.56 705.53	701.67 702.19	N/A N/A N/A	700.99 701.44 N/A	N/A N/A N/A
CB-M12 DS-U6	2' STRUCTURE DS-CONN	703.87 705.52	700.78 700.85	N/A N/A	N/A 700.95	N/A N/A
DS-U5 DS-U4	DS-CONN DS-CONN	705.54 705.76	701.44 703.10	N/A N/A	701.54 N/A	701.54 N/A
YD-U1 CB-M9	YARD DRAIN 4' STRUCTURE	704.44 700.68	702.32 696.73	N/A N/A	N/A N/A	N/A N/A
CB-M8 CB-L1	4' STRUCTURE 4' STRUCTURE	697.80	692.42	N/A N/A	N/A 692.52	N/A 692.52
CB-L6 CB-L2	4' STRUCTURE 4' STRUCTURE	697.90	693.00	N/A N/A	N/A 693.10	N/A 693.10
DS-S5 DS-S4	DS-CONN DS-CONN		697.27	694.64 N/A	694.64 N/A	694.64 N/A
DS-S6 YD-S1 DS-S3	DS-CONN YARD DRAIN DS-CONN	700.04 698.96 700.26	695.42	N/A N/A	N/A 695.52 N/A	N/A 695.52
DS-S2 DS-S1	DS-CONN DS-CONN	699.99 700.03	696.30	N/A N/A N/A	696.40 N/A	N/A N/A N/A
CB-L3 CB-L4	4' STRUCTURE 2' STRUCTURE	698.53	693.62	N/A N/A	693.72 695.15	N/A 694.65
DS-S7 DS-S8	DS-CONN DS-CONN	700.12 700.06	695.27	N/A N/A	695.37 696.16	N/A N/A
DS-S9 CB-L5	DS-CONN 2' STRUCTURE	700.02	697.02	N/A N/A	N/A N/A	N/A N/A
CB-K1 DS-R6	4' STRUCTURE DS-CONN	698.53 700.05		N/A N/A	694.05 694.91	694.63 N/A
DS-R5 YD-R1	DS-CONN YARD DRAIN	700.06 698.98	695.81	N/A N/A	695.28 695.91	695.28 695.91
DS-R2 DS-R1	DS-CONN DS-CONN	700.05	696.81	N/A N/A	696.54 N/A	N/A N/A
DS-R3 DS-R4	DS-CONN DS-CONN	700.31	695.55	N/A N/A	N/A N/A	N/A N/A
DS-R7 DS-R8 DS-R9	DS-CONN DS-CONN DS-CONN	700.12 700.06 700.07	695.90	N/A N/A	695.54 697.16 N/A	N/A 695.90 N/A
YD-R2 CB-J1	YARD DRAIN 4' STRUCTURE	698.66	696.32	N/A N/A N/A	N/A N/A 693.25	N/A N/A
DS-R12 DS-R11	DS-CONN DS-CONN	700.12 700.11	694.07 694.52	N/A N/A	694.17 697.15	N/A N/A
DS-R10 CB-Q1	DS-CONN 4' STRUCTURE	700.06 701.17		N/A N/A	N/A 693.40	N/A N/A
CB-Q2 DS-Q1	4' STRUCTURE DS-CONN	703.00		694.03 N/A	696.78 697.75	694.03 N/A
DS-Q2 YD-Q1	DS-CONN YARD DRAIN	703.01 702.01		N/A N/A	698.58 699.47	698.58 699.47
DS-Q5 DS-Q6	DS-CONN DS-CONN	702.95		N/A N/A	700.25 N/A	N/A N/A
DS-Q4 DS-Q3	DS-CONN DS-CONN 4' STRUCTURE	703.28		N/A N/A	N/A N/A	N/A N/A
CB-Q3 CB-Q4 DS-Q7	4' STRUCTURE DS-CONN		694.85 695.89 697.56	N/A N/A N/A	694.95 695.99 697.66	N/A N/A N/A
DS-Q8 DS-Q9	DS-CONN DS-CONN	703.04 703.06	698.38	N/A N/A	698.48 N/A	N/A N/A
CB-Q5 DS-Q12	4' STRUCTURE DS-CONN			N/A N/A	694.73 695.65	N/A N/A
DS-Q11 DS-Q10	DS-CONN DS-CONN	703.04 703.05		N/A N/A	696.14 N/A	696.14 N/A
YD-Q2 CB-N1	YARD DRAIN 4' STRUCTURE			N/A N/A	N/A 691.82	N/A N/A
CB-N2 CB-N4	4' STRUCTURE 4' STRUCTURE	697.08	692.67	N/A N/A	692.45 693.77	692.46 692.77
DS-W1 DS-W2	DS-CONN DS-CONN	699.46 699.49	695.32	N/A N/A	694.84 695.42	N/A 695.42
DS-W3 YD-W1	DS-CONN YARD DRAIN	699.79 698.46		N/A N/A	N/A N/A	N/A N/A
DS-W5 DS-W6	4' STRUCTURE 1' STRUCTURE 1' STRUCTURE	699.51	695.52	693.59 N/A N/A	694.59 695.62 N/A	693.59 695.62 N/A
DS-W4 CB-N7	1' STRUCTURE 4' STRUCTURE	699.77	696.77	N/A N/A	N/A 694.22	N/A N/A
CB-N13 CB-N9	4' STRUCTURE 4' STRUCTURE	701.88	695.14 696.17	695.24 N/A	695.24 696.27	697.24 696.27
CB-N11 CB-N12	4' STRUCTURE 2' STRUCTURE	703.00	696.91 698.69	N/A N/A	697.01 698.79	N/A N/A
DS-V12 DS-V11	DS-CONN DS-CONN	704.62 704.55	698.92 699.72	N/A N/A	699.02 699.82	N/A N/A
DS-V10 CB-N10	DS-CONN 4' STRUCTURE		700.28 696.64	N/A N/A	N/A N/A	N/A N/A
DS-V5 DS-V4	DS-CONN DS-CONN	704.54 704.76	698.76 701.76 701.51	698.86 N/A N/A	698.86 N/A N/A	698.86 N/A N/A
		/U# ~		13/ 14		
DS-V4 DS-V6 YD-V1 DS-V3	DS-CONN YARD DRAIN	704.51 703.49 704.76	699.91	N/A	700.01 N/A	
DS-V6 YD-V1	DS-CONN			N/A N/A N/A	700.01 N/A 701.16 N/A	N/A N/A N/A
DS-V6 YD-V1 DS-V3 DS-V2	DS-CONN YARD DRAIN DS-CONN DS-CONN	703.49 704.76 704.54 704.53 704.08	699.91 701.01 701.06 701.53 698.99	N/A N/A	N/A 701.16	N/A N/A N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN	703.49 704.76 704.54 704.53 704.08 704.93 705.63 705.59	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96	N/A N/A N/A N/A 699.09 N/A N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06	N/A N/A N/A 699.09 N/A N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN	703.49 704.76 704.54 704.53 704.08 704.93 705.63 705.59 705.52 705.52	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49	N/A N/A N/A N/A 699.09 N/A N/A N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59	N/A N/A N/A 699.09 N/A N/A N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN	703.49 704.76 704.54 704.53 704.08 704.93 705.63 705.59 705.52 705.52 705.52 705.80	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80	N/A N/A N/A N/A 699.09 N/A N/A N/A N/A N/A N/A N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A	N/A N/A 699.09 N/A N/A N/A N/A N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3 CB-N15 CB-N16	DS-CONN YARD DRAIN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN Z' STRUCTURE	703.49 704.76 704.54 704.53 704.08 705.63 705.59 705.52 705.52 705.52 705.80 704.37 702.86	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80 699.52 700.01	N/A N/A N/A N/A 699.09 N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A 699.62 N/A	N/A N/A 699.09 N/A N/A N/A N/A N/A N/A N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3 CB-N15 CB-N16 DS-V7 DS-V8	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN 2' STRUCTURE 2' STRUCTURE	703.49 704.76 704.54 704.53 704.08 704.93 705.63 705.59 705.52 705.52 705.80 704.37 702.86 704.61 704.55	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80 699.52 700.01 699.75 700.55	N/A N/A N/A N/A 699.09 N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A 699.62 N/A 699.85 700.65	N/A N/A 699.09 N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3 CB-N15 CB-N16 DS-V7 DS-V8 DS-V9 CB-N6	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN 2' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN	703.49 704.76 704.54 704.53 704.08 705.63 705.59 705.52 705.52 705.52 705.80 704.37 702.86 704.61 704.55 704.56 698.03	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80 699.52 700.01 699.75 700.55 701.12 694.18	N/A N/A N/A N/A 699.09 N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A 699.62 N/A 699.85 700.65 N/A N/A	N/A N/A 699.09 N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3 CB-N15 CB-N16 DS-V7 DS-V8 DS-V9 CB-N6 CB-N3 DS-W12	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE 2' STRUCTURE 2' STRUCTURE 4' STRUCTURE 4' STRUCTURE 4' STRUCTURE	703.49 704.76 704.54 704.53 704.08 705.63 705.59 705.52 705.52 705.52 705.80 704.37 702.86 704.61 704.55 704.56 698.03 699.61	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80 699.52 700.01 699.75 700.55 701.12 694.18 693.08 693.97	N/A N/A N/A N/A 699.09 N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A 699.62 N/A 699.85 700.65 N/A N/A 693.18 694.07	N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3 CB-N15 CB-N16 DS-V7 DS-V8 DS-V9 CB-N6 CB-N3 DS-W12 DS-W11 DS-W11 DS-W11 DS-W10	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN 2' STRUCTURE 2' STRUCTURE 4' STRUCTURE DS-CONN	703.49 704.76 704.53 704.08 704.93 705.63 705.52 705.52 705.52 705.80 704.37 702.86 704.61 704.55 704.56 698.03 698.00 699.61 699.55 699.54	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80 699.52 700.01 699.75 700.55 701.12 694.18 693.08 693.97 694.77 695.45	N/A N/A N/A N/A 699.09 N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A 699.62 N/A 699.85 700.65 N/A N/A 693.18 694.07 694.87 N/A	N/A N/A 699.09 N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3 CB-N15 CB-N16 DS-V7 DS-V8 DS-V9 CB-N6 CB-N3 DS-W12 DS-W11 DS-W10 DS-W11 DS-W10 DS-W10 DS-V9 DS-W8 DS-W9 CB-N6 CB-N3 DS-W12 DS-W10 DS-W10 DS-W10 DS-W8	DS-CONN YARD DRAIN DS-CONN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN 2' STRUCTURE 2' STRUCTURE 2' STRUCTURE 2' STRUCTURE 4' STRUCTURE 4' STRUCTURE 4' STRUCTURE 4' STRUCTURE DS-CONN	703.49 704.76 704.53 704.08 704.93 705.63 705.59 705.52 705.52 705.52 705.80 704.37 702.86 704.61 704.55 704.56 698.03 698.00 699.61 699.55 699.54 698.50 699.55	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80 699.52 700.01 699.75 700.55 701.12 694.18 693.08 693.97 694.77 695.45 695.70 696.64	N/A N/A N/A N/A 699.09 N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A 699.62 N/A 699.85 700.65 N/A N/A 693.18 694.07 694.87 N/A 695.80 696.74	N/A N/A N/A 699.09 N/A
DS-V6 YD-V1 DS-V3 DS-V2 DS-V1 CB-N14 CB-N17 DS-U12 DS-U11 DS-U10 DS-U1 DS-U2 DS-U3 CB-N15 CB-N16 DS-V7 DS-V8 DS-V9 CB-N6 CB-N3 DS-W12 DS-W11 DS-W11 DS-W10 DS-W12 DS-W10 DS-V9 CB-N6 CB-N3 DS-W12 DS-W11 DS-W10 DS-W10 DS-W10 DS-W10 DS-W10 DS-W10 DS-W10 DS-W10 DS-W10 DS-W3	DS-CONN YARD DRAIN DS-CONN DS-CONN 4' STRUCTURE 2' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN 2' STRUCTURE 2' STRUCTURE 2' STRUCTURE 4' STRUCTURE 4' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN A' STRUCTURE 4' STRUCTURE DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN DS-CONN	703.49 704.76 704.54 704.53 704.08 704.93 705.63 705.52 705.52 705.52 705.80 704.37 702.86 704.61 704.55 704.56 698.03 698.00 699.61 699.55 699.54 699.62	699.91 701.01 701.06 701.53 698.99 699.95 701.19 701.96 702.52 700.49 701.09 702.80 699.52 700.01 699.75 700.55 701.12 694.18 693.08 693.97 694.77 695.45 695.70	N/A N/A N/A N/A 699.09 N/A	N/A 701.16 N/A 699.09 701.05 701.29 702.06 N/A 700.59 701.19 N/A 699.62 N/A 699.85 700.65 N/A N/A 693.18 694.07 694.87 N/A 695.80	N/A N/A N/A 699.09 N/A



\*LAN DATE: 1-24-2023 SUP MAJOR AMENDMENT INTRODUCTION SUBN 5-1-2023 SEWER AND WATER REVIEW 5-30-2023 LANDSCAPE AND PROJECT NAME UPDATES

USE PERMIT

LOCATION:

SECTION 23, T27N - R1

GRAND TRAVERSE CO

4 AMENDMENT TO SPECIAL INVESTMENT PROPERTIES, LLC

PHASE 4 AMENDA

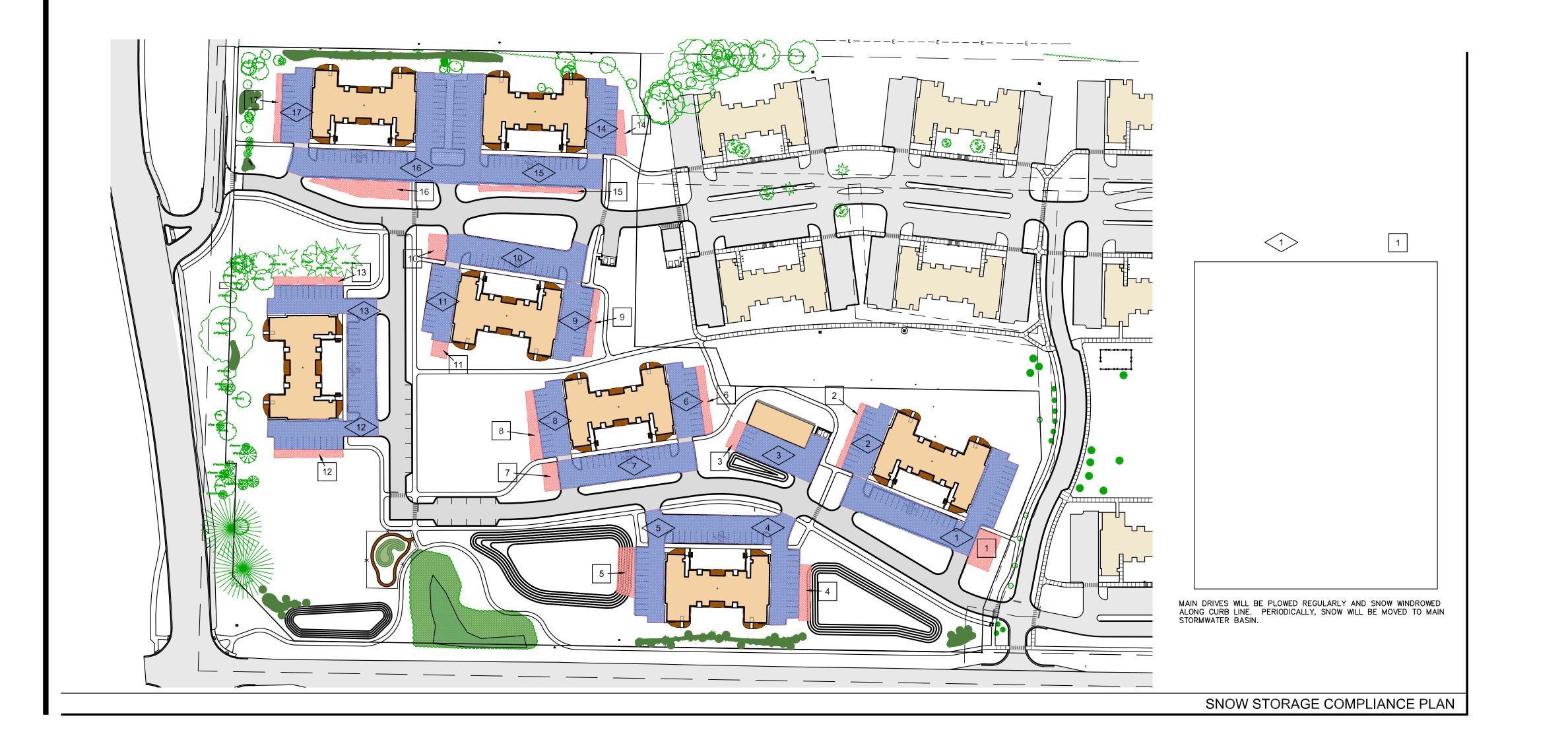
PROJECT NO.:
2016-161\_2

STORMWATER MANAGEMENT DETAILS

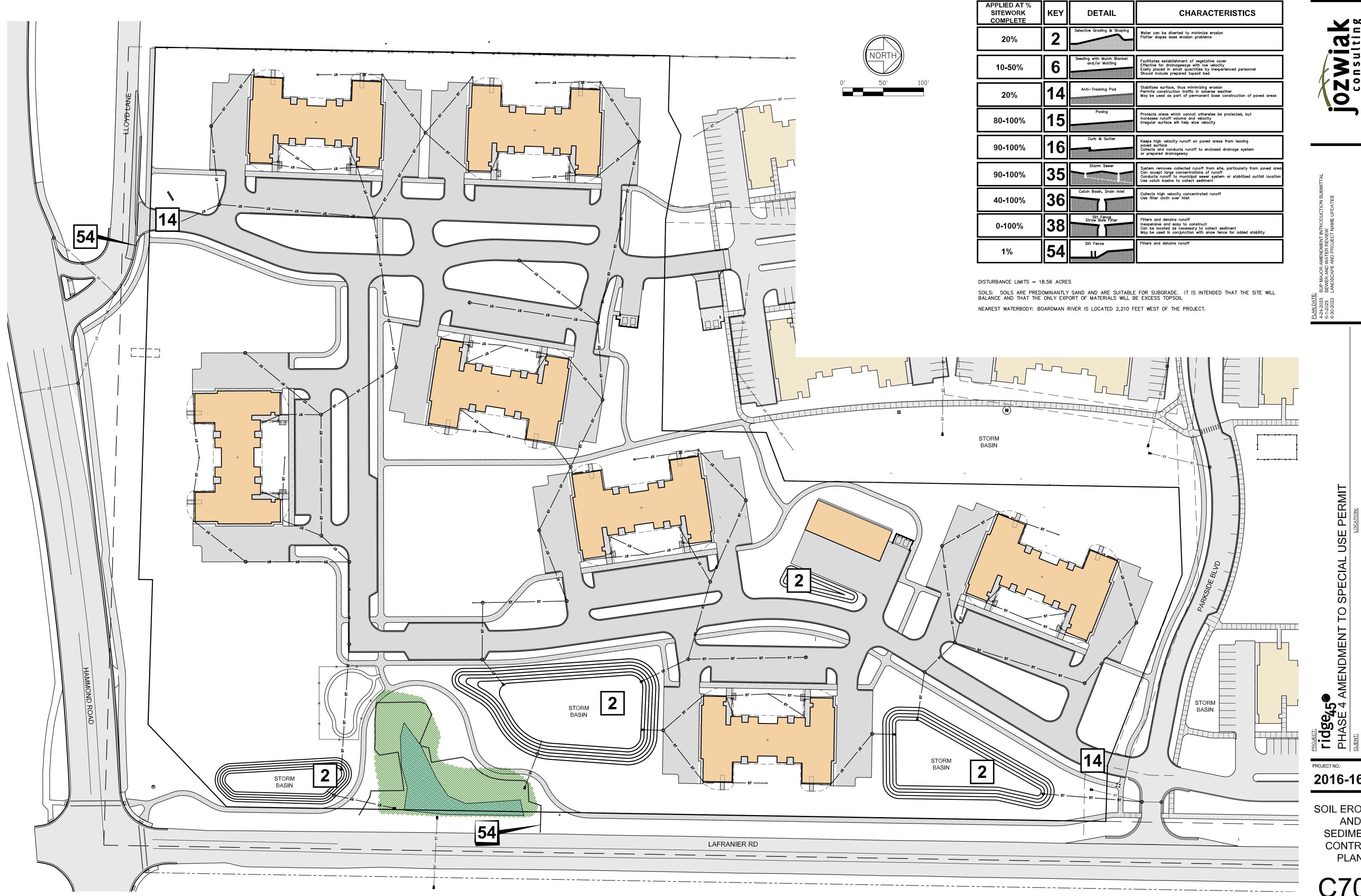
 $\mathcal{O}_{\mathcal{E}}$ 

PROJECT NO.:
2016-161\_2

SNOW STORAGE PLAN





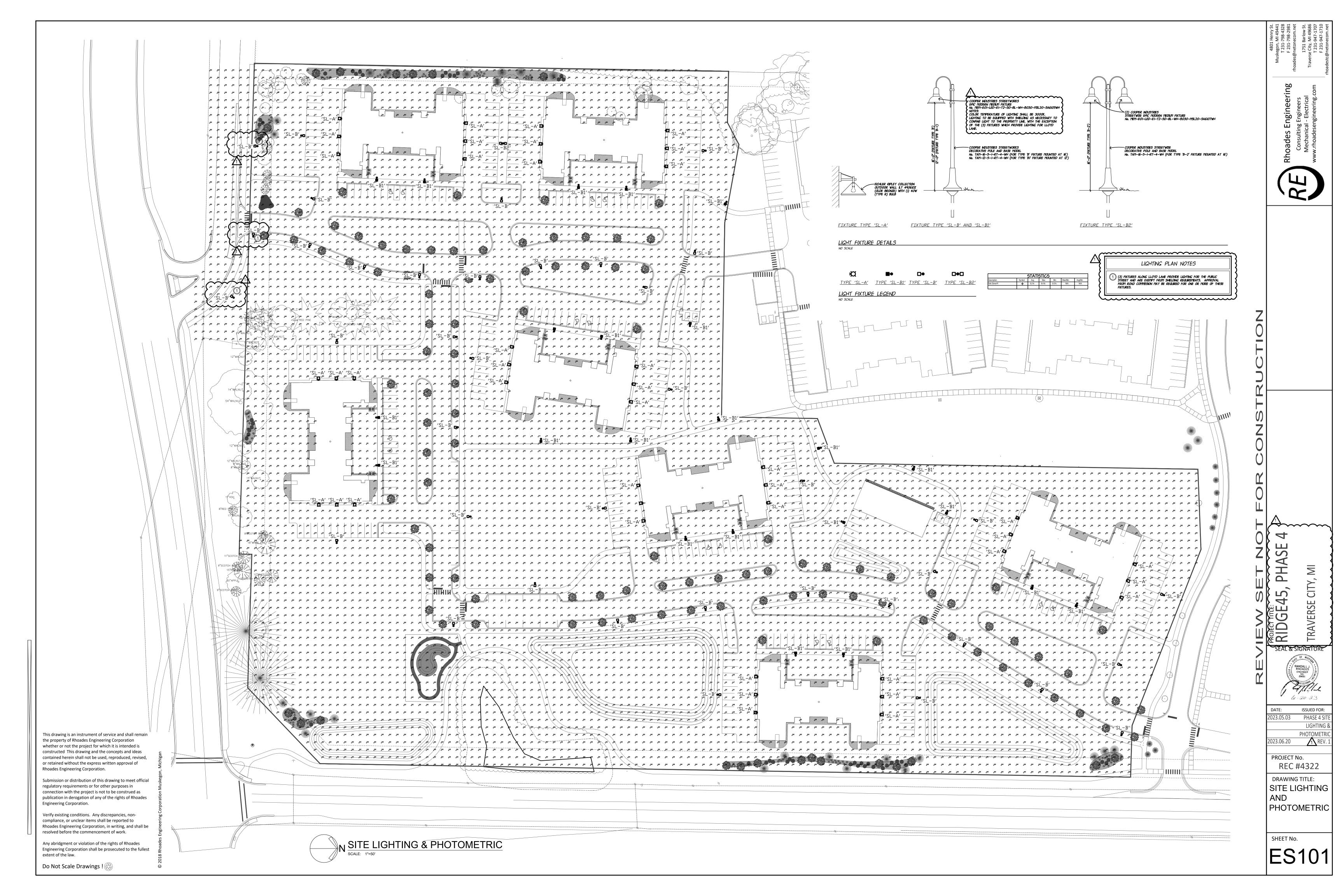


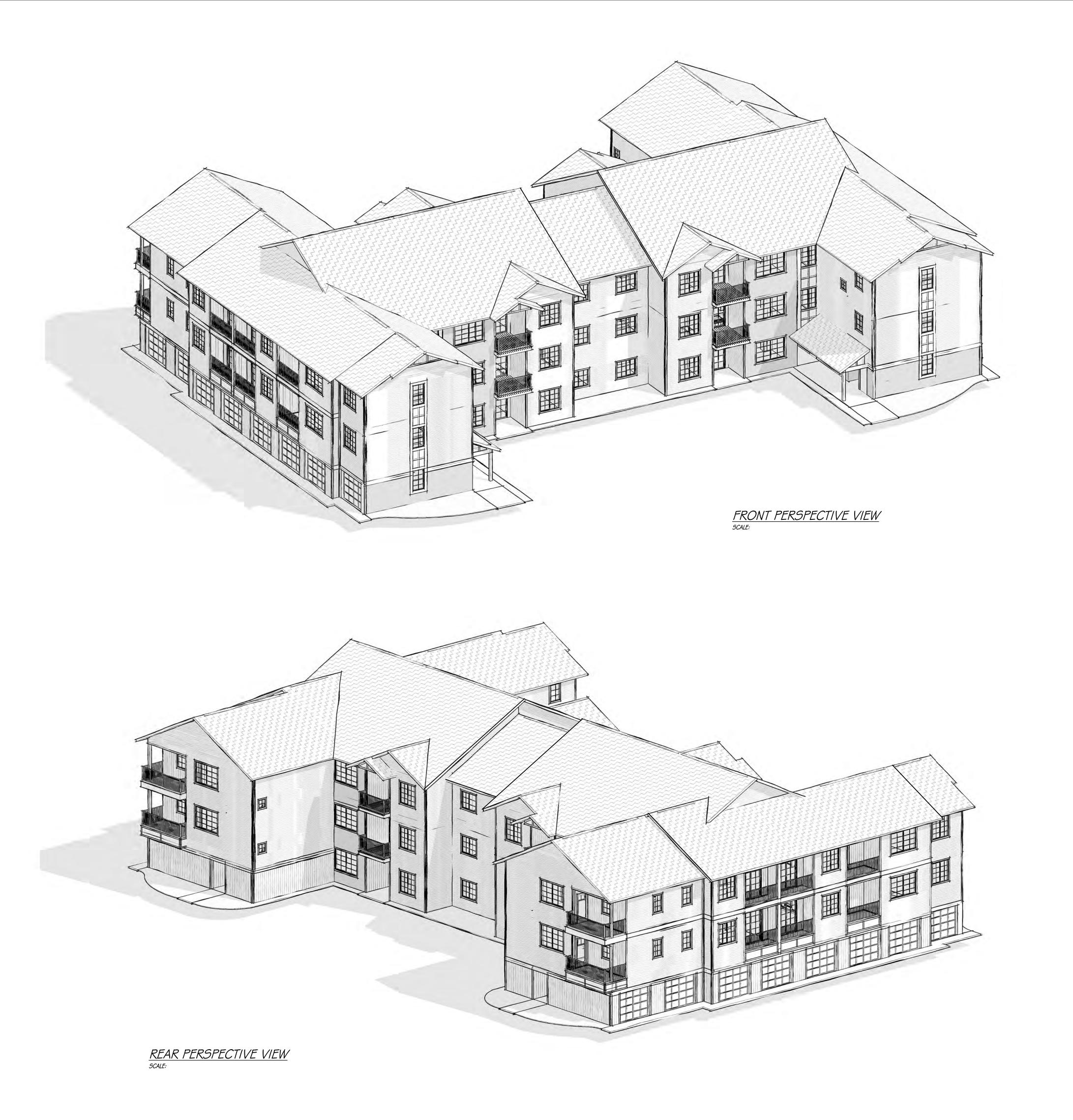
R11W, GARFIELD TWP COUNTY, MICHIGAN

2016-161\_2

SOIL EROSION AND

SEDIMENT CONTROL PLAN







04/21/23 Progress Set date

0823 commission

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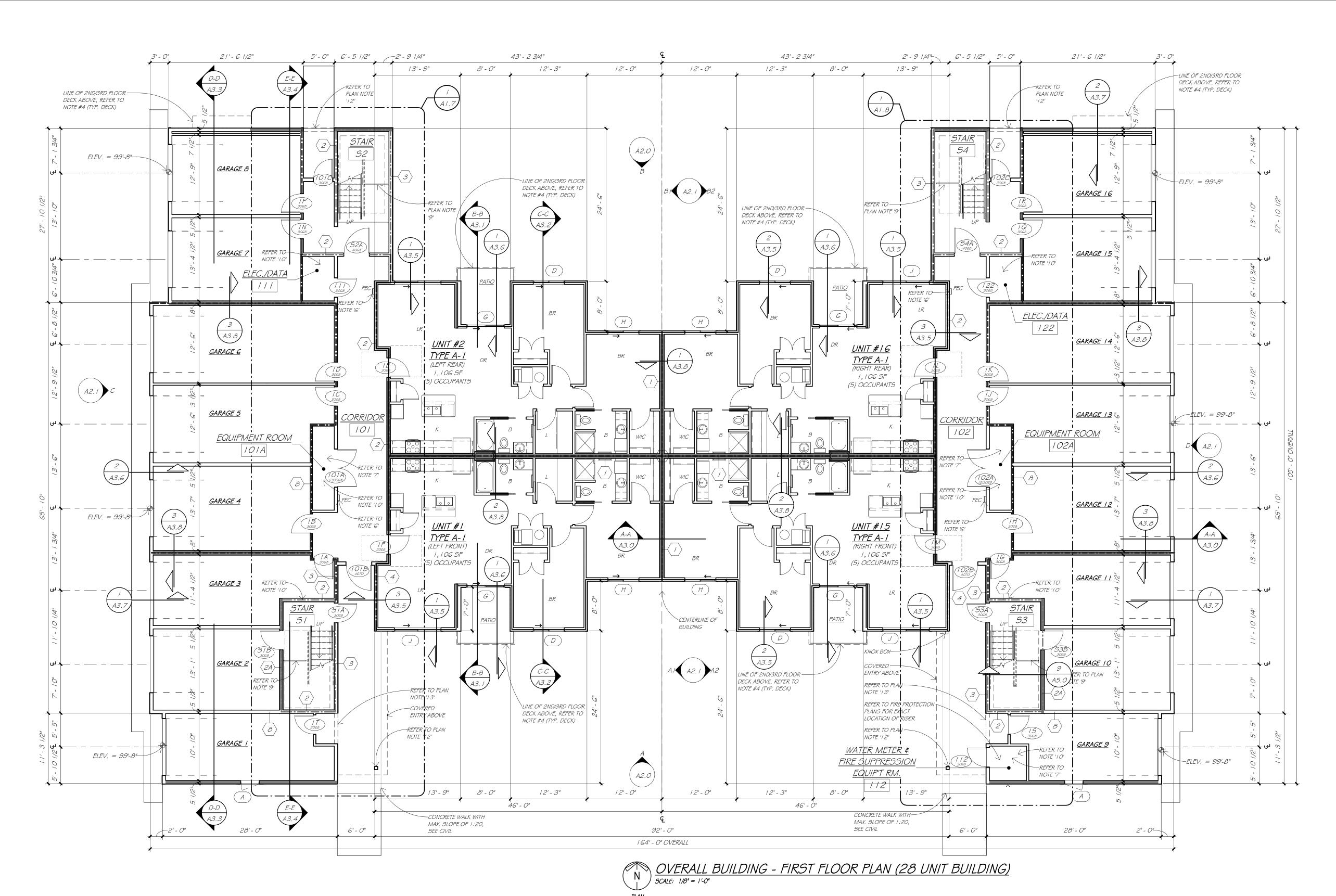
ph. 616 846 8990

Oppenhuizen Architects

Phase 4 Address T

Ridge 45 - 28 Un

Traverse City, Michigan



# OVERALL FIRST FLOOR PLAN NOTES

- I.) UNIT MIX AT THIS FLOOR UNIT A (TYPE 'B' ADAPTABLE) - 2BR/IB (4) TYPE 'B' UNITS FOUR (4) UNITS TOTAL
- 2.) BUILDING AREA THIS FLOOR TOTAL DWELLING UNIT AREA = 4,388 S.F. TOTAL PUBLIC CORRIDOR AREA = 2, 134 S.F.
- TOTAL GARAGE AREA = 5,002 S.F. TOTAL BUILDING AREA = 1 1,524 S.F.
- 3.) REFER TO ENLARGED UNIT FLOOR PLANS ON DRAWINGS A 1.2-A I . 6 FOR UNIT DETAILS, WINDOW/DOOR TYPES AND LOCATIONS.
- 4.) ALL DIMENSIONS TO FRAMING UNLESS NOTED OTHERWISE 5.) = = = DOTTED LINE INDICATES APPROXIMATE PROFILE OF BULKHEAD ABOVE BELOW CEILING. REFER TO STRUCTURAL FOR BEAM SIZE. MINIMUM HEAD
- CLEARANCE 7'-6" A.F.F. 6.) AT ENTRY CORRIDOR AND STAIR WALLS THAT ARE COMMON TO RESIDENTIAL UNITS PROVIDE A ONE-HOUR RATED WALL ASSEMBLY THAT COMPLIES WITH UL U344. REFER TO WALL SCHEDULE AND SECTION MATERIAL KEY ON A I .9
- 7.) FIRE EXTINGUISHER AND CABINET NOTED AS "FEC" PROVIDE A LARSON CABINET MODEL #2409-SM WITH AN AMEREX 10 LB ABC, 4A:80B:C FIRE EXTINGUISHER,
- MODEL #B456 8.) SPACE TO BE HEATED W/ ELECTRIC CABINET TYPE-HEATERS - REFER TO
- ELECTRICAL PLANS. 9.) THE A-I UNITS ARE TYPE 'B' ACCESSIBLE DWELLING UNIT AS REQUIRED BY SECTION I 107 OF THE 2015 MBC. ON CERTAIN BUILDINGS THE A-TUNIT IS REPLACED WITH THE A-2 UNIT, THIS IS NOTED ON THE APPLICABLE PLAN SET. THE A-2 UNITS ARE TYPE 'A' ACCESSIBLE DWELLING UNITS AS REQUIRED BY SECTION 1107 OF 2015 MBC.
- I O.) PROVIDE A 27" HIGH SINGLE LINE GUARDRAIL AT 80" MIN. CLEAR HEIGHT LOCATION. I I.) INSULATE ALL PERIMETERS WALLS W/ R-13 KRAFT FACED BATT INSULATION.
- 12.) REFER TO FOUNDATION S1.0 AND ENLARGED CORRIDOR PLANS A1.7 AND A1.8 FOR COLUMN LOCATION DIMENSIONS.
- 13.) BULKHEAD. BOTTOM OF BULKHEAD AT 7'-O" A.F.F. PROVIDE 2x6 KNEE-WALL TYPE FRAMING BELOW STRUCTURAL BEAM DOWN TO SPECIFIED HEIGHT.

## WALL KEY

1.) — • — • INDICATES FIRE BARRIER WALL LOCATION.

2.) ---- INDICATES FIRE SEPARATED WALL LOCATION. INDICATES SHEAR WALL LOCATION. - SEE

## WALL SCHEDULE

1.) # INDICATS WALL TYPE, REFER TO DRAWING A I .9 FOR WALL TYPE DETAILS

STRUCTURAL DRAWINGS FOR DETAILS.

NOTE: ARCHITECTURAL FINISHED FLOOR ELEV. = 100'-0". THIS IS NOT NECESSARILY TIED TO THE SITE FINISHED FLOOR ELEVATION.

04/21/23 Progress Set date

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Michigan

ph. 616 846 8990

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## OVERALL SECOND AND THIRD FLOOR PLAN NOTES

I.) UNIT MIX AT THIS FLOOR

TOTAL

UNIT A - 2BR/IB (4) UNITS UNIT H - I BR/I B (2) UNITS UNIT D - STUDIO UNITS

UNIT E - I BR/I B (2) UNITS

2.) BUILDING AREA THIS FLOOR TOTAL DWELLING UNIT AREA = 9,939 S.F. TOTAL PUBLIC CORRIDOR AREA = 1,616 S.F. TOTAL DWELLING UNIT DECK AREA = 782 S.F.

TWELVE (12) UNITS

TOTAL BUILDING AREA = 12,101 S.F. 2ND/3RD 3.) REFER TO ENLARGED UNIT FLOOR PLANS ON DRAWINGS A I . 2- A I . 6 FOR UNIT DETAILS, WINDOW/DOOR TYPES AND

) SCALE: 1/8" = 1'-0"

- LOCATIONS. 4.) ALL DIMENSIONS TO FRAMING UNLESS NOTED OTHERWISE
- 5.) = = DOTTED LINE INDICATES APPROXIMATE PROFILE OF BULKHEAD/DROPPED BEAM, ABOVE BELOW CEILING. REFER TO STRUCTURAL FOR BEAM SIZE. MINIMUM HEAD
- CLEARANCE 7'-6" A.F.F. 6.) AT ENTRY CORRIDOR AND STAIR WALLS THAT ARE COMMON TO RESIDENTIAL UNITS PROVIDE A ONE-HOUR RATED WALL ASSEMBLY THAT COMPLIES WITH UL U344. REFER TO WALL SCHEDULE AND SECTION MATERIAL KEY ON A I .9
- 7.) FIRE EXTINGUISHER AND CABINET NOTED AS "FEC" PROVIDE A LARSON CABINET MODEL #2409-SM WITH AN AMEREX 10 LB ABC, 4A:80B:C FIRE EXTINGUISHER, MODEL #B456
- 8.) PROVIDE THIS DOOR AT BOTH THE SECOND AND THIRD FLOOR. REFER TO ENLARGED STAIR PLANS ON DRAWINGS A 1.7 AND A 1.8 AND THE DOOR SCHEDULE FOR ADDITIONAL DETAIL.
- 9.) \* INDICATES LOCATION OF 22"x30" ONE-HOUR RATED ATTIC ACCESS HATCH. MILCOR-UFR OR EQUAL ACCESS PANEL IN CEILING OF THIRD FLOOR (ONLY) UNITS, SEE LOCATIONS ABOVE.
- (O.) MAINTAIN ONE-HOUR RATED CEILING AT THIRD FLOOR TRUSSES PER DETAIL 1/A3. I AT THIRD FLOOR BALCONIES OF UNITS A, D, AND E.

WALL KEY 1.) — • — • INDICATES FIRE BARRIER WALL LOCATION.

2.) ---- INDICATES FIRE SEPARATED WALL LOCATION. INDICATES SHEAR WALL LOCATION. - SEE

## STRUCTURAL DRAWINGS FOR DETAILS. WALL SCHEDULE

1.) # INDICATS WALL TYPE, REFER TO DRAWING A 1.9 FOR WALL TYPE DETAILS

04/21/23 Progress Set date

This drawing is the sole property of Oppenhuizen Architects and is not

to be used or reproduced without their written consent. (C) 101 Washington Ave #301 Grand Haven Michigan

ph. 616 846 8990

Oppenhuizen Architects



City Michigan

dge 45 - 28 Ui

04/21/23 Progress Set date

0823 commission

A1.2 sheet

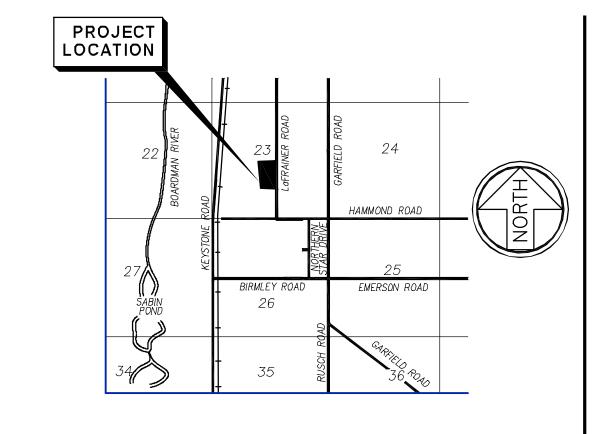
This drawing is the sole property of Oppenhuizen *Architects* and is not to be used or reproduced without their written consent. (C)

101 Washington Ave #301 Grand Haven Michigan 49417 ph. 616 846 8990

Oppenhuizen Architects

Mark A. Oppenhuizen AIA





PROJECT LOCATION MAP

PROPERTY OWNER/SITE DATA

SITE DATA

SHEET INDEX

Midwest MFD, LLC 1435 Fulton St.

1565 Ridges Bl∨d Parcel ID: 05-023-025-60

Zoning: R-1M

SHEET TITLE

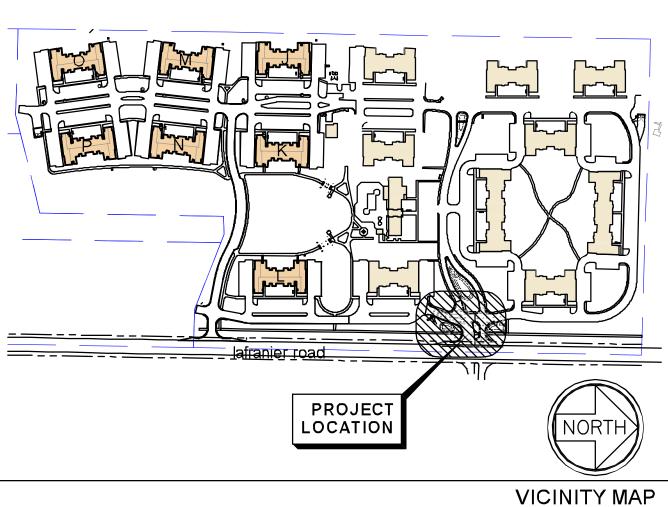
SITE PLAN

GRADING PLAN

GENERAL PLAN INFORMATION

EX. CONDITIONS AND DEMOLITION PLAN

Grand Haven, MI 49417

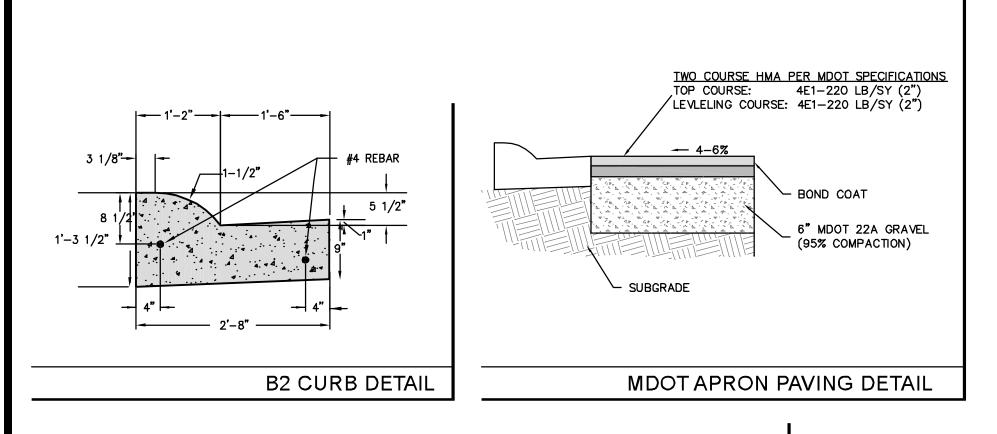


PROJECT NO.:

2016-161

GENERAL

INFORMATION



MDOT GENERAL NOTES:

All facilities, including drainage facilities, shall be located prior to excavation in the Road Commission

Road Commission facilities are not located through the Miss Dig system. A 72 hours advance written notice is required to have freeway lighting staked or MITS—Freeway Ops facilities located.

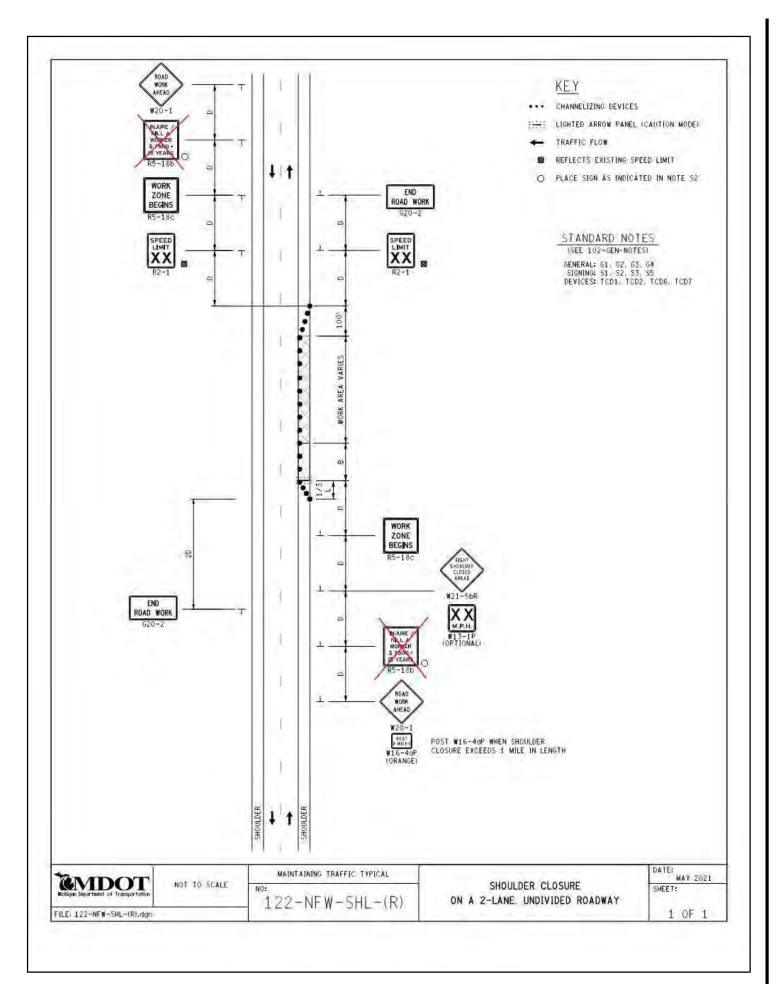
No parking or storage of material or equipment will be allowed within the Road Commission right—of—way.

Saw cut the existing concrete curb and gutter and approach full depth and remove them prior to placing the driveway approach.

All traffic control devices shall be MMUTCD compliant. Traffic control devices are inclusive of signs, barricades, vertical panels, drums, warning lights, arrow boards, changeable message signs, cones, tubular markers, pavement tape, and paint and pavement markers.

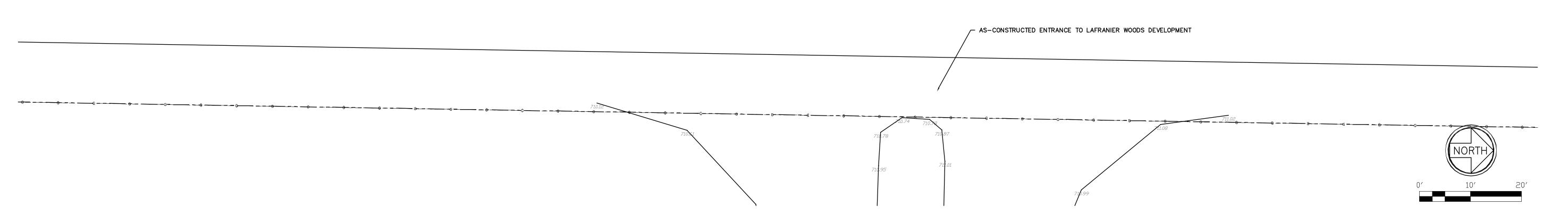
Pavement areas and curb lengths adjacent to the proposed pavement repairs shall be removed when the adjacent pavement area or curb length is less than six (6) feet in length or within six (6) feet of an existing joint. The removal shall be performed as specified in Section 603 of the MDOT 2012 Standard Specifications for Construction.

### ROAD COMMISSION NOTES



TEMPORARY TRAFFIC CONTROL FOR SHOULDER CLOSURE

LAFRANIER RD



SECTION 23, T27N - R11W, GARFIELD TWP, GRAND TRAVERSE COUNTY, MICHIGAN

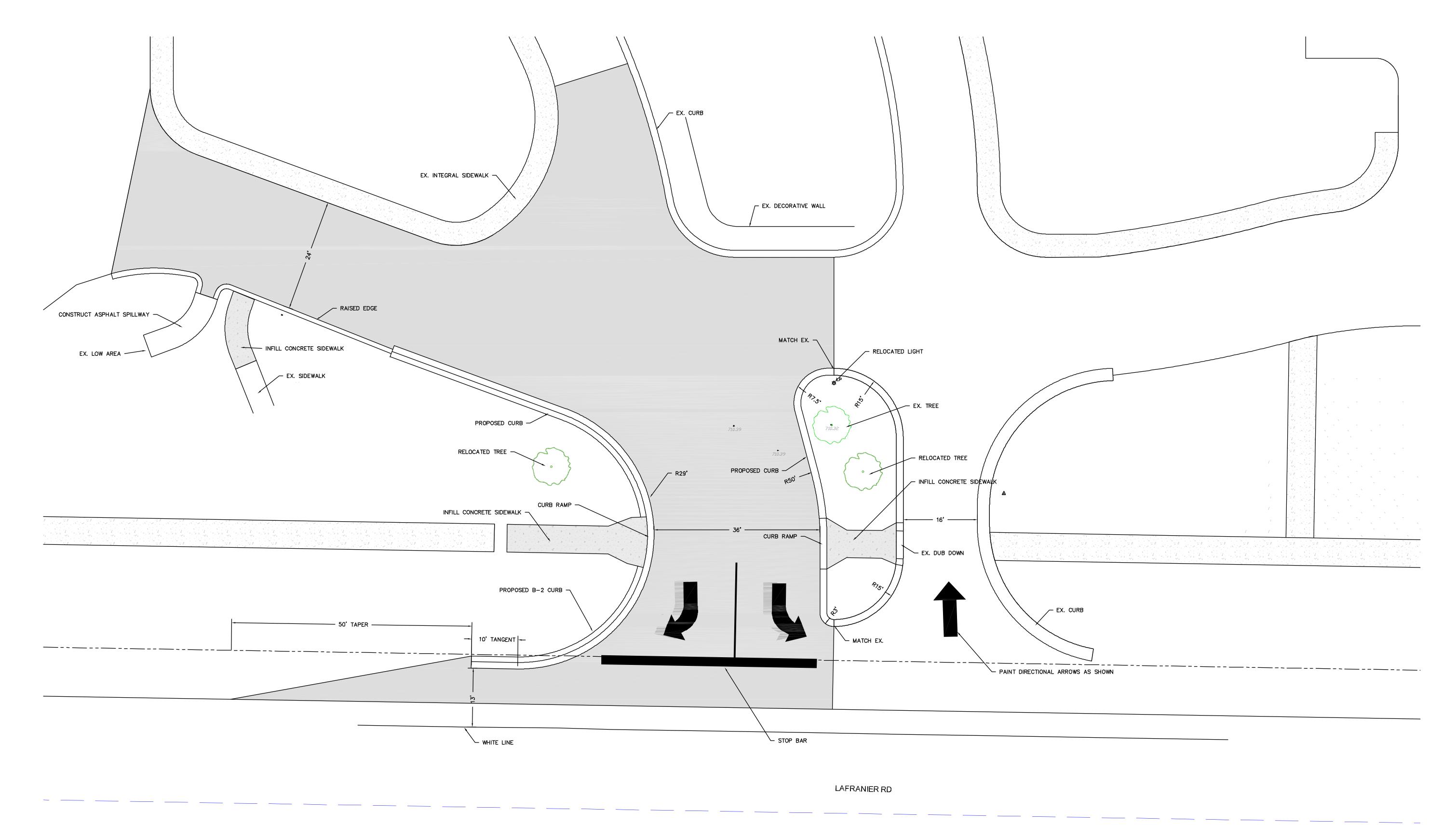
2016-161

ENTRANCE DEMOLITION PLAN

PROPOSED ENTRANCE

PLAN

**~**4 **^ ^** 



AS-CONSTRUCTED ENTRANCE TO ENT

ridge, 50
MAIN ENTRANCE RECO

SECTION 23, T27N - R11W, GARFIELD TWP GRAND TRAVERSE COUNTY, MICHIGAN

2016-161

PROPOSED ENTRANCE

GRADING PLAN

Charter Township of Garfield  Planning Department Report No. 2023-82						
Prepared:	July 6, 2023	Pages: 8				
Meeting:	July 12, 2023 Planning Commission	Attachments:				
Subject:	Bish's RV – Site Plan Review and Access Review					
Applicant:	Taylor Eschbach, Kimley-Horn of Michigan, Inc.					
Owner:	Brinkerhoff Properties, LLC					
File No.	SPR-2023-08					
Parcel No.	05-032-002-10 and 05-032-002-15					

#### **BRIEF OVERVIEW:**

- 705 N US 31 South southwest corner of Meadow Lane Drive and US 31
- Approximately 6.89 acres over two parcels
- Existing RV dealership
- Both parcels zoned as C-G General Commercial
- Both parcels have a Future Land Use designation of Commercial

#### **BACKGROUND / PURPOSE OF APPLICATION:**

This application is for site plan review of proposed parking lot and site improvements at the existing RV dealership, Bish's RV (formerly TCRV), at 705 N US 31 South at the southwest corner of Meadow Lane Drive and US 31. The applicants have also requested a proposed additional access driveway to Meadow Lane Drive. Vehicle Dealership, with Outdoor Sales is a use permitted with special conditions in the C-G district and it would typically be reviewed administratively. However, because the Planning Commission has the authority to review access per Section 512.1.a of the Zoning Ordinance, the Zoning Administrator has deferred review of this application to the Planning Commission.

Zoomed-out aerial view of subject site (north facing up), property lines highlighted in blue





#### Zoomed-in aerial view of subject site (north facing up), property lines highlighted in blue

#### **ACCESS DRIVEWAY REVIEW:**

Per Section 512.1.a of the Zoning Ordinance, the "Planning Commission shall be the reviewing authority regarding access for the development of property and shall have the authority to require a reduction in current or proposed road access locations and/or require shared access to one (1) or more parcels."

The applicants have requested an additional access driveway to Meadow Lane Drive. In aerial imagery shown above, a dirt driveway can be seen to the west of the existing access driveway on to Meadow Lane Drive. Staff have researched prior approvals for this property and are not aware of any approvals for this dirt driveway access to Meadow Lane Drive. In their letter dated July 5, 2023, the applicants stated:

"The requested access point along Meadow Lane Drive has been located 300 feet west of the eastern access point to comply with the spacing requirements listed above. If granted, this access point would be only the second point of access along the more than 700 feet of property frontage on Meadow Lane Drive. This access point is being requested to improve on-site circulation and safety by limiting the area of passenger vehicle and RV overlap in the parking lot. Also, there are no existing or proposed access points along US Route 31 so without approval of this secondary access point there would only be a single point of access for emergency vehicles and responders for an almost 7 acre property. Meadow Lane is a significantly less traveled roadway than US Route 31 and therefore would be a much more beneficial location for a secondary access point."

According to Section 512.3.a., Qualifying Standards for Additional Access, "Access to land fronting a County Road may be permitted to exceed one (1) driveway or road access per existing parcel provided that each of the following standards can be met:"

- i. The request is not a result of a self-created issue by current or previous ownership.
- ii. The request is not contrary to a previously approved plan or project that limited access to the parcel.

- iii. Cross-access easements are provided to adjacent properties and all parcels are interconnected to achieve the intent of this Section.
- iv. Each additional access is located in such a manner that there is a minimum of 300 feet of separation measured from centerline to centerline of current and proposed road access.

Staff offers the following comments regarding the Qualifying Standards for Additional Access:

- As stated above, Staff are not aware of any prior approvals for the dirt driveway to Meadow Lane Drive as depicted in the aerial imagery above. With no prior approvals for an additional access driveway, this request could be considered a self-created issue by the property owners.
- As stated above, Staff are not aware of any prior approvals for the dirt driveway to Meadow Lane Drive as depicted in the aerial imagery above. Based on this information, an additional access driveway would appear to be contrary to a previously approved plan for this site.
- No information has been provided to indicate that any cross-access easements have been provided to adjacent properties in accordance with this standard.
- The proposed additional access appears to be 300 feet from the other access driveway to Meadow Lane Drive as measured from centerline to centerline.

#### SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Section 424.F (1) of the Zoning Ordinance indicates an "administrative site plan or site development plan shall conform to all provisions of this ordinance and to the following site development standards which shall be reflected on the plan:"

#### Required Information

Staff sent a completeness review to the applicants on June 26, 2023 and received their response on July 5, 2023. Comments on individual items are included throughout this staff report.

#### Outside Agencies

The application is subject to additional reviews from several outside agencies, including but not limited to Township Engineer, Grand Traverse County Road Commission, and Metro Fire. An escrow application and escrow amount for stormwater review was submitted on June 22, 2023.

#### Essential Facilities and Services

The proposed project is an improvement to an existing site. No adverse impacts are anticipated regarding highways, streets, police, fire protection, refuse disposal, or schools compared with the existing site.

#### Natural Features

There are no known wetlands or sensitive natural features on this site.

#### Site Design

Per Section 424.F (1)(e), "All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood."

The proposed changes to the site are the parking lot extension for additional RV storage, the stormwater management improvements, pathway, fence, and requested additional access. Comments on the specific aspects of the site design are provided below.

#### Orientation

The main building entrance appears to face Meadow Lane Drive; no changes to the building are proposed.

#### Vehicle and Pedestrian Systems

Vehicular access is currently from an access driveway on Meadow Lane Drive. A 10-foot-wide multi-use non-motorized pathway is proposed along the US 31 frontage which will connect to other pathways in the area. A sidewalk and crosswalk will connect this pathway to the building entrance.

#### Shared Drives

Vehicular access is currently from an access driveway on Meadow Lane Drive. The applicants request an additional access driveway as noted above. No information has been provided to indicate that any cross-access easements or shared drives have been proposed.

#### Impervious Surfaces

The proposal includes an expansion of the impervious surface on the site to accommodate additional RV storage areas. This standard indicates to review that the "amount of impervious surface has been limited on the site to the extent practical." This standard can be addressed through the provision of landscaping as described below and through storm water review as conducted by the Township Engineer.

#### Master Plan

The Future Land Use Map identifies the site as Commercial, thus the development does not conflict with future land use policies.

#### **ARTICLE 5 – DEVELOPMENT STANDARDS:**

#### Lots

This site has frontage along both US 31 and Meadow Lane Drive. According to Section 510.F., a corner lot shall have 2 front setbacks along the roadways and 2 side yard setbacks. The front yard is defined as a yard, extending across the front of the lot between the side lot lines and measured between the front lot line and the building line. The site consists of 2 separate parcels. Because the proposed development and improvements encompass both parcels, these parcels should be merged.

#### Fences, Outdoor Storage, and Outdoor Display

Two different types of fencing are proposed. A 4-foot wrought iron fence will be used along the frontage of US 31 and Meadow Lane Drive, and a 6-foot chain link fence around the RV storage areas. Details of these proposed fences are provided on Sheet L2.0.

According to Section 515.C, fence height is limited to 4 feet in the front yard and 7 feet in the side or rear yard. The iron fence along US 31 is proposed to be 4 feet. The 6-foot chain link fence is appropriate for the side or rear yards, but some of the chain link fence is proposed for the front yard areas and should be removed.

Section 613.A.(1)(b) indicates that the outdoor storage of inventory is permitted within the side or rear yard provided such inventory is appropriately screened from public view by a fence, wall, landscaping, or combination thereof, and provided further that no storage may occur within a no-build buffer zone or required landscaping area. The front and side yards are defined by the building line. The site plan shows that some of the outdoor storage is encroaching into the front yard areas and should be relocated to the side yards. Outdoor storage shall be screened in accordance with Section 515. Chain link fence shall not be used in areas in prominent view from a public street (e.g., US 31 and Meadow Lane Drive).

Section 613.A.(1)(c) allows for designated areas of product display for large inventory items, including RVs, provided that such display area shall not be in a no-build buffer zone or required landscaping area, and shall be located to avoid interference with parking lots, vehicular maneuvering lanes, sidewalks, and pathways. Some areas of outdoor display are shown on the site plan along the frontage of both US 31 and Meadow Lane Drive.

### Dumpster Enclosure

Details of the dumpster enclosure gate are provided on Sheet L2.0, which will be cedar and conforms to the requirement in Section 516.B. for an opaque wood gate. Details need to be included for the entirety of the enclosure to determine if all the standards of Section 516 have been met.

### Lighting

A complete lighting plan, including photometric plan and cut sheets of all the proposed fixtures, shall be provided to ensure Section 517 Lighting standards are met.

### Pedestrian and Non-Motorized Circulation

As described above, a 10-foot-wide multi-use non-motorized path is proposed along US 31 which will connect to other paths in the area, and a proposed sidewalk and crosswalk will connect this pathway to the building entrance.

### Landscaping

Landscaping requirements are described by the following for each length of greenspace area (e.g., without including ingress and egress drives) for each lot line and for the parking lot interior area. Staff comments on the proposed landscaping are provided following this table.

Lot Line (Length)	Adjacent Land Use	Buffer Planting Requirement	Amount Required	Amount Provided
East (385 ft.)	Arterial Road (US 31)	Type "D" Buffer – ground cover as specified in Section 530.J, plus 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area, and a minimum width of 20 feet.	16 large trees 12 med./small trees 12 evergreen trees 20-foot width	3 large trees 2 ornamental trees 5 other trees 7 evergreen shrubs 20-foot width Wrought-iron fence (4')
North (605 ft.)	Local Road (Meadow Lane Drive)	Type "C" Buffer – ground cover as specified in Section 530.J, plus 3 large trees, 3 medium or small trees, and 1 evergreen or coniferous tree per 100 linear feet of greenspace area, and a minimum width of 10 feet.	19 large trees 19 med./small trees 7 evergreen trees 10-foot width	3 large trees 7 ornamental trees 2 other trees 20-foot width
West (665 ft.)	Commercial	Type "B" Buffer – ground cover as specified in Section 530.J, plus 2 large trees, 1 medium or small trees, and 4 shrubs per 100 linear feet of greenspace area, and a minimum width of 10 feet.	14 large trees 7 med./small trees 27 shrubs 10-foot width	7 large trees 7 ornamental trees 5 other trees 25 shrubs 10-foot width

Lot Line	Adjacent	Buffer Planting	Amount Required	Amount Provided
(Length)	Land Use	Requirement		
South		Type "B" Buffer – ground	19 large trees	8 large trees
(910 ft.)		cover as specified in Section	10 med./small trees	9 ornamental trees
		530.J, plus 2 large trees, 1	37 shrubs	11 other trees
		medium or small trees, and 4	10-foot width	39 shrubs
		shrubs per 100 linear feet of		10-foot width
		greenspace area, and a		
		minimum width of 10 feet.		

- The proposed landscaping along the west and south buffers are slightly under the requirements. Adjustments can be made to these to meet the requirements.
- The proposed landscaping along the east and north buffers are under the requirements. In their response letter, the applicants indicated the following:
  - o "Due to site restraints along both the North and East by utilities, easements, and hardscape, Buffer Type "D" and Buffer Type "C" are not able to be met. Canopy Trees have been incorporated at a spacing no greater than 35', Ornamental Trees have been incorporated between Canopy Trees where feasible. Evergreen Trees have not been provided due to proximity to pedestrian and vehicular areas, for safety."

According to Section 530.C., when "a building or parking lot is enlarged, the requirements of greenspace apply on an incremental basis such that landscaping shall be required in the same proportion that the enlarged building area or off-street parking area has to the existing development (e.g., a 10 percent increase requires 10 percent of the required landscaping)." The proposed improvements are primarily an expanded parking lot area including an outdoor storage area. The applicant should provide calculation for the existing paved area and new paved area to determine the percent enlargement in paved area, and thus the incremental landscaping required.

- Existing vegetation can be used for credit towards landscaping requirements per Section 530.L, however information is needed on existing sizes to determine how much credit may be granted.
- The minimum planting size standards of Table 530.F. need to be met, including a 2-inch caliper for canopy trees and 6 feet height for evergreen trees.
- Only two of the proposed plant species are listed as native species in the ISN Planting Guidelines. The applicant should consult with the Invasive Species Network / Grand Traverse Conservation District on whether the other proposed species are acceptable for planting.

### Parking, Loading, and Snow Storage

The parking requirements for "Automotive sales and service establishments" are described in Table 5-47 of the Zoning Ordinance and are described as follows:

- Minimum: 1 per 400 square feet of floor area of the sales room
- Maximum: 1 per 200 square feet of floor area of the sales room + 1 per auto service stall

The site plan indicates 6,529 square feet of sales floor area and 4 RV service stalls. Thus, the minimum parking required is 17 spaces with a maximum of 37 spaces. There are 8 parking spaces shown near the building and 39 spaces in the northwest corner of the site for a total of 47 parking spaces. In the response letter, the applicants indicated the following:

"The resulting maximum parking count using the calculation above is 37 parking spaces. Based on operational data from other Bish's RV locations, they applicant is proposing 47 passenger vehicle parking spaces to meet their needs for both customers and staff parking. For the purposes of this calculation, only the interior sales area has been included; however, a much

larger sales area exists outside of the building. Due to the size of the RVs and the sales season so heavy weighted towards summer months, a larger percentage of sales activities happen outside the building than a typical car dealership. The increase in passenger vehicle parking is needed to accommodate this summer sales peak."

Per Section 551.C.(2)(b), the Planning Commission may allow for an applicant to exceed the maximum number of spaces permitted provided the additional spaces are constructed of pervious pavement, pavers or similar material. The site plan does not show any pervious pavement proposed.

Per Section 522.C, bicycle parking is required at the ratio of 2 bicycle spaces for every 25 motor vehicle spaces. Four bike parking spaces are provided, and details are included on Sheet C6.0.

Per Section 551.E.(6), a ratio of 10 square feet of snow storage is required per 100 square feet of parking area. The site plan indicates a total paving area of 222,800 square feet, required snow storage of 22,280 square feet, and provided snow storage of 23,000 square feet. Some of the proposed snow storage area is the storm water retention area. The Township Engineer is reviewing the storm water management for the site and can comment on the proposed snow storage in the storm water retention basin.

The site plan states that the building has 12,489 square feet of gross floor area. Per Section 552, 1 small loading space measuring at least 10 feet by 20 feet is required and is shown near the dumpster enclosure.

### Signs

Signs require sign permit review and are not approved under the site plan review process. A note should be added to the site plan indicating that "Signs are subject to sign permit review."

### SUPPLEMENTAL USE REGULATIONS - OUTDOOR SALES:

According to Section 762.A of the Zoning Ordinance, the sale of automobiles, trailers, boats, and similar large items may be permitted provided the following conditions can be met:

(1) The property has at least one property line on a major thoroughfare.

The site has a property line on US 31, a major thoroughfare.

(2) Access is limited to one (1) driveway approach to any public street and shall comply with Grand Traverse County Road Commission or MDOT requirements.

The existing access driveway is on Meadow Lane Drive. Access driveways to Meadow Lane Drive require review and approval by the Grand Traverse County Road Commission.

(3) No driveway or curb cut shall be located closer than 10 feet to an adjoining property.

None of the proposed access driveways are within 10 feet of an adjoining property.

(4) The property has an approved commercial retail business and structure located on the property that meets the standards of the Ordinance.

The outdoor sales use is tied to an existing retail use.

(5) The sales area shall be paved and adequately maintained so as to provide a smooth dustless surface.

The applicants are proposing paving an additional area as part of an expanded RV sales lot.

(6) All development standards of Article 5 can be met.

Please see the above section of this letter for comments on Article 5 standards.

#### **RECOMMENDATION:**

The applicants have requested additional access to Meadow Lane Drive. Based on the review provided in this letter, the following motion is suggested for consideration by the Planning Commission:

MOTION THAT the request for additional access to Meadow Lane Drive, as described in application SPR-2023-08 submitted by Taylor Eschbach of Kimley-Horn of Michigan, Inc., BE DENIED based on a review of the request against the requirements of Section 512.1.a of the Garfield Township Zoning Ordinance, as described in Planning Department Report 2023-82.

There are several items that need to be addressed on the site plan. The following motion is suggested for consideration by the Planning Commission

MOTION THAT application SPR-2023-08, submitted by Taylor Eschbach of Kimley-Horn of Michigan, Inc., BE TABLED to allow the applicants to address the outstanding items in Planning Department Report 2023-82.

Additional information deemed necessary by the Planning Commission should be added to this motion.

#### Attachments:

- 1. Site Plan Review Application dated June 6, 2023.
- 2. Planning Commission Memorandum dated June 8, 2023.
- 3. Completeness Review Response Letter dated July 5, 2023
- 4. Final Engineering and Landscape Plans dated July 5, 2023.



### **Charter Township of Garfield**

### **Grand Traverse County**

3848 VETERANS DRIVE TRAVERSE CITY, MICHIGAN 49684 PH: (231) 941-1620 • FAX: (231) 941-1588

### SITE PLAN REVIEW (SPR) APPLICATION

### **ASSISTANCE**

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

NI DECLIECTED		
Site Diagram Review	1	
Administrative Site Pl	lan Review	
Site Development Pla	an Review	
ECT / DEVELOPMENT	<u> NAME</u>	
Bish's RV		
CANT INFORMATION	[	
Name:	Taylor Eschbach (Kimley-Horn of Michigan, Inc.)	
Site Diagram Review  Administrative Site Plan Review  Site Development Plan Review  ROJECT / DEVELOPMENT NAME  Bish's RV  PPLICANT INFORMATION  Name:		
Phone Number:	(630) 487-5550	
Email:	Taylor.Eschbach@kimley-horn.com	
<u> INFORMATION</u>		
Name:		
Address:		
Phone Number:		
Email:		
Administrative Site Plan Review  Site Development Plan Review  PROJECT / DEVELOPMENT NAME  Bish's RV  APPLICANT INFORMATION  Name: Address: Phone Number: Email:  Address: Phone Number: Email:  OWNER INFORMATION  Name: Address: Phone Number: Email:  Dininkerhoff Preperties, LLC Address: Phone Number: Email:  Bish's RV  APPLICANT INFORMATION  Name: Address: Phone Number: Email:  OWNER INFORMATION  Name: Address: Phone Number: Email:  Brinkerhoff Preperties, LLC Address: Phone Number: Evin Brinkerhoff Exprinkerhoff Exprinkerhoff Exprinkerhoff Exprinkerhoff Exprinkerhoff Exprinkerhoft Exprinkerhoff Exprinkerhoft Ex		
R INFORMATION		
Name:	Brinkerhoff Preperties, LLC	
Address:	9336 Lawrence Drive, Traverse City MI 49685	
Phone Number:	Kevin Brinkerhoff	
Fmail:	kbrink53@hotmail.com	
	Site Diagram Review Administrative Site P Site Development Pla  ECT / DEVELOPMENT Bish's RV  CANT INFORMATION Name: Address: Phone Number: Email: INFORMATION Name: Address: Phone Number: Email: R INFORMATION Name: Address: Phone Number: Email:	Site Diagram Review Administrative Site Plan Review Site Development Plan Review  ECT / DEVELOPMENT NAME  Bish's RV  CANT INFORMATION  Name:

Page 1 of 7

#### **CONTACT PERSON**

Please select one person to be contact person for all correspondence and questions:

Аррі	licant:	Taylor Esc	hbach (Kin	nley-Horn)				
Age	nt:							
Own	ner:							
PROPERTY	INFORMATION							
Prop	erty Address:	705 US-31	S, Travers	se City, MI 49685				
Prop	Property Identification Number:		05-032-002-10, 05-032-002-15					
Lega	al Description:		See C0.0	Cover Sheet				
Zoni	Zoning District:			C-G (General Commercial)				
Mas	ter Plan Future L	and Use De	esignation:					
Area	a of Property (acre	es or squar	e feet):	6.89 acres				
Exis	ting Use(s):	RV Dealer	ship					
Prop	posed Use(s):	RV Dealer	ship					
PROJECT TI	IMELINE							
			07/31/202	3				
	nated Start Date:		10/31/202					
Estin	nated Completion	Date:	10/31/202	J				

### REQUIRED SUBMITTAL ITEMS

A complete application for a Site Plan Review consists of the following:

#### Application Form:

- One original signed application
- One digital copy of the application (PDF only)

#### Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

✓ Fee

### Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

### Site Diagram Review:

- ☑ Two complete stapled 11"x17" paper sets
- ✓ One digital set (PDF only)

Admini	strative Site Plan:						
<b>V</b>	Two complete stapled 11"x17" paper sets						
<b>V</b>	Two complete bound 24"x36" paper sets						
V	One digital set (PDF only)						
Site Development Plan:							
	Ten complete stapled 11"x17" paper sets						
	Two complete bound 24"x36" paper sets						
	One digital set (PDF only)						
Dimitali	itama ta ba daliyayad via ayasil ay LICD floob dyi						

Digital items to be delivered via email or USB flash drive

### SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

### **WAIVERS**

#### Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

- 1. The erection or enlargement of an accessory structure;
- 2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
- 3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

#### Data Waiver:

- 1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
- 2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

#### SITE PLAN

Check that your site plan includes all required elements for a Site Diagram (SD), Administrative Site Plan (ASP), or Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

Page 3 of 7 SPR - Form Date: March 1, 2021

#### APPROVAL CRITERIA

An administrative site plan or site development plan shall conform to all provisions of the Zoning Ordinance and to the following site development standards which shall be reflected on the plan:

- 1. Required Information. All required information shall be provided.
- 2. Outside Agencies. All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.
- 3. Essential Facilities and Services. Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
- 4. Natural Features. Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.
- 5. Site Design. All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.
- 6. Orientation. Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
- 7. Vehicle and Pedestrian Systems. The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
- 8. Shared Drives. Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
- 9. Impervious Surfaces. The amount of impervious surface has been limited on the site to the extent practical.
- 10.Master Plan. The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

#### ADDITIONAL INFORMATION

If applicable, provide the following further information:

Α.	Sanitary Sewer Service	<u>Yes</u>	<u>No</u>	Not <u>Applicable</u>
1.	Does project require extension of public sewer line?		<b>V</b>	
	If yes, has a Utility Agreement been prepared?			<b>V</b>
2.	Will a community wastewater system be installed?		<b>V</b>	
	If yes, has a Utility Agreement been prepared?			<b>V</b>
	If yes, provide construction plans and specifications			
3.	Will on-site disposal be used?		<b>V</b>	
	If yes, is it depicted on plan?			✓

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В.	<u>water Service</u>			
1.	Does project require extension of public water main?		<b>V</b>	
	If yes, has a Utility Agreement been prepared?			<b>V</b>
2.	Will a community water supply be installed?		<b>V</b>	
	If yes, has a Utility Agreement been prepared?			<b>/</b>
	If yes, provide construction plans and specifications			
C.	Public utility easements required?			<b>/</b>
	If yes, show on plan.			
D.	Stormwater Review/Soil Erosion			
1.	Soil Erosion Plans approved by Soil Erosion Office?		<b>V</b>	
	If so, attach approval letter.			
	If no, are alternate measures shown?		<b>V</b>	
2.	Stormwater Plans approved by Township Engineer?		<b>~</b>	
	If so, attach approval letter.			
	If no, are alternate measures shown?		<b>/</b>	
	Note: Alternate measures must be designed and sealed by a regis	tered Engine	er.	
E.	Roads and Circulation			
1.	Are interior public streets proposed?		<b>V</b>	
	If yes, has Road Commission approved (attach letter)?			<b>V</b>
2.	Will public streets connect to adjoining properties or future streets?		~	
3.	Are private roads or interior drives proposed?		~	
4.	Will private drives connect to adjoining properties service roads?		<b>V</b>	
5.	Has the Road Commission or MDOT approved curb cuts?			V
	If yes, attach approved permit.			

### OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

#### REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review.
- The Planning Commission may approve, approve with conditions, or deny the application.

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06/06/2023

06/06/2023

PERMISSION TO ENTE	ER SUBJECT PROPERTY
Permission is hereby gr	anted to Garfield Township staff and Planning Commissioners to enter the premises subject to this
application for the purpo	oses of making inspections associated with this application, during normal and reasonable working
hours.	
Owner Signature:	— Docustingwed by: H—F3H2f
Applicant Signature:	SEBUAR-LEDELATO
Agent Signature:	
Date:	06/06/2023
OWNER'S AUTHORIZA	ATION
	re registered owner of the lands that is the subject of this application, the owner(s) must complete
the authorization set ou	
the authorization set ou	. below.
06/06/2023 I/We	authorize to make this application on my/our behalf
	by/our personal information necessary for the processing of this application. Moreover, this shall be
•	t authorization for so doing.
Owner Signature:	- Decisional by: - Hard
_	06/06/2023
Date:	
AFFIDAVIT	
	s that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application
· ·	on submitted in this application, including any supplemental information, is in all respects true and
	ned further acknowledges that willful misrepresentation of information will terminate this permit
-	mit associated with this document.
application and any por	The description with the decarrotte
Owner Signature:	— Docustigned by:

Page 6 of 7

Date:

Date:

Applicant Signature:

	Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
Α.	Basic Information		
1.	Applicant's name, address, telephone number and signature		<b>V</b>
2.	Property owner's name, address, telephone number and signature		<b>V</b>
3.	Proof of property ownership		<b></b>
4.			<u> </u>
5.			
	agent		
6.			<b>V</b>
7.			<b>7</b>
8.			<u> </u>
9.			
		<del> </del>	<u> </u>
			7
12.			<b>7</b>
_	<u> </u>		
1.	•		<b>7</b>
2.	•		<b>1</b>
3.			<b>V</b>
4.			<b>V</b>
5.			<u> </u>
6.			<u> </u>
7.			
١.	structures		V
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals,		
	salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county,		✓
	state or federal government authorities		_
9.	Proposed finish floor and grade line elevations of any structures		_
	· · · · · · · · · · · · · · · · · · ·	□ *	✓
10.			<b>7</b>
			<b>7</b>
	parking areas		V
13.	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		~
14.	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features		
	within and adjacent to the site		✓
15.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		V
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		~
17.	Location of water supply lines and/or wells		~
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems		<u> </u>
19.			<u> </u>
	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales,		
	<u> </u>		
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<b>V</b>
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
23.			
24.			
	walls, trash receptacle screening, and other screening features with cross sections shown		Ø
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what		
	is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by		<b>7</b>
	Basic Information  Applicant's name, address, telephone number and signature Property owner's name, address, telephone number of the property Whether there are any options or liens on the property Whether there are any options or liens on the property A signed and notarized statement from the owner of the property that the applicant has the right to act as the own agent The address and/or parcel number of the property, complete legal description and dimensions of the property, sets lines, gross and net acreages and frontage A vicinity map showing the area and road network surrounding the property Anne, address and prone number of the property of the sits plan Project title or name of the proposed development Statement of proposed use of land, project completion schedule, any proposed development phasing Land uses and zoning classification on the subject percel and adjoining parcels Seal of the registered engineer, architect, fundscape architect, surveyor, or planner who prepared the plan, as well their name, address and telephone number  Ste Pain Information North arrow, scale, and date of original submittal and last revision Soundary dimensions of natural features Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25 beach, drainage, and similar features  Proposed alterations to topography and other natural features Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18% soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department, The location, height and square footage of existing and proposed main and accessory buildings, and othe		
26.			
27.	Changes or modifications required for any applicable regulatory agencies' approvals		<b>V</b>

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### PLANNING COMMISSION MEMORANDUM

To: Garfield Township

From: Taylor Eschbach, Project Manager

Kimley-Horn of Michigan, Inc

Date: June 8, 2023

Re: Proposed Bish's RV Site Improvements

705 US-31

Traverse City, MI 49685

#### Introduction

Kimley-Horn of Michigan, Inc., serves as the engineering consultant for Bish's RV. They are proposing to construct parking lot improvements and an additional access to Meadow Lane Drive. The sitework includes demolition, grading, paving, fence installation, and landscape improvements. Applications with the Grand Traverse Metro Fire Department and Grand Traverse County Soil Erosions and Sedimentation Control are currently under review.

#### **Existing Conditions**

The existing site at 705 US-31 consists of two parcels. The northerly parcel is currently used as an RV sales lot with a singular one-story building serving as the business center. There is an asphalt driveway along Meadow Lane Drive approximately 180 feet from the middle of the US-31 and Meadow Lane Drive intersection. There is also a secondary gravel access that was installed by a previous owner at some point during the early 2000's. In current conditions, there are RV's parked beyond the limits of the paved lot in the gravel/dirt field to the west.

### **Proposed Conditions**

Bish's RV is proposing parking lot improvements that consist of extending the asphalt parking lot further west and into the southern parcel as well. Along with the addition of the pavement, we are proposing to install the required stormwater improvements and infiltration basin to handle the additional impervious surface. The basin has been designed to infiltrate all the runoff into the ground. A fence is proposed to enclose the entirety of the sales and service sections of the parking lot. An additional asphalt driveway is being proposed to Meadow Lane Drive as the existing gravel access is to be removed.



July 5, 2023

Charter Township of Garfield Planning Commission 3848 Veterans Drive Traverse City, MI 49684

Attention: Stephen Hannon, AICP

Re: Application for Site Plan Review – Bish's RV

705 N US-31 South, Traverse City, MI 49685 Parcel #05-032-002-10 and Parcel #05-032-002-15

Completeness Review Letter

Dear Mr. Hannon,

We are in receipt of your completeness review comments dated June 26, 2023, for the Bish's RV Site Improvements. Below is a summary of the actions taken in response to the comments:

- 1. The review of the request for additional access to Meadow Lane Drive is subject to the Township Zoning Ordinance Section 512 Access Management and Restrictions, 3.a. Qualifying Standards for Additional Access which states that "Access to land fronting a County Road may be permitted to exceed one (1) driveway or road access per existing parcel provided that each of the following standards can be met:"
  - The request is not a result of a self-created issue by current or previous ownership.
  - The request is not contrary to a previously approved plan or project that limited access to the parcel.
  - Cross-access easements are provided to adjacent properties and all parcels are interconnected to achieve the intent of this Section.
  - Each additional access is located in such a manner that there is a minimum of 300 feet of separation measured from centerline to centerline of current and proposed road access.

Given these standards, if the applicant has any information beyond that included in the application for the Planning Commission to consider regarding the request for additional access, please provide such information as part of the application.

Response: The requested access point along Meadow Lane Drive has been located 300 feet west of the eastern access point to comply with the spacing requirements listed above. If granted, this access point would be only the second point of access along the more than 700 feet of property frontage on Meadow Lane Drive. This access point is being requested to improve on-site circulation and safety by limiting the area of passenger vehicle and RV overlap in the parking lot. Also, there are no existing or proposed access points along US Route 31 so without approval of this secondary access point there would only be a single point of access for emergency vehicles and responders for an almost 7 acre property. Meadow Lane is a significantly less traveled roadway than US Route 31 and therefore would be a much more beneficial location for a secondary access point.



- Please provide typical details of proposed site elements to determine if the following standards of the Zoning Ordinance are met:
  - Fences (Section 515 Fences and Walls)
  - Dumpster enclosure and gate (Section 516 Dumpster Enclosures)

Response: The requested details have been added to sheet L2.0.

3. A complete lighting plan, including photometric plan and cut sheets of all proposed fixtures, shall be provided to ensure Section 517 Lighting standards are met.

Response: A photometric plan and cut sheets are currently being prepared by the architect and will be provided as soon as possible.

4. Per Section 522.B, "For safety purposes, sidewalks shall be constructed within the interior of the development to link buildings with other destinations, such as, but not limited to, parking, adjoining streets, mailboxes, trash disposal, adjoining sidewalks or greenways, and on-site amenities..." The site plan shows a proposed trail along US 31. A sidewalk / crosswalk connection shall be provided from the building entrance to this trail.

Response: An ADA compliant route has been added connecting the main building entrance to the proposed trail at the intersection of Meadow Lane Drive and US-31 to provide pedestrian access to the building. Refer to sheet C2.0.

5. Landscaping requirements are in Section 531.C. Required plantings are as follows:

Direction	Adjacent Land Use	Planting Required
East	Arterial Road	Type "D" Buffer – ground cover as specified in Section 530.J, plus 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area, and a minimum width of 20 feet.
North	Local Road	Type "C" Buffer – ground cover as specified in Section 530.J, plus 3 large trees, 3 medium or small trees, and 1 evergreen or coniferous tree per 100 linear feet of greenspace area, and a minimum width of 10 feet.
West and South	Commercial	Type "B" Buffer – ground cover as specified in Section 530.J, plus 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace area, and a minimum width of 10 feet.



Staff offers the following comments:

Please provide proposed landscaping for the north and east buffers. Existing
vegetation can be credited towards the landscaping requirements according to
Section 530.L, but please provide information on existing sizes to determine how
much credit may be granted.

Response: Vegetative buffer has been added to the North and East perimeters of the site. Due to site restraints along both the North and East by utilities, easements, and hardscape, Buffer Type "D" and Buffer Type "C" are not able to be met. Canopy Trees have been incorporated at a spacing no greater than 35', Ornamental Trees have been incorporated between Canopy Trees where feasible. Evergreen Trees have not been provided due to proximity to pedestrian and vehicular areas, for safety.

Please provide the landscaping requirement calculations for each buffer and how the
proposed landscaping will meet these requirements. Please also indicate where
these buffers are applied. For example, the entire perimeter of the site from the
southwest corner of the retention pond to the southern point of the US 31 frontage
may be included as part of the south buffer.

Response: Landscape Code Calculations have been added to Sheet L1.0 with applicable Buffer requirements. The East Buffer area runs along the East property line from the corner of Meadow Lane Drive and US-31, South to the adjacent property. The South Buffer runs from the Southeast corner of the site to the adjacent property at US-31 down to the Southwest corner of the site. The West Buffer runs the entire length of the Western side of the site up to Meadow Lane Drive. The North Buffer runs the entire length of the site adjacent to Meadow Lane Drive to the East corner at US-31.

- 6. Parking requirements for "Automotive sales and service establishments" are listed in Table 5-47 of the Zoning Ordinance and are described as follows:
  - Minimum: 1 per 400 square feet of floor area of the sales room
  - Maximum: 1 per 200 square feet of floor area of the sales room + 1 per auto service stall

Please indicate the floor area of the existing sales room(s) and any auto service stalls as part of the parking calculations to determine if parking requirements of the Zoning Ordinance have been met. Also, please provide information pertaining to the standards for Bicycle Parking (Section 522.C), Snow Storage (Section 551.E.(6)), and Loading (Section 552).

## Kimley»Horn

Response: The sales area and RV service stalls within the existing building have been added to the Parking Summary table on sheet C2.0. The resulting maximum parking count using the calculation above is 37 parking spaces. Based on operational data from other Bish's RV locations, they applicant is proposing 47 passenger vehicle parking spaces to meet their needs for both customers and staff parking. For the purposes of this calculation, only the interior sales area has been included; however, a much larger sales area exists outside of the building. Due to the size of the RVs and the sales season so heavy weighted towards summer months, a larger percentage of sales activities happen outside the building than a typical car dealership. The increase in passenger vehicle parking is needed to accommodate this summer sales peak.

4 bicycle parking spaces have been added to the front of the building to comply with the requirement.

The limits of proposed snow storage area has been shown in plan view and table format on sheet C2.0.

One loading space is required based on the gross floor area, which is now called out to be located in front of the dumpster enclosure on the north side of the existing building.

We hope that our responses adequately address your comments. If you have any questions or require any additional information, please contact me to 630-487-3392 or taylor.eschbach@kimley-horn.com.

Sincerely,

Taylor Eschbach, P.E.

705 US-31 S TRAVERSE CITY, MICHIGAN 49685

# **UTILITY AND GOVERNING AGENCY CONTACTS**

ZONING DEPARTMENT CHARTER TOWNSHIP OF GARFIELD 3848 VETERANS DRIVE TRAVERSE CITY, MI 49684 TEL: (231) 941-1620 EMAIL: MGREEN@GARFIELD-TWP.COM CONTACT: MIKE GREEN

GRAND TRAVERSE METRO FIRE DEPARTMENT FIRE PREVENTION BUREAU

SOIL EROSION & SEDIMENT CONTROL GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH 2650 LaFRANIER ROAD TRAVERSE CITY, MI 49686 TEL: (231) 995-6051 EMAIL: EH@GTCOUNTYMI.GOV

CHARTER TOWNSHIP OF GARFIELD 3848 VETERANS DRIVE TEL: (231) 225-3156 EMAIL: SHANNON@GARFIELD-TWP.COM CONTACT: STEPHEN HANNON, AICP

# **PROJECT TEAM**

CONTACT: KATHY FORDYCE

<u>DEVELOPER</u> BISH'S RV

1200 N MAIN BOX 160 MERIDIAN, ID 83680 TEL: (208) 477-8256 CONTACT: JEFFREY L. KING

ARCHITECT JESSE S. GOLDMAN ARCHITECT 2696 S COLORADO BLVD, SUITE 525 DENVER, CO 80222 TEL: (208) 343-4635

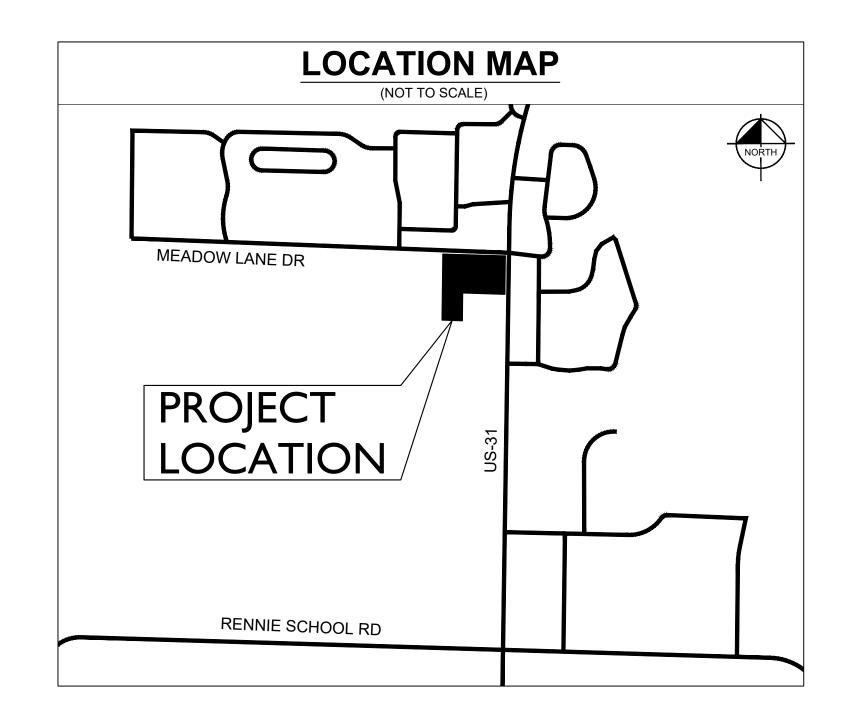
CONTACT: TIFFANI NORMAN, AIA

CIVIL ENGINEER KIMLEY-HORN OF MICHIGAN, INC. 1000 TOWN CENTER, SUITE 1900 SOUTHFIELD, MI 48075 TEL: (630) 487-5550 EMAIL: TAYLOR.ESCHBACH@KIMLEY-HORN.COM CONTACT: TAYLOR ESCHBACH

LANDSCAPE ARCHITECT KIMLEY-HORN OF MICHIGAN, INC. 1000 TOWN CENTER, SUITE 1900 SOUTHFIELD, MI 48075 TEL: (630) 487-5550 EMAIL: CHRIS.WILSON@KIMLEY-HORN.COM CONTACT: CHRIS WILSON

SURVEYOR

HOLMBERG LAND SURVEYING, LLC 310 W. FRONT ST, SUITE 208 TRAVERSE CITY, MI 49684 TEL: (231) 357-4785 CONTACT: DAVID L. HOLMBERG



### LEGAL DESCRIPTION

TAX DESCRIPTION: PID 05-032-002-15

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS COM NE COR SEC 32 TH S 0°17'30" É 1667.74' FOR POB TH S 0°17'30" E 53.45' TH N 89°18'53" W 500.07' TH S 0°17'30" E 280.04' TH N 89°15'21" W 205.04' TH N 0°17'30" W 332.2' TH S 89°20'38" E 705.1' TO POB EXCEPT US-31/M-37 ROW.

TAX DESCRIPTION: PID 05-032-002-10

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS N1/2 E 705.09' N 1/2 S 1/2 NE 1/4 EXCEPT HWY US 31/M-37 ROW.

LEGAL DESCRIPTION: TRUSTEE'S DEED, DOCUMENT #2012R-14601, GRAND TRAVERSE COUNTY RECORDS

PART OF THE NORTHEAST 1/4 OF SECTION 32, T27N, R11W, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 32; THENCE S 001730" E, 1334.15 FEET ALONG THE EAST LINE OF SECTION 32 AND THE CENTERLINE OF U.S. 31 & M-37 TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST SECTION LINE AND CENTERLINE S 00°17'30" E, 387.04 FEET; THENCE N 89°18'53" W, 500.07 FEET; THENCE S 00°17'30" E, 280.04 FEET; THENCE N 89°15'21" W, 205.04 FEET; THENCE N 00°17'30" W, 665.63 FEET; THENCE S 89°22'24" E, 705.09 FEET TO SAID EAST SECTION LINE AND CENTERLINE AND POINT OF BEGINNING. EXCEPT PARCEL CONVEYED TO THE STATE HIGHWAY COMMISSIONER OF THE STATE OF MICHIGAN IN WARRANTY DEED RECORDED IN LIBER 236, PAGE 374.

	Sheet List Table
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
V0.0	TOPOGRAPHIC SURVEY
C1.0	EX. CONDITIONS & DEMO PLAN
C2.0	SITE PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C4.0	GRADING AND DRAINAGE PLAN
C5.0	STORMWATER PLAN
C6.0	CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES AND DETAILS

# PROFESSIONAL ENGINEER'S CERTIFICATION

, DERIK LEARY, A LICENSED PROFESSIONAL ENGINEER OF MICHIGAN, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF BISH'S RV BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 5TH DAY OF JULY . A.D., 2023.

MICHIGAN LICENSED PROFESSIONAL ENGINEER 6201066961



Kimley » Horn



S 0

ORIGINAL ISSUE: 07/05/2023 KHA PROJECT NO. 268398001

SHEET NUMBER

### **GENERAL NOTES**

EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A DRAWING PREPARED BY:

310 W. FRONT ST. SUITE 208 TRAVERSE CITY, MI 49684 TELE: (231) 357-4785 CONTACT: DAVID L. HOLMBERG

COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.

- COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE THE CONTRACTOR SHALL ORTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.
- 3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE
- 4. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF: A. "STANDARD SPECIFICATIONS FOR CONSTRUCTION," AS PREPARED BY MICHIGAN DEPARTMENT OF
- B. "MICHIGAN ADMINISTRATIVE CODE" AS PUBLISHED BY THE OFFICE OF REGULATOR REINVENTION, DEPARTMENT OF LICENSING AND REGULATOR AFFAIRS, LATEST EDITION.
- C. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE CHARTER TOWNSHIP OF GARFIELD, UNLESS OTHERWISE NOTED ON THE PLANS.
- D. THE NATIONAL ELECTRIC CODE.

TRANSPORTATION, LATEST EDITION.

- E. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.
- STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF TTHE CONTRACTOR'S CONTRACT.
- 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS. SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER MMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, THE CONTRACTOR MUST MMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND
- THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN OF MICHIGAN, INC, THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S)
- THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 10. CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY. 11. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTO SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE
- 12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS.

CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

- 13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 14. NOTIFICATION OF COMMENCING CONSTRUCTION:
- 14.1. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE CHARTER TOWNSHIP OF GARFIELD, AND THE OWNER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
- 14.2. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE
- 15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS DIRECTED BY THE CITY
- 16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- 17 ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER MDOT SECTION 201.05. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS. BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE
- 18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- 19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL. 20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE
- UNLESS A PAY ITEM IS LISTED ON THE BID LIST. 21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH

PRIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT

22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE

HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING

- ON THE SITE IS NOT PERMITTED. 23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE CHARTER TOWNSHIP OF GARFIELD. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE CHARTER TOWNSHIP OF GARFIELD PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE,
- AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY. 24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF TH STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY. BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL, AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF HE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING LITHLITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL MISS DIG SYSTEM, INC. (1-800-482-7171) AND THE CHARTER TOWNSHIP OF GARFIELD FOR UTILITY LOCATIONS

CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.

- 26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL
- 28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

- 29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE CITY UPON FINAL INSPECTION OF THE PROJECT.
- O. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING. OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.
- ALL UTILITIES INSTALLED WITHIN THE MDOT RIGHT-OF-WAY SHALL BE BACKFILLED WITH FLOWABLE FILL "CONTROLLED, LOW-STRENGTH MATERIAL, BACKFILL" WITHIN THE RIGHT-OF-WAY, MEETING MDOT
- 33. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL-COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING.
- 4. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER
- 5. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
- 36. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. 7. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DEQ REGULATIONS AND MDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY TH CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER. HAS DEVELOPED.
- B. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS.
- ). THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY TO KEEP A SWEEPER ON-SITE AT ALL TIMES. O. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION

CONDITIONS WITH A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER MDOT

- 1. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED
- 2. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- -3. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS. 4. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL
- IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER. 45. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE CHARTER TOWNSHIP OF GARFIELD, AS

### **EARTHWORK NOTES**

NECESSARY.

GENERAL

- .1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS
- 1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.
- 1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.
- 4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF, FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.
- . THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION ANI SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS.
- 1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE. THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.
- 1.7. EXISTING SUBSURFACE CONDITIONS WERE OBTAINED FROM A GEOTECHNICAL PREPARED BY:

### 17515 W 9 MILE ROAD SOUTHFIELD, MI 48075

MISCELLANEOUS. THE CONTRACTOR SHALL:

- TOPSOIL EXCAVATION INCLUDES:
- EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.
- 2.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.
- .3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.
- 2.4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING THREE (3) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.
- 2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS. EARTH EXCAVATION INCLUDES:
- 3.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.
- 3.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED
- 6.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE
- 3.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.
- UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER.
- 5.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.
- 2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.
- 5.3. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
- 5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL.
- 6.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.

AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE ENGINEER AND THE OWNER. (SEE PAVING

6.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX—WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER

### **PAVING NOTES**

- PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL
- .2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)]: SUBGRADE = 93%; SUBBASE = 95%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = 95% OF MAXIMUM

DENSITY, PER MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) HIGHWAY STANDARDS.

- 1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE CHARTER TOWNSHIP OF GARFIELD
- SUBGRADE PREPARATION
- 2.1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.
- 2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF—ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING
- 2.2.1. SCARIFY, DISC, AND AERATE.
- 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.
- 2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL.
- 2.2.4. USE OF GEOTEXTILE FABRIC. MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.
- 2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.
- 2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING

FLEXIBLE PAVEMENT

- 3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 4,200 PSI COMPRESSIVE STRENGTH AT 28 DAYS . ÀLL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- 3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE—MOLDED FIBER EXPANSION JOINTS, WITH TWO 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES
- 3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE MICHIGAN BUILDING CODE AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.
- 3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF
- 3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 50-FOOT INTERVALS AND ADJACENT TO CONCRÉTE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES.
- 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER MDOT STANDARDS. TWO (2) COATS OF MDOT APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES.
- 3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.
- I.1. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, MDOT 22A (OR SIMILAR), BITUMINOUS CONCRETE LEVELING COURSE, MDOT 13A; AND BITUMINOUS CONCRETE SURFACE COURSE, MDOT 13A, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.
- 4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE LEVELING COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE MDOT
- 4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE LEVELING COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE LEVELING COURSE, BASE, OR CURB CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION O THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER MDOT STANDARDS.
- 4.4. SEAMS IN BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES. TESTING AND FINAL ACCEPTANCE.
- 5.1. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE ENGINEER. 5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN
- REQUIRED BY THE CHARTER TOWNSHIP OF GARFIELD, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION. 5.3. WHEN REQUIRED BY THE CHARTER TOWNSHIP OF GARFIELD, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE
- ADJUSTED FOR BY THE METHOD REQUIRED BY MDOT STANDARDS. 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.
- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CHARTER TOWNSHIP OF GARFIELD. WHEN CONFLICTS ARISE BETWEEN CITY CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT

### SIGNAGE AND PAVEMENT MARKING NOTES

- . ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT)
- . SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080—INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD. . POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT SUCH AS A TYPE B METAL POST, AS PER THE MDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE).
- . SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH MDOT STANDARDS 5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC HOT ROLLED INTO PAVEMENT.
- 6. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH MOOT STANDARDS. . COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND
- LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE. . THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.

### **DEMOLITION NOTES**

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.

CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL

LOCAL. STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING MDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND
- FLAGMEN MAY BE ALSO NECESSARY CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS
- SPECIFICALLY MENTIONED ON THIS SHEET. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL
- PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR TO REFER TO OWNER PROVIDED PHASE I ENVIRONMENTAL SITE ASSESSMENT AND ASBESTOS REPORT FOR SITE SPECIFIC CONDITIONS AND
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS . EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION. REFER
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. SEE ARCHITECTURAL DRAWINGS FOR LIMITS AND PROPER DEMOLITION OF EXISTING BUILDING. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK.

DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:

- · BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR

CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL

- 2. <u>DISPOSAL OF DEMOLISHED MATERIALS</u> REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED
- STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER. LANDSCAPE PROTECTION AND REMOVAL - SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.
- . <u>UTILITY SERVICES</u> EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES REFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FA-1 OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (FLECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S
- I. <u>UTILITY PROTECTION</u> UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL "MISS DIG" (1—800—482—7171) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE PROBERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES MMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAL UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 41 HOURS BEFORE CONSTRUCTION COMMENCES.
- . <u>POLLUTION CONTROLS</u> USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.

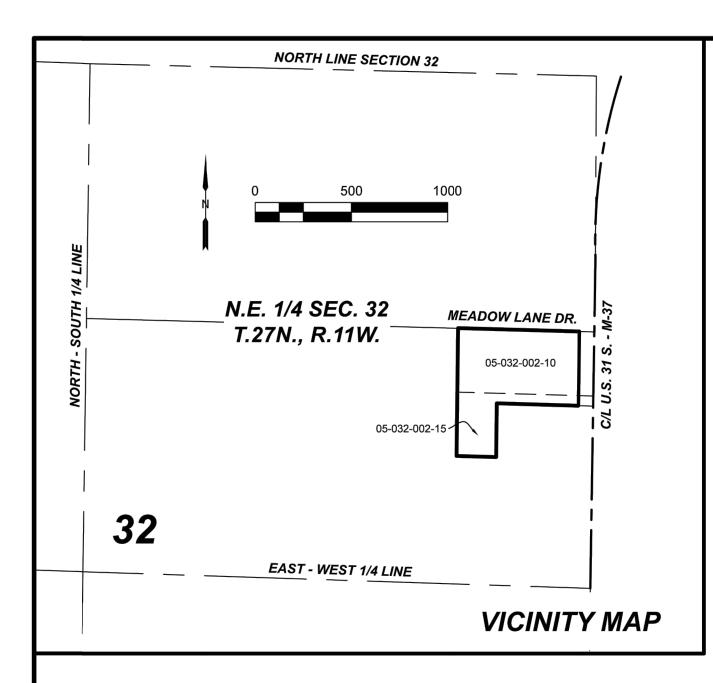


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ORIGINAL ISSUE: 07/05/2023 KHA PROJECT NO 268398001

SHEET NUMBER



### **TAX DESCRIPTION: PID 05-032-002-15**

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS COM NE COR SEC 32 TH S 0\*17'30" E 1667.74' FOR POB TH S 0\*17'30" E 53.45' TH N 89\*18'53" W 500.07' TH S 0\*17'30" E 280.04' TH N 89\*15'21" W 205.04' TH N 0\*17'30" W 332.2' TH S 89\*20'38" E 705.1' TO POB EXCEPT US-31/M-37 ROW.

### TAX DESCRIPTION: PID 05-032-002-10

PART NE1/4 SEC 32 T27N R11W DESCRIBED AS N1/2 E 705.09' N 1/2 S 1/2 NE 1/4 EXCEPT HWY US 31/M-37 ROW.

LEGAL DESCRIPTION: TRUSTEE'S DEED, DOCUMENT # 2012R-14601, GRAND TRAVERSE COUNTY RECORDS

Part of the Northeast 1/4 of Section 32, T27N, R11W, Garfield Township, Grand Traverse County, Michigan, more fully described as follows:

Commencing at the Northeast corner of Section 32; thence S 00°17'30" E, 1334.15 feet along the East line of Section 32 and the Centerline of U.S. 31 & M-37 to the point of beginning; thence continuing along said East Section line and Centerline S 00°17'30" E, 387.04 feet; thence N 89°18'53" W, 500.07 feet; thence S 00°17'30" E, 280.04 feet; thence N 89°15'21 "W, 205.04 feet; thence N 00°17'30" W, 665.63 feet; thence S 89°22'24" E, 705.09 feet to said East Section line and Centerline and Point of Beginning. Except parcel conveyed to the State Highway Commissioner of the State of Michigan in Warranty Deed recorded in Liber 236, page 374.

### **SURVEY NOTES:**

PARCEL NO. 05-032-002-10, 05-032-002-15

ADDRESS: 705 S US-31 NORTH TRAVERSE CITY, MI 49685

SETBACKS ACCORDING TO C-G DISTRICT, GARFIELD ZONING ORDNANCE FRONT: 40' SIDE & REAR: 10% OF WIDTH NO MORE THAN 25', NO LESS THAN 10'

MAX BUILDING HEIGHT: 35' **MINIMUM BUILDING WIDTH: 24'** 

### **VERTICAL DATUM USED IS NAVD88**

THE BEARINGS AND DISTANCES SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.

THERE MAY BE OTHER EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD NOT SHOWN.

THE PAVEMENT SHOWN HEREON IS APPROXIMATE DUE TO SNOW COVERAGE.

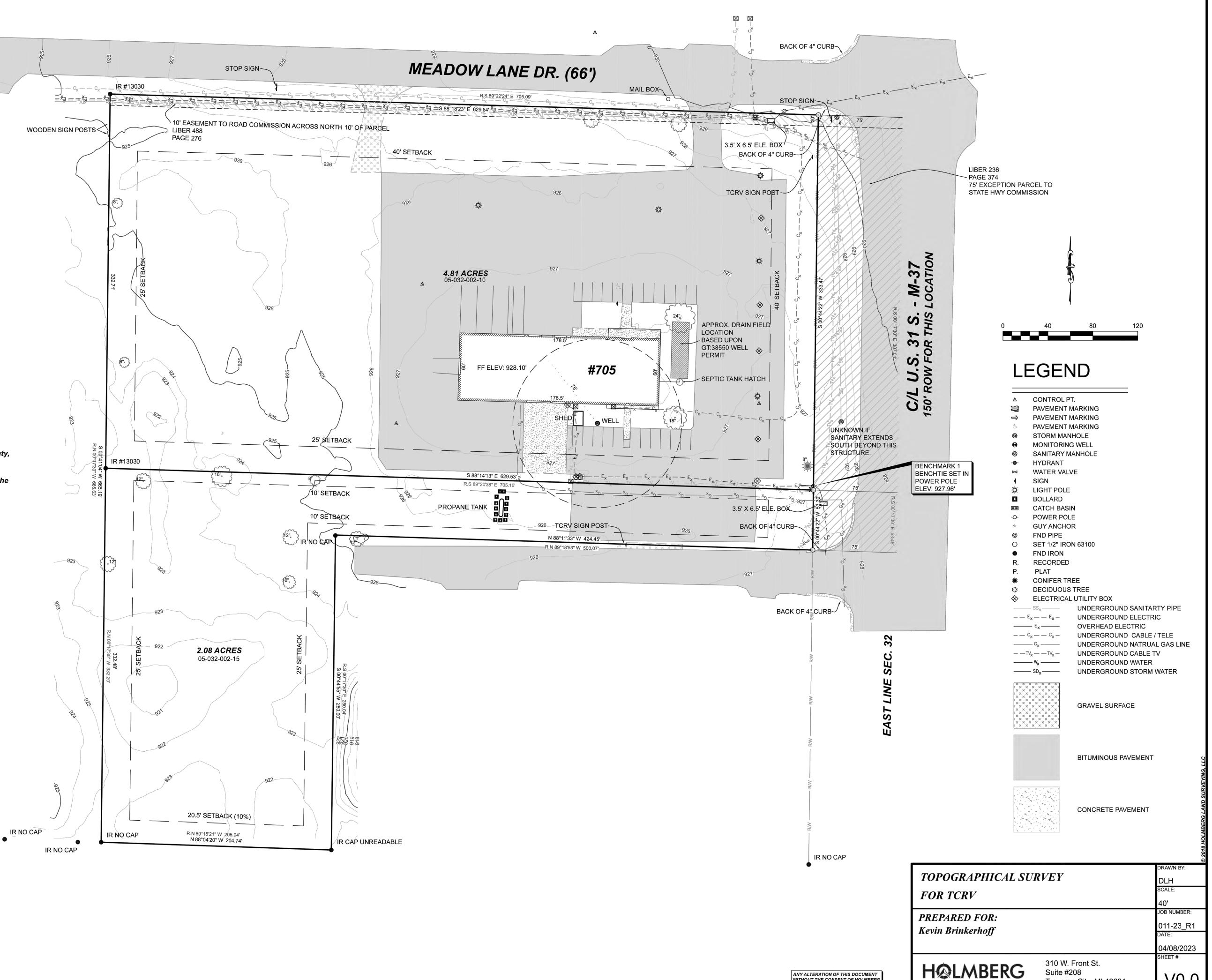
MEASURED BEARINGS AND DISTANCES ARE BASED UPON S.P.C. NAD83(2011), DISTANCES ARE INTERNATIONAL FT.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PROFESSIONAL SURVEYOR

No. 、4001063100 /

Professional Land Surveyor, #63100, under the laws of the State of Michigan, have surveyed and mapped the land described above.



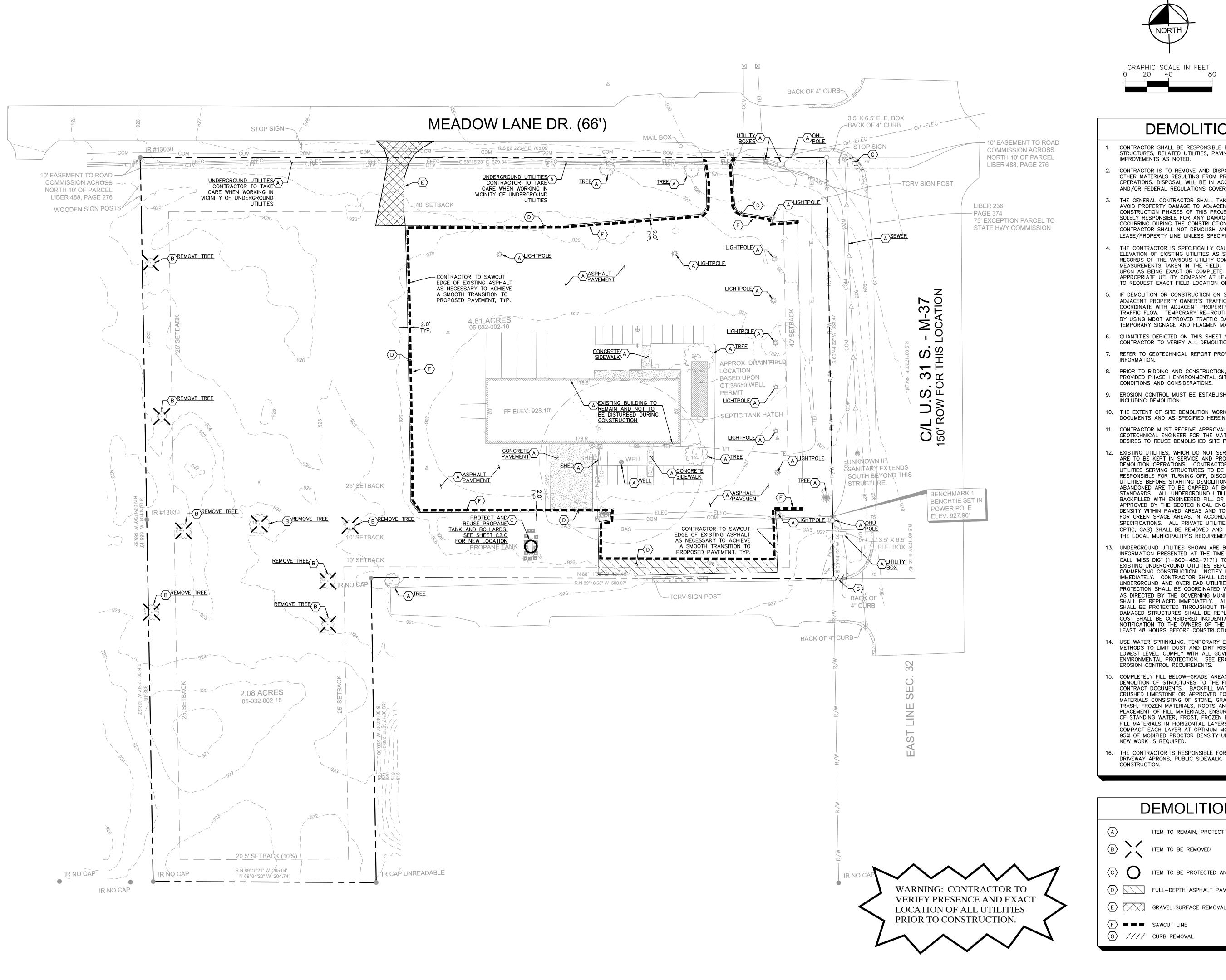
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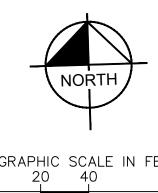
LAND SURVEYING, LLC IS PROHIBITED.

Traverse City, MI 49684

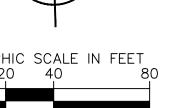
231-357-4785

LAND SURVEYING, LLC









# **DEMOLITION NOTES**

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- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 5. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING MDOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- 6. QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.
- 8. PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR TO REFER TO OWNER PROVIDED PHASE I ENVIRONMENTAL SITE ASSESSMENT FOR SITE SPECIFIC CONDITIONS AND CONSIDERATIONS.
- 9. EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION.
- 10. THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN.
- 11. CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.
- 12. EXISTING UTILITIES. WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED. ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR SHALL ARRANGE FOR SHUT-OFF OF UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO E ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED PER CITY STANDARDS. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS. IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.
- 13. UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL 'MISS DIG" (1-800-482-7171) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.
- 14. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO TH LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.
- 15. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINAL LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE MDOT APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.
- 16. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING DRIVEWAY APRONS, PUBLIC SIDEWALK, AND CURBS THAT TAKES PLACE DURING CONSTRUCTION.

### **DEMOLITION LEGEND**

ITEM TO BE REMOVED

ITEM TO REMAIN, PROTECT DURING CONSTRUCTION

ITEM TO BE PROTECTED AND REUSED

(D) FULL-DEPTH ASPHALT PAVEMENT REMOVAL

 $\langle F \rangle = = = SAWCUT LINE$ 

Kimley » Horn
of Michigan, Inc.

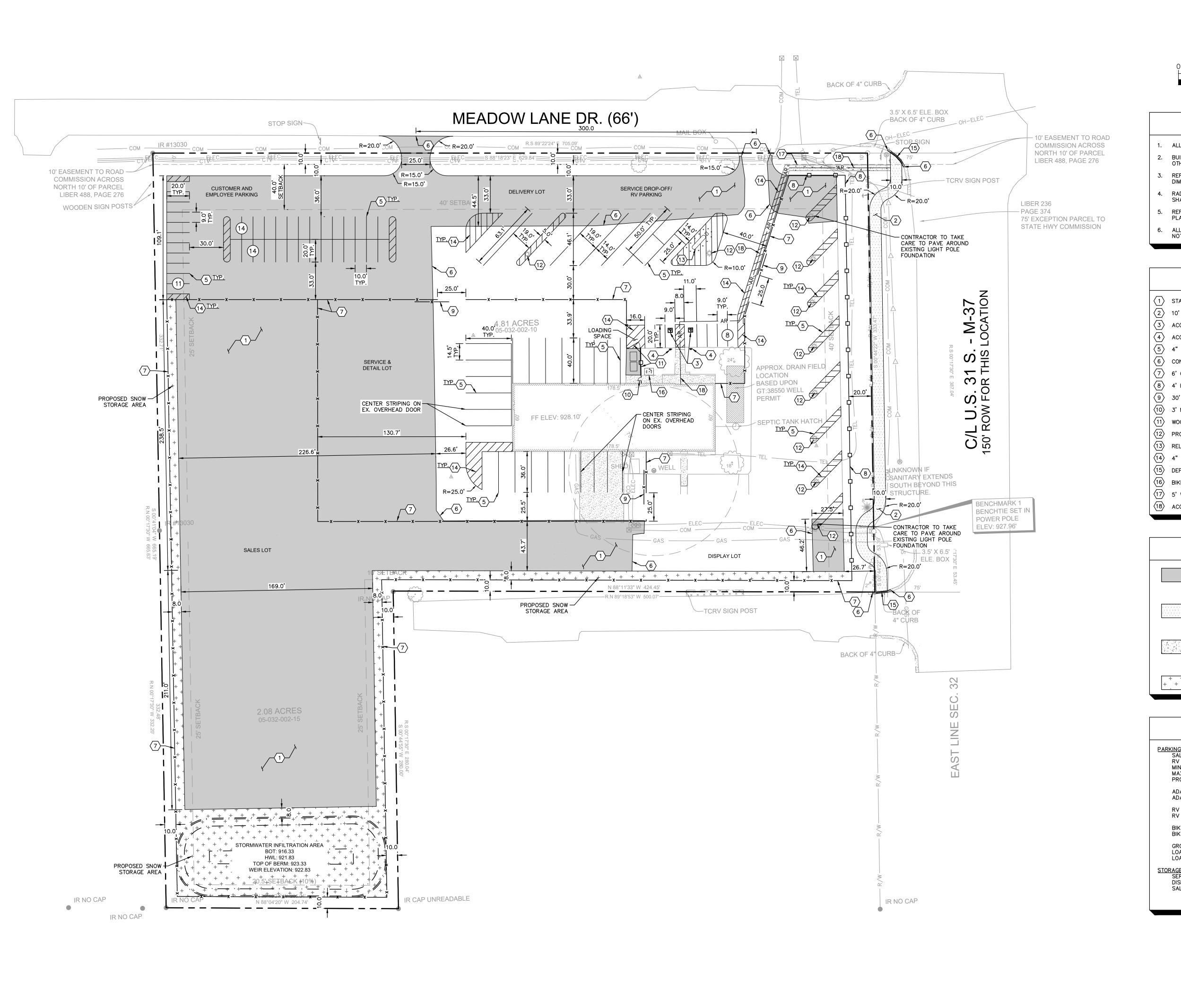


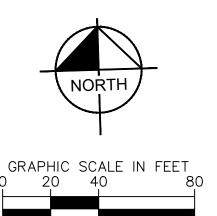
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# GENERAL NOTES

- 1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE

## **KEY NOTES**

- 1 STANDARD DUTY ASPHALT PAVEMENT (SEE DETAILS)
- $\langle 2 \rangle$  10' WIDE ASPHALT MULTI-USE PATH (SEE DETAILS)
- $\langle 3 \rangle$  ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- (5) 4" WIDE PAINTED SOLID YELLOW LINE, TYP.
- 6 CONNECT TO EXISTING PAVEMENT, SIDEWALK, TYP.
- $\langle 7 \rangle$  6' CHAIN LINK FENCE, TYP.
- (8) 4' IRON FENCE, TYP.
- 9 30' MANUAL CANTILEVER GATE (CHAIN LINK)
- $\langle 10 \rangle$  3' MAN GATE, TYP.
- (11) WOOD TRASH ENCLOSURE FENCE WITH 9' SWING GATE 12 PROTECT EXISTING SITE LIGHT
- 13) RELOCATION OF EXISTING PROPANE TANK AND BOLLARDS
- (14) 4" WIDE PAINTED SOLID YELLOW LINE, 45 DEGREES, 3 FT ON CENTER
- 15) DEPRESSED CURB AND GUTTER (MATCH EXISTING WIDTH)
- (16) BIKE RACK (SEE DETAILS)
- (17) 5' WIDE CONCRETE SIDEWALK (SEE DETAILS)
- 18 ACCESSIBLE ROUTE

# PAVING LEGEND

STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

10' WIDE MULTI-USE PATH
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

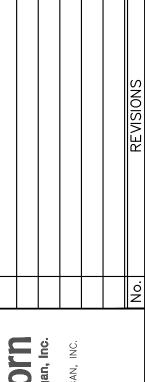
CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION

PROPOSED SNOW STORAGE AREA

## PARKING SUMMARY

PARKING PROVIDED
SALES FLOOR AREA RV SERVICE STALLS = 4 STALLS = 20 SPACES = 37 SPACES MINIMUM REQUIRED PASSENGER PARKING MAXIMUM REQUIRED PASSENGER PARKING PROVIDED PASSENGER VEHICLE PARKING = 47 SPACES = 2 SPACES = 2 SPACES ADA PARKING REQUIRED ADA PARKING PROVIDED RV DELIVERY PARKING = 4 SPACES RV SERVICE DROP-OFF PARKING = 7 SPACES BIKE PARKING REQUIRED = 4 SPACES = 4 SPACES BIKE PARKING PROVIDED GROSS FLOOR AREA =12,489 SF = 1 SPACE = 1 SPACE LOADING SPACES REQUIRED LOADING SPACES PROVIDED STORAGE PROVIDED
SERVICE & DETAIL = 49 SPACES = 38 SPACES DISPLAY LOT SALES LOT = 121 SPACES TOTAL STORAGE STALLS PROVIDED = 208 SPACES

> SNOW STORAGE: TOTAL PAVING AREA: 222,800 SF SNOW STORAGE REQUIRED: 22,280 SF SNOW STORAGE PROVIDED: 23,000 SF



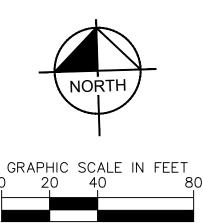
**Kimley** » Horn



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- 1. CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING, DRAINAGE SYSTEM STRUCTURE, OR LANDSCAPING.
- 3. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- 4. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- 5. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN
- 6. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE REVIEWING ENGINEER, ENVIRONMENTAL SPECIALIST, OR ARBORIST AS APPROPRIATE. MAJOR REVISIONS MUST BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT AND THE DRAINAGE UTILITY DEPARTMENT. MINOR CHANGES OR ADDITIONAL CONTROL MEASURES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE ENVIRONMENTAL INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES AT NO ADDITIONAL COST TO THE OWNER.
- 7. CONTRACTOR SHALL PLACE EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150BN OR APPROVED EQUAL) ON ALL SITE AREAS WITH SLOPES GREATER THAN 4:1, AND IN THE BOTTOM AND SIDE SLOPES OF ALL SWALES.
- 8. PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- 9. PERMANENT, FINAL PLANT COVERING OR STRUCTURES SHALL BE INSTALLED PRIOR TO FINAL ACCEPTANCE.
- 10. ALL CONTROL DEVICES THAT FUNCTION SIMILARLY TO SILT FENCE OR FIBER ROLLS MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WITH EFFECTIVE CONTROLS WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE—THIRD THE HEIGHT OF THE DEVICE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF THE RAINFALL EVENT OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
- 11. ALL SEDIMENT DELTAS AND DEPOSITS MUST BE REMOVED FROM SURFACE WATERS, DRAINAGE WAYS, CATCH BASINS AND OTHER DRAINAGE SYSTEMS. ALL AREAS WHERE SEDIMENT REMOVAL RESULTED IN EXPOSED SOIL MUST BE RESTABILIZED. THE REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS AFTER THE RAINFALL EVENT UNLESS PRECLUDED BY LEGAL, REGULATORY OR PHYSICAL ACCESS CONSTRAINTS. ALL REASONABLE EFFORTS MUST BE USED TO OBTAIN ACCESS. ONCE ACCESS IS OBTAINED, REMOVAL AND STABILIZATION MUST TAKE PLACE IMMEDIATELY, BUT NO MORE THAN 7 DAYS LATER. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL APPROPRIATE AUTHORITIES AND RECEIVING THE APPLICABLE PERMITS PRIOR TO CONDUCTING ANY WORK.
- 12. ACCUMULATIONS OF TRACKED AND DEPOSITED SEDIMENT MUST BE REMOVED FROM OFF—SITE PAVED SURFACES WITHIN 24 HOURS OR SOONER IF REQUIRED. SEDIMENT TRACKING MUST BE MINIMIZED BY THE APPROPRIATE MANAGEMENT PRACTICE, LIKE A DEDICATED SITE EXIT WITH AN AGGREGATE SURFACE OR DESIGNATED OFFSITE PARKING AREA. CONTRACTOR IS RESPONSIBLE FOR STREET SWEEPING AND/OR SCRAPING IF YOUR PRACTICES ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED FROM THE SITE.
- 13. SURFACE WATERS, DRAINAGE DITCHES AND CONVEYANCE SYSTEMS MUST BE INSPECTED FOR SEDIMENT DEPOSITS.
- 14. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS SHEET.
- 15. PUMPING SEDIMENT LADEN WATER INTO ANY STORMWATER FACILITY THAT IS NOT DESIGNATED TO BE A SEDIMENT TRAP, DRAINAGEWAY, OR OFFSITE AREA EITHER DIRECTLY OR INDIRECTLY WITHOUT FILTRATION IS PROHIBITED.
- 16. SOIL STOCKPILES SHALL NOT BE LOCATED IN A DRAINAGEWAY, FLOOD PLAIN AREA OR A DESIGNATED BUFFER, UNLESS OTHERWISE APPROVED, UNDER SPECIFIC CONDITIONS TO BE ESTABLISHED BY THE DIRECTOR OR
- 17. STOCKPILES TO REMAIN IN PLACE FOR MORE THAN THREE DAYS SHALL BE PROVIDED WITH SESC MEASURES. MATERIAL IS TO BE HAULED OFF IMMEDIATELY AND LEGALLY IF NO STOCKPILE IS TO REMAIN IN PLACE.
- 18. ALL TEMPORARY SESC MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL STABILIZATION IS ACHIEVED.TRAPPED SEDIMENT AND OTHER DISTURBED SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.
- 19. WATER REMOVED FROM TRAPS, BASINS, AND OTHER WATER HOLDING DEPRESSIONS OR EXCAVATIONS MUST FIRST PASS THROUGH A SEDIMENT CONTROL AND/OR FILTRATION DEVICE. WHEN DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION.
- 20. SITE STABILIZATION REQUIREMENTS ARE AS FOLLOWS:
- 20.1. WHERE THE INITIATION OF STABILIZATION MEASURE BY THE <u>7TH DAY</u> AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.
- 20.2. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

SNOISINA

Kimley >> Horn of Michigan, Inc. of Outherleld, MI 48075 HORE: 313–572–1560 WW.KIMLEY—HORN.COM

DRAWN BY: TW/JC CHECKED BY: TRE



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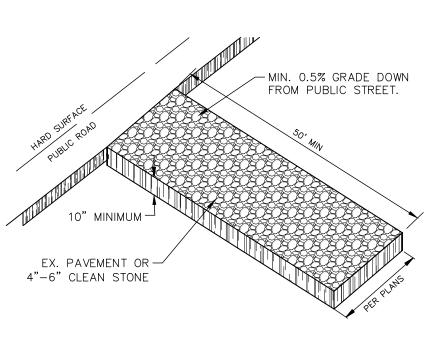
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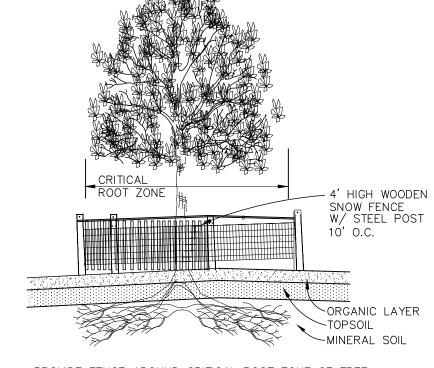
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CONSTRUCTION ENTRANCE N.T.S.

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE. FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND FOR INDIVIDUAL TREES OR STANDS

### TREE PROTECTION

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	ост.	NOV.	DEC.
PERMANENT SEEDING			<u>A</u>			*	*					
DORMANT SEEDING	В		<b></b>								В	-
TEMPORARY SEEDING			<u>C</u>				D		-			
SODDING			<u>E</u> **						-			
MULCHING	F											-

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE

LBS/ACRE MIXED WITH PERENNIAL

RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE

B KENTUCKY BLUEGRASS 135

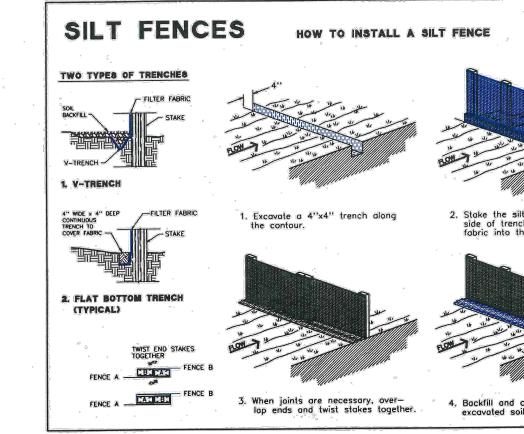
- C SPRING OATS 100 LBS/ACRE D WHEAT OR CEREAL RYE 150 LBS/ACRE
  - \*\* WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

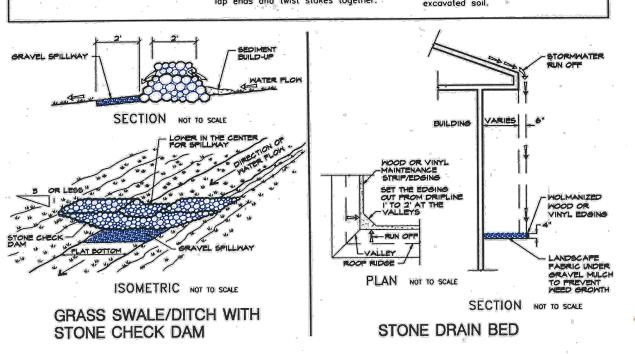
\* WATERING NEEDED DURING JUNE AND JULY

# **SEEDING CHART**

F STRAW MULCH 2 TONS/ACRE

# Commonly Used Erosion Controls





- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
   BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP—SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
   ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURES RECOMMENDATION.
   THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
   CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED FND OVER END (SHINGLE STYLE) WITH AN APPROXIMATE

- 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. 6. PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.
- 2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION. 3. PERVIOUS LAND WITH SLOPES RUNNING GREATER THAN OR EQUAL TO 4:1 SHALL CONTAIN SLOPE STABILIZATION BLANKET

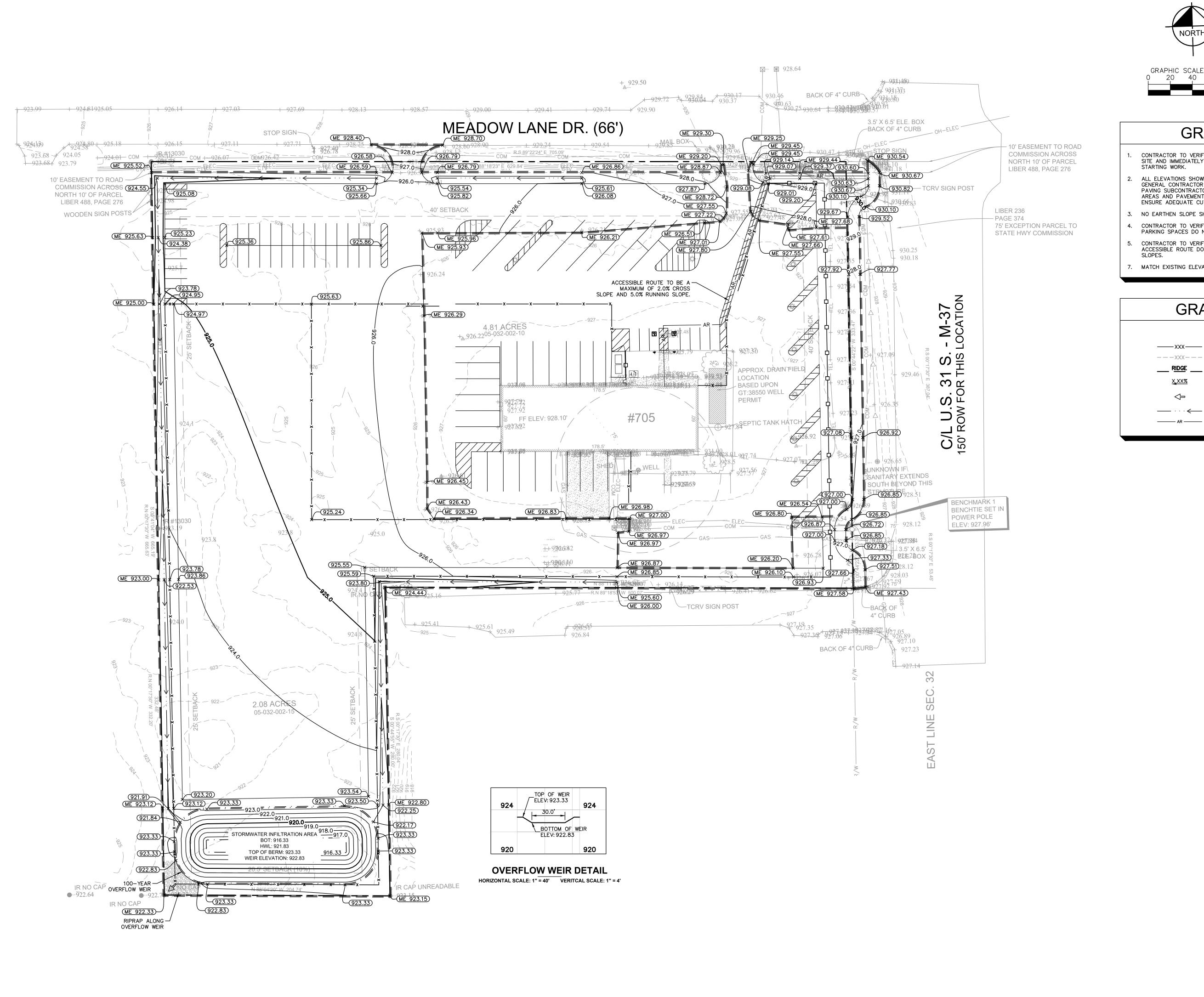
### **EROSION CONTROL BLANKET (SLOPE INSTALLATION)**

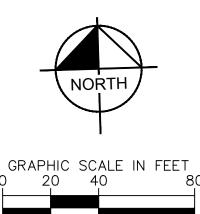
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# **GRADING NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- CONTRACTOR TO VERIFY THAT EXISTING PAVEMENT SLOPES WITHIN THE ADA
- CONTRACTOR TO VERIFY THAT EXISTING PAVEMENT SLOPES ALONG THE ACCESSIBLE ROUTE DO NOT EXCEED 5% RUNNING SLOPES AND 2% CROSS

ME = MATCH ELEVATIONEXISTING CONTOUR RIDGE LINE

SLOPE AND FLOW DIRECTION DETENTION BASIN 100-YEAR EMERGENCY OVERFLOW ROUTE

ACCESSIBLE ROUTE

SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR STARTING WORK.

PARKING SPACES DO NOT EXCEED 2.0% IN ANY DIRECTIONS.

MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

**GRADING LEGEND** 

PROPOSED CONTOUR

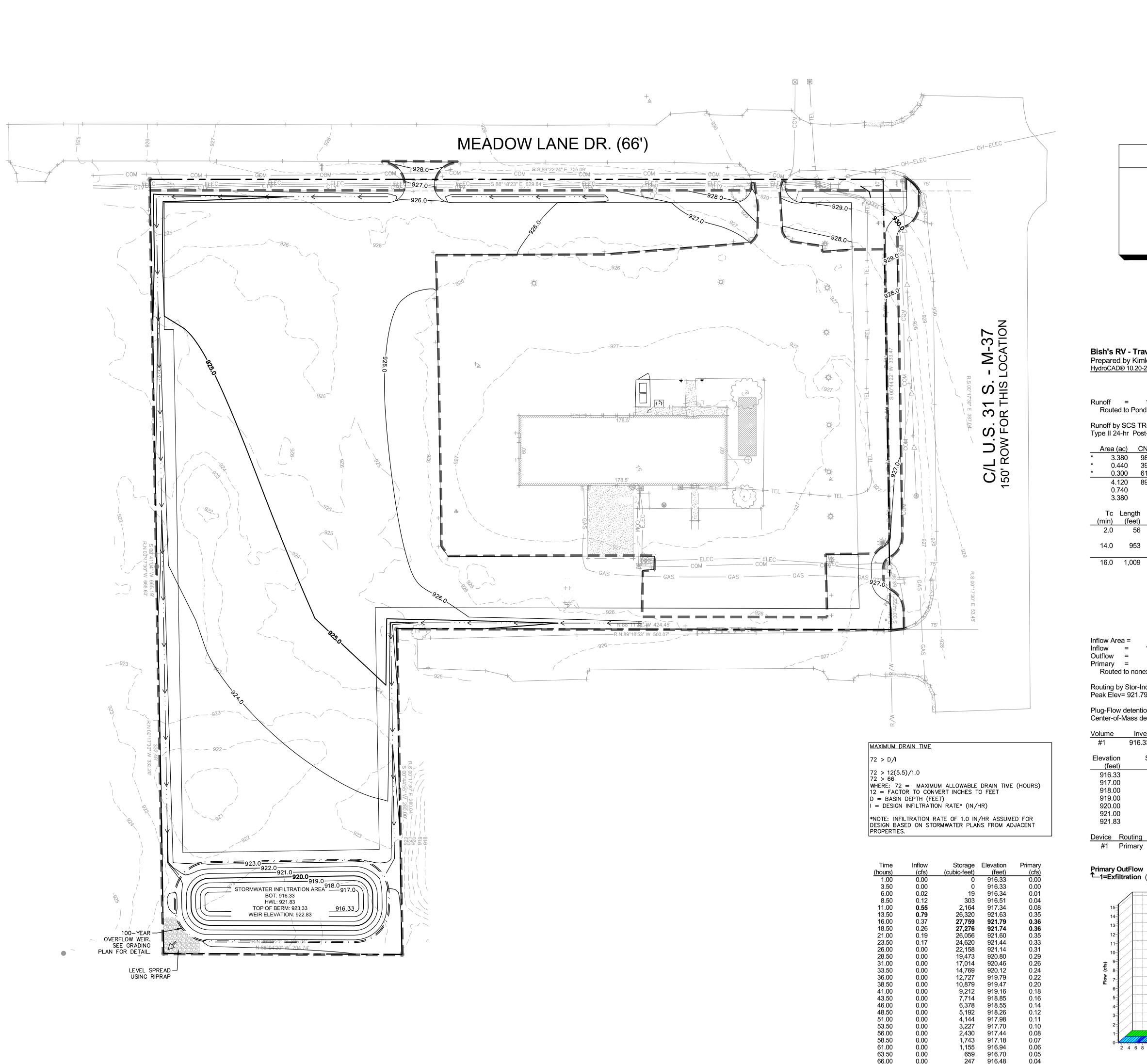
PROPOSED SWALE

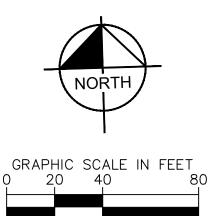
**Kimley** » Horn

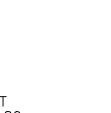
AND PLAN

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# STORMWATER LEGEND

OTOTAIN LEGEND					
———XXX———	PROPOSED CONTOUR				
$\times\times\times$	EXISTING CONTOUR				
<b>\</b>	INFILTRATION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE				
··	PROPOSED SWALE				
	LIMITS OF DISTURBANCE				

Bish's RV - Traverse City, MI

Type II 24-hr Post-Dev 25-yr Rainfall=3.89"

Prepared by Kimley-Horn & Associates
HydroCAD® 10.20-2b s/n 02344 © 2021 HydroCAD Software Solutions LLC

Summary for Subcatchment 1S: Post-Dev

Runoff = 13.69 cfs @ 12.08 hrs, Volume= Routed to Pond 3P : Infiltration Basin

0.934 af, Depth= 2.72"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs Type II 24-hr Post-Dev 25-yr Rainfall=3.89"

	Area (ac)	CN	Description
*	3.380	98	Pavement Area
*	0.440	39	Open space - good condition - Type A soil
*	0.300	61	Open space - good condition - Type B Soil
	4.120	89	Weighted Average
	0.740		17.96% Pervious Area
	3 380		82 04% Impervious Area

Tc Length Slope Velocity Capacity Description Sheet Flow, Parking Lot Sheet Flow 56 0.0030

Smooth surfaces n= 0.011 P2= 2.09" Shallow Concentrated Flow, 14.0 953 0.0050 1.14 Unpaved Kv= 16.1 fps

## Summary for Pond 3P: Infiltration Basin

4.120 ac, 82.04% Impervious, Inflow Depth = 2.72" for Post-Dev 25-yr event 13.69 cfs @ 12.08 hrs, Volume= 0.934 af 0.36 cfs @ 16.06 hrs, Volume= 0.934 af, Atten= 97%, Lag= 238.7 min Outflow = 0.36 cfs @ 16.06 hrs, Volume= 0.934 af Primary =

Routed to nonexistent node 4R

68.50

71.00

0.00

916.34

0 916.33

10

0.00

0.00

Routing by Stor-Ind method, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs
Peak Elev= 921.79' @ 16.06 hrs Surf.Area= 9,110 sf Storage= 27,759 cf

Plug-Flow detention time= 1,013.0 min calculated for 0.934 af (100% of inflow) Center-of-Mass det. time= 1,013.0 min (1,822.7 - 809.7)

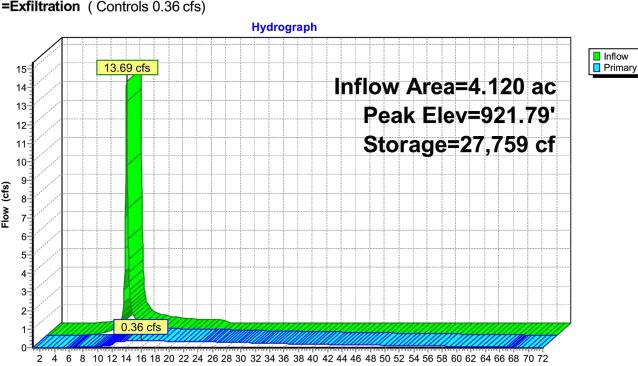
Volume	Invert	Avail.St	torage	Storage Description		
#1 916.33' 28,091 cf		091 cf	Custom Stage Data (Conic) Listed below (Recalc)			
Elevation (feet)		Area sq-ft)		:.Store c-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
916.33 917.00		1,566 2,330		0 1,297	0 1,297	1,566 2,337

916.33' 1.000 in/hr Exfiltration over Wetted area

3,554 2,921 4,217 4,920 4,878 4,199 8,416 6,303 5,575 13,991 6,369 7,829 7,052 21,043 7,924 9,171 7,048 28,091 9,293 Invert Outlet Devices

Conductivity to Groundwater Elevation = 913.00'

Primary OutFlow Max=0.36 cfs @ 16.06 hrs HW=921.79' (Free Discharge)
1=Exfiltration (Controls 0.36 cfs)



**Kimley** » Horn

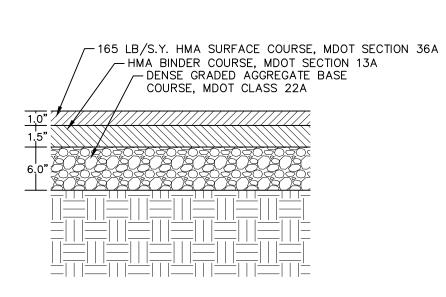
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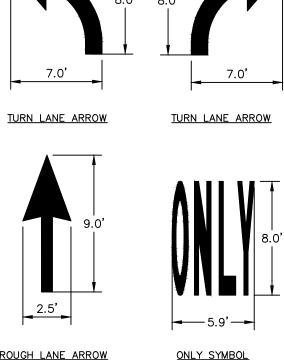
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- NOTE: PROCTOR MAXIMUM DRY DENSITY
- PROPOSED PAVEMENT SECTION PROVIDED PER CLIENT 2. SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK-COAT REQUIREMENTS.

STANDARD DUTY **ASPHALT PAVEMENT SECTION** 

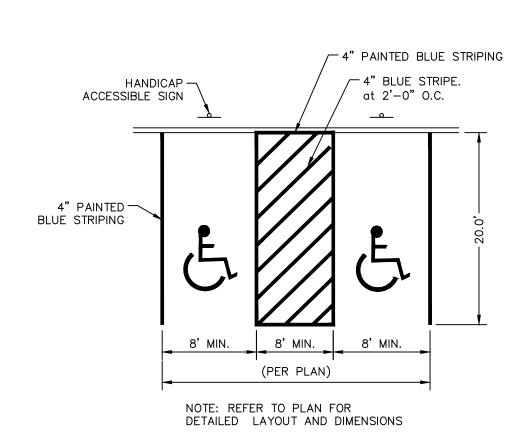


**MULTI-USE PATH ASPHALT PAVEMENT SECTION** 

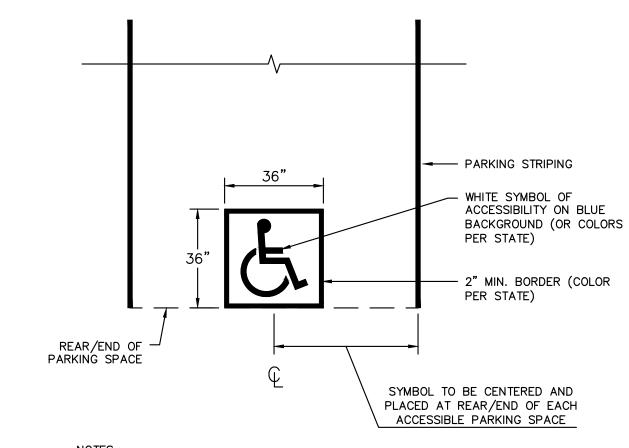


THROUGH LANE ARROW ONLY SYMBOL NOTE: ALL TRAFFIC FLOW ARROWS TO BE PAINTED PER STATE DOT STANDARDS PER DIMENSIONS ABOVE.

TRAFFIC FLOW ARROW

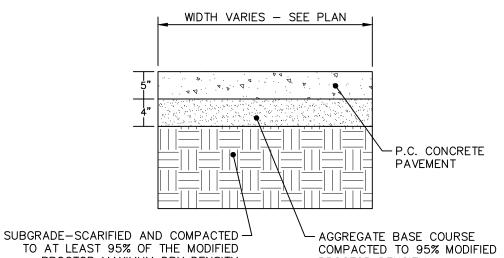


TYPICAL HANDICAP STRIPING



1. PAVEMENT MARKING STROKE WIDTH = 2" MINIMUM 2. CONTRACTOR SHALL ONLY PAINT IN SYMBOL OF ACCESSIBILITY IN PARKING SPACES DESIGNATED WITH ADA PARKING SIGNS.

**ACCESSIBLE PARKING SYMBOL** N.T.S.



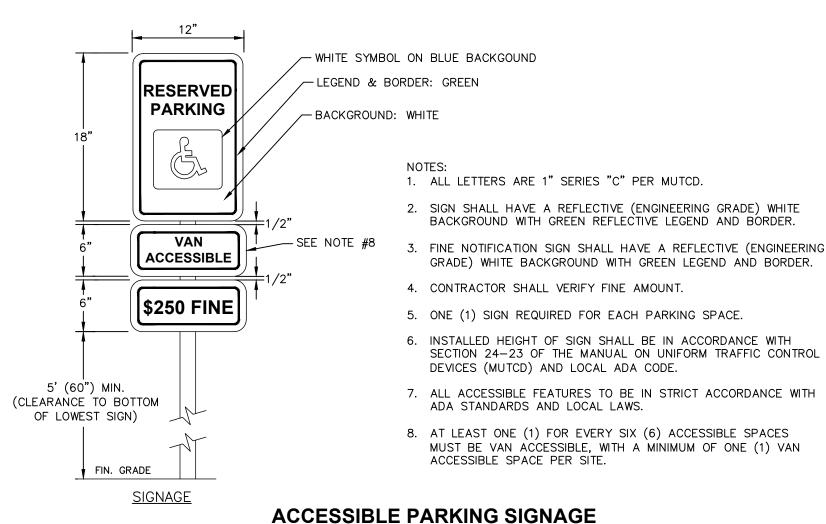
TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY PROCTOR DENSITY 1. PROVIDE 1/2" EXPANSION JOINTS AT 20', MAXIMUM, SPACING AND FILLED WITH

- JOINTS SHALL HAVE #4 DOWELS, LUBRICATED, 18" LONG, AT 12" CENTERS, 6" FROM 2. PROVIDE 3/8" GROOVED CONTROL JOINTS AT 5' CENTERS.
- 3. WELDED WIRE FABRIC (6X6-6X6) SHALL BE INSTALLED THROUGH DRIVEWAYS AT 2"

PREMOLDED BITUMINOUS EXPANSION JOINT FILLER MATERIAL OR REDWOOD. EXPANSION

- 4. PROVIDE 1/2" BITUMINOUS EXPANSION JOINT FILLER MATERIAL WHERE WALK ABUTS EXISTING IMPROVEMENTS AND AT ALL CHANGES IN GRADE 5. USE 2-#4 REINFORCING BARS, 10' LONG OVER ALL UTILITY TRENCHES FOR NEW
- SIDEWALK AND CONNECTIONS TO EXISTING SIDEWALK. 6. AT DRIVE APPROACHES, SIDEWALK PCC AND BASE THICKNESS SHALL MATCH THAT OF THE DRIVE.

**CONCRETE SIDEWALK** 



HERE "U"-CHANNEL POST -(3 LBS./FT.) WHEN SIGN IS IN PAVED AREAS, USE -6" PIPE BOLLARD FILLED W/ CONCRETE AND PAINTED TRAFFIC YELLOW DO NOT USE BOLLARD IN GRASS SLOPE TOP -OF CONCRETE GROUND SURFACE PC CONCRETE —

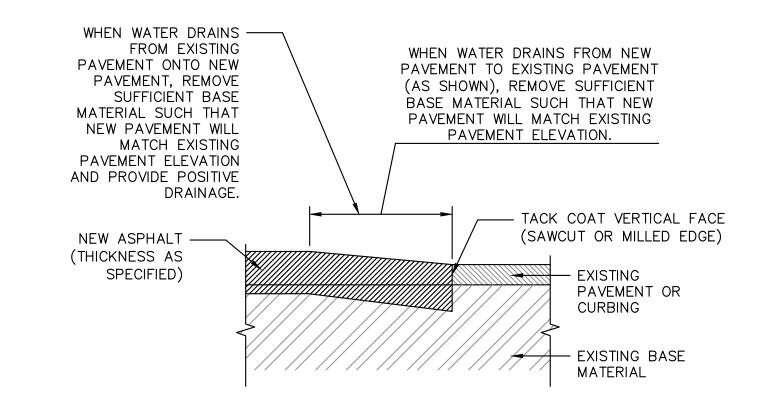
POLE AND SIGN TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

STANDARD SIGN BASE

N.T.S.

BUTT JOINTS ARE TO BE USED IN AREAS WHERE THE PROPOSED ASPHALT SECTION IS THICKER THAN THE EXISTING ASPHALT SECTION AND A PORTION OF THE EXISTING BASE MATERIAL MUST BE REMOVED TO ALLOW THE PROPOSED ASPHALT SECTION TO BE MAINTAINED TO PREVENT DRAINAGE OBSTRUCTION WHEN TYING INTO ADJACENT PAVEMENTS OR STRUCTURES.

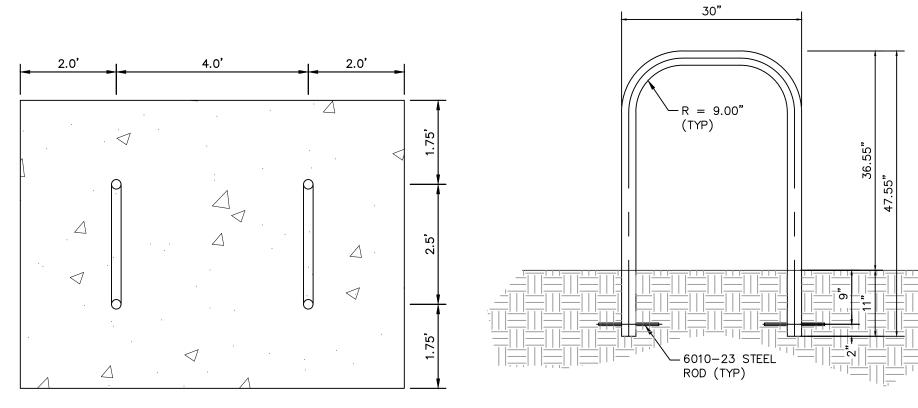


1. CONTRACTOR TO BE SURE TO NOT CREATE ANY "LIPS" IN PAVEMENT SURFACE, UNLESS SPECIFICALLY NOTED ON THE PLANS. CONTRACTOR SHALL PROVIDE BUTT JOINTS FOR NEW PAVEMENT TO TIE INTO, AND BE FLUSH WITH, EXISTING PAVEMENT ELEVATIONS. CONTRACTOR TO CREATE SMOOTH TRANSITIONS AND ENSURE POSITIVE DRAINAGE. 2. IF AGGREGATE BASE COURSE IS NOT PRESENT CONTRACTOR TO NOTIFY ENGINEER OF RECORD IMMEDIATELY.

3. CONTRACTOR MAY HAVE TO REMOVE SOME ADDITIONAL AGGREGATE BASE MATERIAL TO RE-PAVE FULL PAVEMENT SECTION AT BUTT JOINT

LOCATIONS. CONTRACTOR SHALL ENSURE MINIMUM ASPHALT OVERLAY IS PROVIDED IN ALL AREAS PER ASPHALT REPAIR DETAILS.

**ASPHALT BUTT JOINT** N.T.S.



NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
FINISH IS ELECTROPLATED IN CHROMATE
COLOR TO BE STANDARD BLACK

**BIKE RACK** 

N.T.S.

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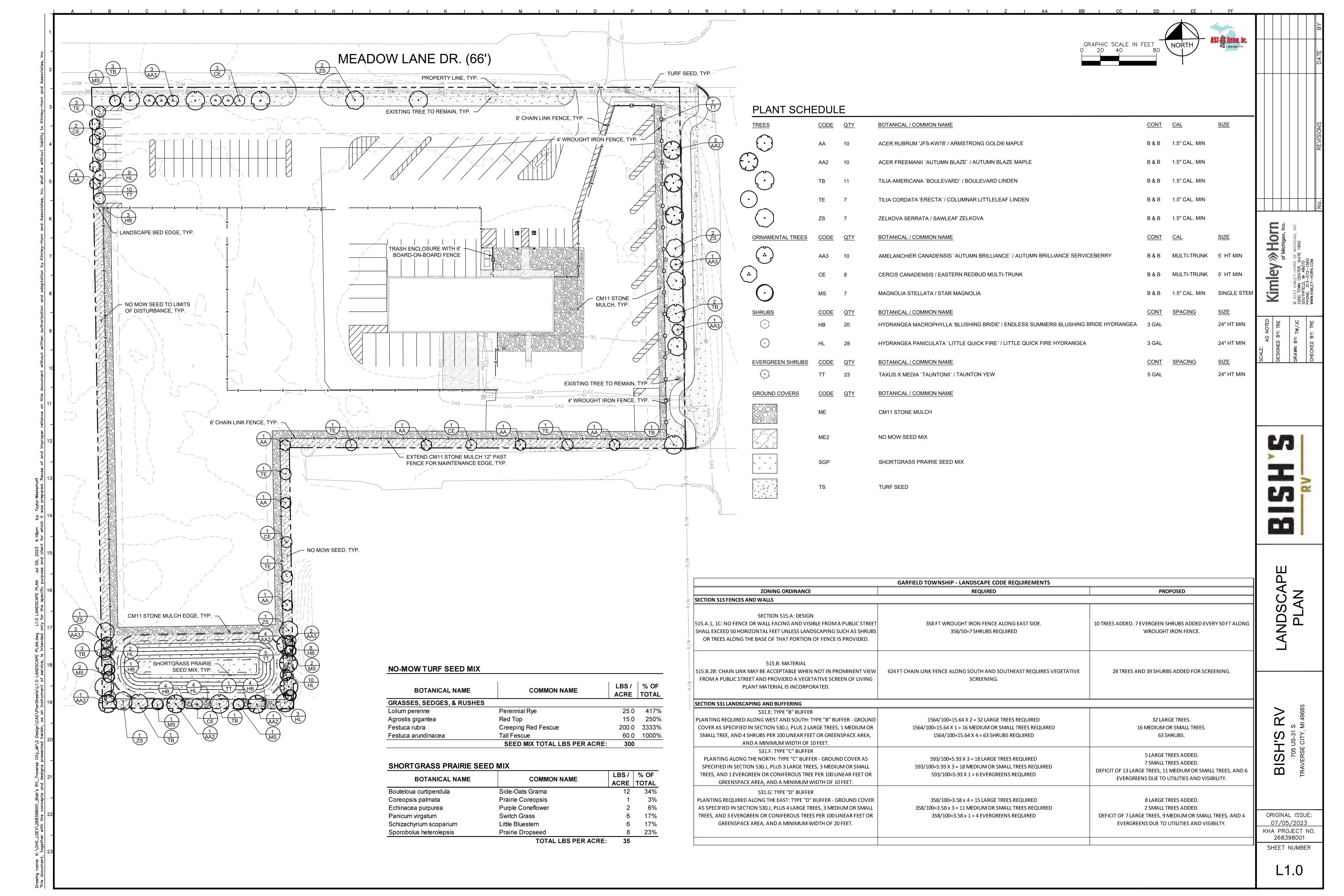
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TREE PLANTING

WROUGHT IRON FENCE

1. TYPICAL FENCE DETAIL. REFER TO MANUFACTURERS SPECIFICATIONS. POST SIZE VARIES BY FENCE HEIGHT AND WIND LOAD. CONCRETE FOOTING VARIES BASED ON LOCAL SOIL CONDITIONS. 4. ALL POSTS, RAILS, AND PICKETS TO BE POWDER COATED SATIN BLACK. 5. HARDWARE TO BE STAINLESS STEEL

POSTS 8' O.C.

- POST, 2"ØX 16GA

 $\longrightarrow$  PICKET,  $\frac{3}{4}$ "  $\square$  X 16GA

END BRACKET, BX102

 $-3 - 1\frac{1}{2}$ "  $x \frac{1}{2}$ "  $x \frac{1}{8}$ " RAILS

3/4" 1'-0"d

3/4" 1'-0"d

1/2" 1'-0"d

1. CHAINLINK FABRIC SHALL BE GALVANIZED STEEL.

` CHAINLINK FENCE

4" MAX.

CONCRETE FOOTING, TYP.

2. ALL POSTS, RAILS, AND FITTINGS SHALL BE STAINLESS STEEL. 3. REFER TO MANUFACTURERS SPECIFICATIONS FOR DETAILS.

8'-0", TYP.

4. SEE PLANS FOR GATE LOCATIONS

VARIES, SEE PLANS. 8' MAX. — TERMINAL DOME CAP ─ FENCE POST — TERMINAL POST TENSION BAR — WIRE TIE - RAIL END BOTTOM RAIL FENCE POST FOOTING

MINIMUM 6" BEYOND ROOT BALL SHREDDED HARDWOOD MULCH AMENDED SOIL

- APPLY CORRECTIVE PRUNING.
- 2. SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- 4. REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS

SHRUB PLANTING

PERIMETER FENCE MULCH TO FENCE POST AND UNDER BOTTOM RAIL. 3" DEPTH CM11 STONE MULCH ALONG BOTH SIDES OF PERIMETER FENCE. <del>/</del> 1'-0" <del>//</del> 1'-0"/ SPADED EDGE **ADJACENT SOIL** 

1" CHAMFER 4"X4" CEDAR POST — 2"X4" RAIL (TYP.) 1"X6" CEDAR PICKET -REAR FRONT 2"X4" BOTTOM RAIL - 4"X4" CEDAR POST <sup>1</sup> 1"x6" CEDAR PICKET — 2"x4" BOTTOM RAIL - CONCRETE

6' BOARD-ON-BOARD SCREEN FENCE (DUMPSTER ENCLOSURE)

LANDSCAPE NOTES

THE IMMEDIATE AREA.

THIS CONTRACT.

ANNUAL BEDS.

**EXCAVATIONS THAT SETTLE.** 

OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.

A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.

VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.

FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.

DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.

BRANCHING OF EXISTING AND PROPOSED TREES.

NOT REQUIRED ALONG CURBED EDGES.

SITE UNLESS OTHERWISE NOTED ON PLAN.

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS

THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR

5. ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND

SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION. 2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO

NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN

FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE

FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR

DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF

OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE

DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT

6. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED,

PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT

10. TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW

11. PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70%

12. SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE

13. EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A

14. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB,

FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.

UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.

LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.

KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND

SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS

PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4

15. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND

16. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE

17. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE

18. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW

AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.

OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS

19. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE

REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE

9. PRUNE PLANTS AS NECESSARY- PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR

7. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR

PERIMETER FENCE STONE MULCH BED

3/4" 1'-0"d

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