CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING

Wednesday, May 10, 2023 at 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

A G E N D A

ORDER OF BUSINESS
Call meeting to order
Pledge of Allegiance
Roll call of Board Members

1. **Public Comment**
   Public Comment Guidelines:
   Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. **Review and Approval of the Agenda – Conflict of Interest**

3. **Minutes** – April 26, 2023

4. **Correspondence**

5. **Reports**
   a. Township Board
   b. Planning Commissioners
      i. Zoning Board of Appeals
      ii. Parks and Recreation Commission
      iii. Joint Planning Commission
   c. Staff Report
      i. PD 2023-48 – Planning Department Monthly Report – May 2023

6. **Unfinished Business**
   a. PD 2023-50 – Oleson PUD Major Amendment – Public Hearing
   b. PD 2023-51 – Hickory Forest and Hickory Meadows Rezoning – Findings of Fact
   c. PD 2023-52 – Pine Grove Homes Special Use Permit – Findings of Fact
   d. PD 2023-53 – Ligon Bed and Breakfast SUP Major Amendment – Findings of Fact
   e. PD 2023-54 – TC Christian School ELC Special Use Permit – Expiration of Application

7. **New Business**
   a. PD 2023-55 – Birmley Meadows Site Condominium – Introduction
   b. PD 2023-56 – Ridge 45 Phase I-III and Phase IV (South 22) SUP Amendments – Intro
   c. PD 2023-57 – Nicolet Bank Landscaping – Site Plan Review

8. **Public Comment**

9. **Other Business**

10. **Items for Next Agenda – May 24, 2023**
    a. Master Plan Update – Community Engagement and Outreach
    b. Master Plan Update – Transportation and Infrastructure

11. **Adjournment**

Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
April 26, 2023

Call Meeting to Order: Chair Racine called the April 26, 2023 Planning Commission meeting to order at 7:00pm at the Garfield Township Hall.

Pledge of Allegiance
The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:
Present: Molly Agostinelli, Pat Cline, Joe McManus, Joe Robertson, John Racine, and Robert Fudge

Absent and Excused: Chris DeGood

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:01)
None

2. Review and Approval of the Agenda – Conflict of Interest (7:01)
Fudge moved and Agostinelli seconded to approve the agenda as presented

Yeas: Fudge, Agostinelli, Robertson, McManus, Cline, Racine
Nays: None

3. Minutes (7:02)
a. April 12, 2023 Regular Meeting
McManus moved and Robertson seconded to approve the April 12, 2023 Regular Meeting minutes as presented.

Yeas: McManus, Robertson, Agostinelli, Cline, Fudge, Racine
Nays: None

4. Correspondence (7:02)
A letter from Watershed Center commented on the Master Plan draft; a letter from Mr. Ward regarding the Ligon Bed and Breakfast was also received. Racine stated that the letter from Mr. Ward should be acknowledged.

5. Reports (7:03)
Township Board Report
Agostinelli stated that that she attended recent MTA meetings and one session pertained to solar power and it was suggested that a detailed ordinance should be in place in townships. Sych explained the ordinances that were in place in the township.

Planning Commissioners

i. Zoning Board of Appeals

Fudge had no report.

ii. Parks and Recreation Commission

Hannon said that the Parks Commission presented the idea of working with the Northern Michigan Mountain Biking Association (NMMBA) for a fundraising 501c3 for the Commons Natural Area trail design. The Parks Commission is also addressing policies for special events proposed to take place in the parks.

iii. Joint Planning Commission

McManus stated that the Joint Planning Commission dealt with the rehabilitation of an accessory building into a long term rental, reviewed the design update for the Commons Natural Area, looked at a higher fence around the Community Garden, and studied a preliminary draft of the infrastructure assessment.

Staff Report

Sych is a member of the Airport Zoning Board which established a zoning ordinance for airport property. MDOT Aeronautics was present to discuss airspace zoning and the land around the airport.

Hannon explained that he was at a GIS conference all day which concentrated on mapping and signage in the area. Hannon went on to state that the conference was a good networking opportunity.

6. <u>Unfinished Business</u>

None

7. <u>New Business</u>

a. PD 2023-45 Master Plan Update – Natural Resources and Parks and Trails (7:17)

Sych explained that staff is starting on the draft of the Master Plan. Chapters will have a brief introduction and then outline goals and objectives. More detailed information will be included in the appendix. Sych reviewed the Natural Resources chapter with Planning Commissioners and reviewed the goals and objectives laid out in this chapter. Commissioners also studied maps detailing the natural resources in the township. Staff will speak to the Township Assessor to see where any P.A. 116 farmland agreements are in the Township. Sych reviewed the Parks and Trails chapter with Commissioners. Commissioners commented on the chapter and asked questions pertaining to how the newly adopted Parks and Recreation plan would be incorporated into the master plan. Sych also stated that the proposed trail plan will be shared with TART for collaboration purposes.

b. PD 2023-46 – Master Plan Update – Community Engagement and Outreach (8:12)

A summary of the township's survey, compiled in October of 2022, will be included in the Master Plan. Additional community engagement will be part of the Master Plan update process in 2023. The Planning Commission has discussed potentially doing "pop-up" style events later this year to help gather feedback from people where they are already congregating, and to help provide awareness of the Master Plan update process. A pop-up event would involve Township Staff and other interested officials having a table at a community gathering location to gather feedback on specific land use issues. People can offer their input at their convenience. Potential locations for pop-up events include the dog park at Silver Lake Recreation Area, Meijer, Oryana West, Lucky Jack's, and Boardman River Nature Center. Commissioners discussed the best ways to gain community input and talked about what types of public input was needed and where events should be scheduled. Commissioners also discussed sending invitations to certain groups of people to gain some input that was targeted towards a certain objective.

8. Public Comment (8:36)

None

9. Other Business (8:36)

None

10. Items for Next Agenda – May 10, 2023 (8:37)

a. Oleson PUD Major Amendment – Public Hearing
b. Hickory Forest and Hickory Meadows Rezoning – Findings of Fact
c. Pine Grove Homes Special Use Permit – Findings of Fact
d. Ligon Bed and Breakfast Special Use Permit Major Amendment – Findings of Fact
e. Birmley Meadows Site Condominium - Introduction
e. Ridge 45 Phase I-III Ridge 45 Phase IV (South 22) SUP Amendments – Intro
f. Nicolet Bank Landscaping – Site Plan Review

11. Adjournment

Fudge moved to adjourn the meeting at 8:41pm.

_____

Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684

April 24th, 2023

Garfield Township Planning Commission

3848 Veterans Drive

Traverse City, MI 49684

Ref: 1. Consideration of an application received from Brad Oleson for a Special Use Permit for amendment for the Oleson Planned Unit Development (PUD).The applicant is proposing converting 6,960 square feet of second- floor office space into six apartments for multi-family residential use and no building construction will be occurring. Parcel 05-009-001-00 is located at the corner of North Long Lake and Cedar Run Roads and comprises 21.15 acres of land.

To whom it May Concerns,

Upon reviewing the above notice, I would like to express my view on the above request. Haggard's Plumbing & Heating is not opposed to the changes of the property and/or the request. If a property owner is fortunate enough to have the ability and the recourses in this time to either build and/or improve their existing property, it would only help the economy continue to grow. It would prove positive for the local, county, and state to do all we can to improve and promote in anyways possible.

Sincerely,

John Haggard

Haggard's Plumbing & Heating

Charter Township of Garfield
Planning Department Report No. 2023-48

Prepared:	May 2, 2023	Pages:	2
Meeting:	May 9, 2023 Township Board	Attachments:	☐
Subject:	Planning Department Monthly Report for May 2023		

PURPOSE:
Staff provides a monthly report to the Township Board on activities of the Planning Department and the Planning Commission. The presentation of this report also provides a venue for the Township Board to have a dialog with staff about any of the activities or planning-related issues facing the Township.

DEVELOPMENTS:
The Planning Commission is currently conducting the following development review activity:

Oleson's Food Store – Planned Unit Development Amendment
- *Location:* 3850 North Long Lake Road, at intersection of North Long Lake and Cedar Run Roads
- *Development Description:* Proposed amendment to permit six apartments
- *Status:* The application was introduced at the Planning Commission meeting on 4/12/2023. A public hearing was scheduled for the 5/10/2023 Planning Commission meeting.

Hickory Forest / Hickory Meadows – Zoning Map Amendment (Rezoning)
- *Location:* Portions on Barney Road, East Traverse Highway (M-72), and Randolph Street
- *Development Description:* Proposed rezoning of properties to P-R Park-Recreation zoning district
- *Status:* A public hearing was held at the 4/12/2023 Planning Commission meeting. Findings of fact will be considered at the 5/10/2023 Planning Commission meeting.

Pine Grove Homes – Special Use Permit
- *Location:* 4030 Meadow Lane Drive, at intersection of Meadow Lane Drive and US 31 South
- *Development Description:* Proposed site for mobile home sales (sale of prefabricated structures)
- *Status:* A public hearing was held at the 4/12/2023 Planning Commission meeting. Findings of fact will be considered at the 5/10/2023 Planning Commission meeting.

Ligon Bed and Breakfast – Special Use Permit Amendment
- *Location:* 5876 Hainey Lane, near the intersection of Gray Road and Cedar Run Road
- *Development Description:* Proposed expansion of existing bed and breakfast operation
- *Status:* A public hearing was held at the 4/12/2023 Planning Commission meeting. Findings of fact will be considered at the 5/10/2023 Planning Commission meeting.

Ridge45 – Phase I-III Multi-Family Housing Special Use Permit Amendment and
Ridge45 – Phase IV (South 22) Multi-Family Housing Special Use Permit Amendment
- *Location:* Northwest corner of LaFranier and Hammond Roads
- *Development Description:* Developer is seeking to combine previously approved Ridge45 Phases I-III (400 units) with a revised new plan for Ridge45 Phase IV (196 units) for a total of 596 multi-family housing units.
- *Status:* Introduction of major amendments to combine the two Special Use Permits into one Special Use Permit for all four phases at the 5/10/2023 Planning Commission meeting.

Birmley Meadows – Site Condominium

- *Location:* North of existing Birmley Hills Estates subdivision, south of Birmley Road
- *Development Description:* Proposed 26-lot single-family residential site condominium
- *Status:* The application will be introduced at the Planning Commission meeting on 5/10/2023

PLANNING:

Other Planning Department activities include the following:

- For its April study session, the Planning Commission focused on reviewing goals and objectives for Natural Resources (including Water Quality, Energy, and Agricultural Land) and Parks and Trails to be included in the new Master Plan. The Planning Commission also discussed additional community engagement and outreach for the Master Plan process. For the May study session, the Planning Commission will review goals and objectives for Transportation and Infrastructure.

- Staff continues to facilitate the mountain biking subcommittee of the Parks and Recreation Commission to help guide implementation of the mountain biking portion of the Commons Natural Area Design Plan. Park Staff are coordinating a volunteer worker bee while Planning Staff is working on a process with the Northern Michigan Mountain Bike Association to facilitate fundraising for construction of mountain bike features in accordance with the Plan.

- The Planning Director represents the Township on the Northwest Regional Airport Authority/Cherry Capital Airport Zoning Board. The Zoning Board recently received a presentation by MDOT Aeronautics on establishing an airport zoning ordinance in accordance with the Michigan Airport Zoning Act, Public Act 23 of 1950.

STAFF:

John Sych, AICP, Planning Director
Email: jsych@garfield-twp.com
Direct Line: (231) 225-3155

Stephen Hannon, AICP, Deputy Planning Director
Email: shannon@garfield-twp.com
Direct Line: (231) 225-3156

Charter Township of Garfield
Planning Department Report No. 2023-50

Prepared:	May 3, 2023	Pages:	3
Meeting:	May 10, 2023 Planning Commission	Attachments:	☒
Subject:	Oleson PUD Major Amendment – Public Hearing		
Applicant:	Brad Oleson, Oleson's Food Stores		
Owner:	G.D.O. Investments		
Agent:	Brad Oleson, Oleson's Food Stores		
File No.	SUP-1997-06-F		
Parcel No.	05-009-001-00		

PURPOSE OF APPLICATION:

Approved in 1997, the Oleson Planned Unit Development (PUD) is a commercial development, including a grocery store, offices, restaurant, service establishments, and a car wash. A request to amend the PUD is being considered according to Section 423.G of the Zoning Ordinance. By incorporating a residential use, Staff has determined that this amendment constitutes a major amendment which requires a public hearing, Planning Commission review and recommendation, and Township Board approval. The applicant proposes converting 6,960 square feet of second-floor office space into six apartments. There are to be five three-bedroom units and one two-bedroom unit. A revised floor plan is to be submitted by the applicant.

SUBJECT PROPERTY:

The PUD is located at the corner of North Long Lake and Cedar Run Roads and comprises 21.15 acres of land.

Aerial image of the subject property (property lines highlighted in blue):

Enlarged portion of aerial image of the subject property:

<u>SITE DESIGN AND ZONING COMPLIANCE OVERVIEW</u>:
Since the proposed amendment is a conversion of an office into multi-family residential and no building construction will be occurring, most requirements are currently met by the current development. However, staff does offer the following comments regarding site design and compliance with the Zoning Ordinance related to the new residential use:

Written Consent:
With an application to amend an approved PUD, the application shall include written consent to the application by the owner(s) of at least sixty (60) percent of approved development sites or land area within the planned development. In this case, there is only one owner, and it is the owner making the application. Therefore, written consent is not applicable.

Useable Open Space
By incorporating in residential uses, the review criteria for a PUD requires useable open space. Section 426.A(4) of the Zoning Ordinance states that a "Planned Unit Development shall be designed to incorporate a minimum of 20% useable open space to supplement the residents of the PUD and/or Garfield Township. These areas are anticipated to provide recreational opportunities such as parks, trails, playgrounds, and other similar opportunities."

To meet this requirement, Staff recommends incorporating the TART Traverse Ridge trail located on the west side of the site by providing access to residents. Access could be accomplished by extending the existing sidewalk along North Long Lake Road for the landscaped area and then establishing a trail from that point to the Traverse Ridge trailhead. In addition, establish a trail from the trailhead along Cedar Run Road to a newly constructed sidewalk for the landscaped area to the existing sidewalk at the corner of Cedar

Run and North Long Lake Roads. The use of the area where the Traverse Ridge trail is approximately 7 acres or 33% of the total parcel. Furthermore, the sidewalks provide additional access to the Grand Traverse Commons. These improvements would fulfil this requirement.

After further review of the Staff recommended trail configuration by TART Trails, the current layout as proposed by the applicant is recommended. TART indicated that the slope along Cedar Run Road and the wetlands in that area do not make it ideal to provide a trail connection. However, TART did recommend that the proposed wood chip trail near the northwest corner of the parking lot be altered to follow the contours of the steep hillside.

Vehicular Parking:
Based on the following analysis, the demand for parking and the required parking will be less with the conversion from office to multi-family residential.

- Current use: Office
  - Minimum required spaces: 1 for each two hundred (200) square feet of floor area
  - Maximum required spaces: 1 for each one hundred (150) square feet of floor area
  - 6,960 square feet of office requires a minimum of 35 spaces and a maximum 46 spaces

- Proposed use: Multi-family dwellings
  - Minimum required spaces: 1.5 per dwelling unit
  - Maximum required spaces: 2.0 per dwelling unit
  - Six proposed dwelling units requires a minimum of 9 spaces and a maximum of 12 spaces

RECOMMENDATION:
The purpose of this item being placed on tonight's agenda is to hold a public hearing on the major amendment application. If, following the public hearing, the Planning Commission is prepared to direct Staff to draft Findings of Fact for the application, then the following motion is offered for consideration:

> MOTION TO direct Staff to prepare Findings of Fact for application SUP-1997-06-F for consideration at the June 14, 2023 Regular Meeting of the Planning Commission subject to the alteration of the proposed trail near the northwest corner of the parking lot.

Any additional information deemed necessary by the Planning Commission should be added to the motion.

***Attachments*:**
1. Project narrative received February 9, 2023
2. 11" X 17" floor plan provided by applicant dated April 7, 2023
3. 11" X 17" site plan provided by applicant received April 3, 2023

Proposed buildout from office space to apartments

Site: 3850 N. Long lake road, suite B,C,D,E.

Dear John,

As you know with covid behind us and more people working from home the demand for office space is very low. We are seeing many office spaces vacant and no one to fill them. On the other hand, apartments are in extremely high demand and with close proximity to town, grocery stores and restaurants we feel this would be a great addition.

G.D.O. Investments is proposing Renovating 6960 square feet of office space over to 6 apartments. Five will be 1106 Square foot 3 bedroom, and one 900 square foot 2 bedroom. All will have two bathrooms.

This transition will not affect any exterior of the building, neighbors and minimal to downstairs commercial renters. We have ample parking, with two entrances to the apartments and all is ADA with and elevator at one end.

Sincerely,

Brad Oleson

Brad Oleson
G.D.O. Investments,

Business Office
P.O. Box 72•Traverse City, MI 49685-0072•(231)-947-6091• FAX (231)-947-6548
Visit us at www.olesonsfoods.com
E-mail: bradoleson@olesonsfoods.com

ISSUES:

DATE:	DESCRIPTION:
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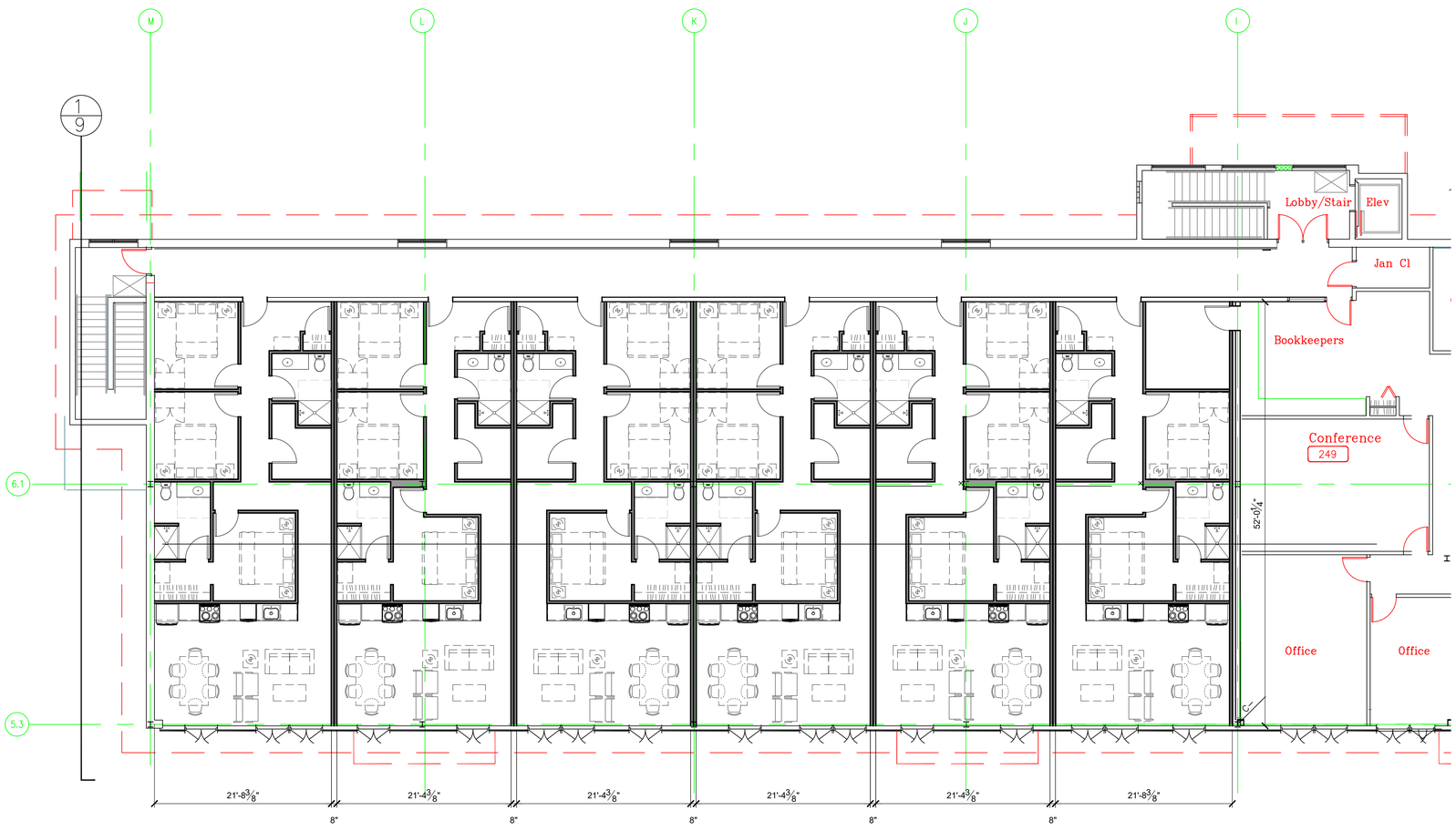
4/7/23

PRELIMINARY

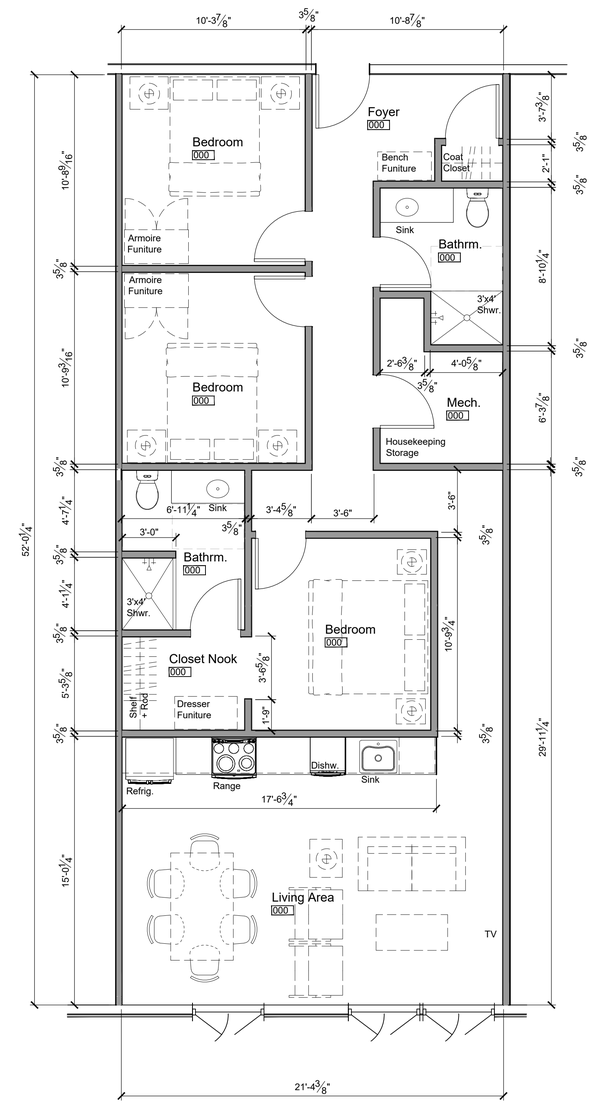
NOT FOR CONSTRUCTION

Jan. 22, 23



Partial Overall Second Floor Plan

SCALE: 1/8" = 1'-0"



Typical Unit - Enlarged Plan

SCALE: 1/4" = 1'-0"

APPROX. SQUARE FOOTAGE PER UNIT = 1,107 S.F.

environmentarchitects

Addition / Renovations

23-03

3850 N.Long Lake Rd.
Traverse City, MI
49684

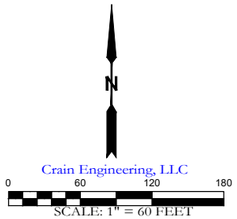
Floor Plan

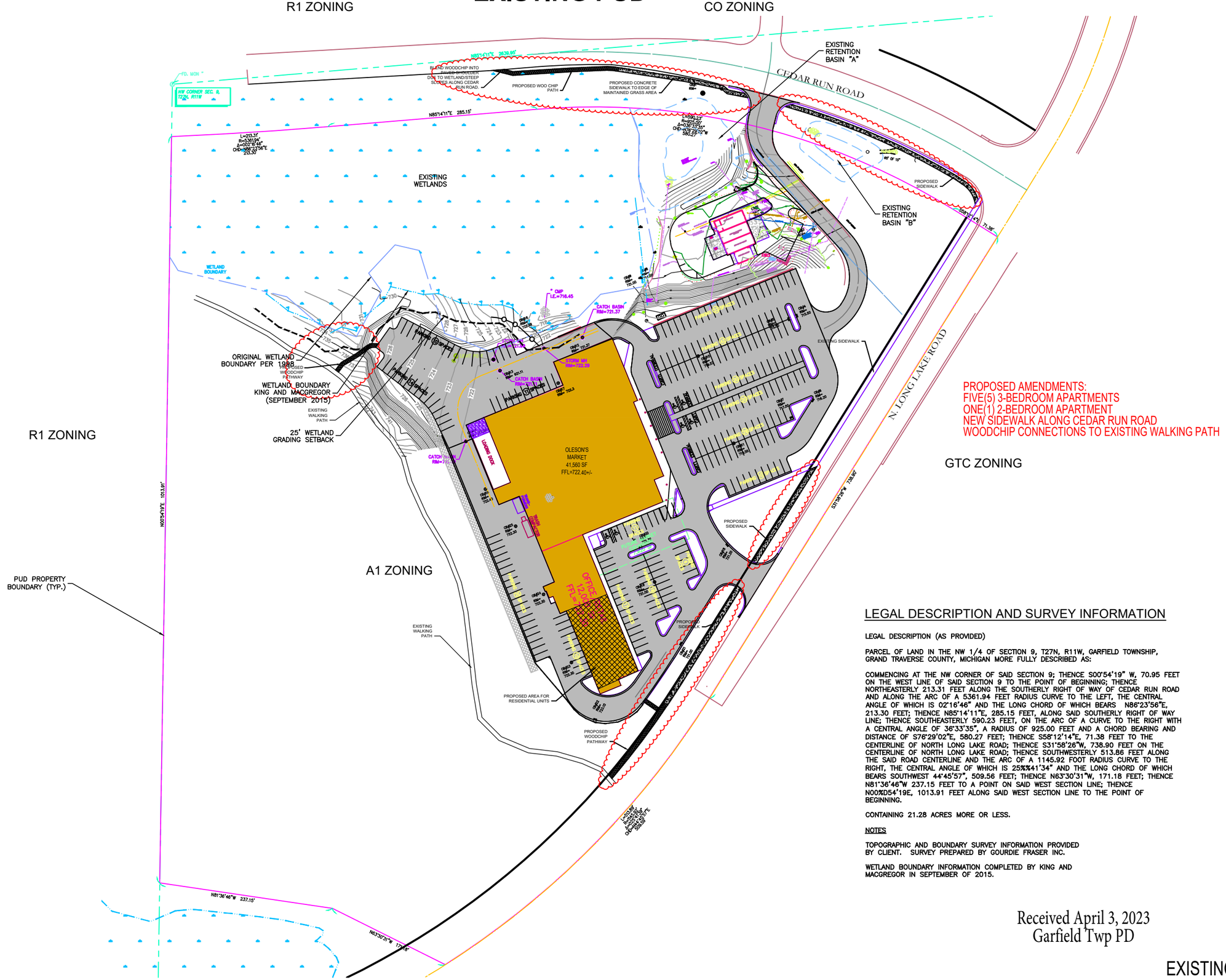
cell 231 946 1354
fax 231 421 5773
10241 e cherry bend road
traverse city mi 49684
env-arch.com

A3.1

1/22/2023 A3.1 Floor Plan.dwg

EXISTING PUD





PROPOSED AMENDMENTS:
FIVE(5) 3-BEDROOM APARTMENTS
ONE(1) 2-BEDROOM APARTMENT
NEW SIDEWALK ALONG CEDAR RUN ROAD
WOODCHIP CONNECTIONS TO EXISTING WALKING PATH

LEGAL DESCRIPTION AND SURVEY INFORMATION

LEGAL DESCRIPTION (AS PROVIDED)

PARCEL OF LAND IN THE NW 1/4 OF SECTION 9, T27N, R11W, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN MORE FULLY DESCRIBED AS:

COMMENCING AT THE NW CORNER OF SAID SECTION 9; THENCE S00°54'19" W, 70.95 FEET ON THE WEST LINE OF SAID SECTION 9 TO THE POINT OF BEGINNING; THENCE NORTHEASTERLY 213.31 FEET ALONG THE SOUTHERLY RIGHT OF WAY OF CEDAR RUN ROAD AND ALONG THE ARC OF A 5361.94 FEET RADIUS CURVE TO THE LEFT, THE CENTRAL ANGLE OF WHICH IS 02°16'46" AND THE LONG CHORD OF WHICH BEARS N86°23'56"E, 213.30 FEET; THENCE N85°14'11"E, 285.15 FEET, ALONG SAID SOUTHERLY RIGHT OF WAY LINE; THENCE SOUTHEASTERLY 590.23 FEET, ON THE ARC OF A CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 36°33'35", A RADIUS OF 925.00 FEET AND A CHORD BEARING AND DISTANCE OF S76°29'02"E, 580.27 FEET; THENCE S58°12'14"E, 71.38 FEET TO THE CENTERLINE OF NORTH LONG LAKE ROAD; THENCE S31°58'26"W, 738.90 FEET ON THE CENTERLINE OF NORTH LONG LAKE ROAD; THENCE SOUTHWESTERLY 513.86 FEET ALONG THE SAID ROAD CENTERLINE AND THE ARC OF A 1145.92 FOOT RADIUS CURVE TO THE RIGHT, THE CENTRAL ANGLE OF WHICH IS 25%%41'34" AND THE LONG CHORD OF WHICH BEARS SOUTHWEST 44°45'57", 509.56 FEET; THENCE N63°30'31"W, 171.18 FEET; THENCE N81°36'46"W 237.15 FEET TO A POINT ON SAID WEST SECTION LINE; THENCE N00%D54'19E, 1013.91 FEET ALONG SAID WEST SECTION LINE TO THE POINT OF BEGINNING.

CONTAINING 21.28 ACRES MORE OR LESS.

NOTES

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION PROVIDED BY CLIENT. SURVEY PREPARED BY GOURDIE FRASER INC.

WETLAND BOUNDARY INFORMATION COMPLETED BY KING AND MACGREGOR IN SEPTEMBER OF 2015.

Received April 3, 2023
Garfield Twp PD

EXISTING PUD

811 Know what's below. Call before you dig.

3 FULL WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
Member utilities are required to locate their facilities at no charge to the caller.

Crain Engineering, LLC
Engineering, Consulting, & Design
7622 Bott Road
Buckley, MI 49620
Phone: (231) 947-7255
Cell: (231) 632-4207
email:crainengineeringllc@gmail.com

DRWN BY: WLC
DSGN BY: WLC
DATE: 03-29-2023
REV DATE:

G.D.O. INVESTMENTS, INC.
PUD AMENDMENT
SECTION 9, T27N, R11W, GARFIELD TOWNSHIP
GARFIELD TWP, GRAND TRAVERSE COUNTY, MICHIGAN

JOB NUMBER: 196923

SHEET 2

Charter Township of Garfield
Planning Department Report No. 2023-51

Prepared:	May 3, 2023	Pages:	7
Meeting:	May 10, 2023 Planning Commission	Attachments:	☒
Subject:	Hickory Properties P-R Rezoning – Findings of Fact		
File No.:	Z-2023-01		
Parcel No.:	#05-005-050-10, #05-004-003-60, #05-005-034-10, and #05-005-034-20		
Applicant:	City of Traverse City & Charter Township of Garfield Recreational Authority		
Agent:	Grand Traverse Regional Land Conservancy		
Owner:	Bercal Properties LLC		

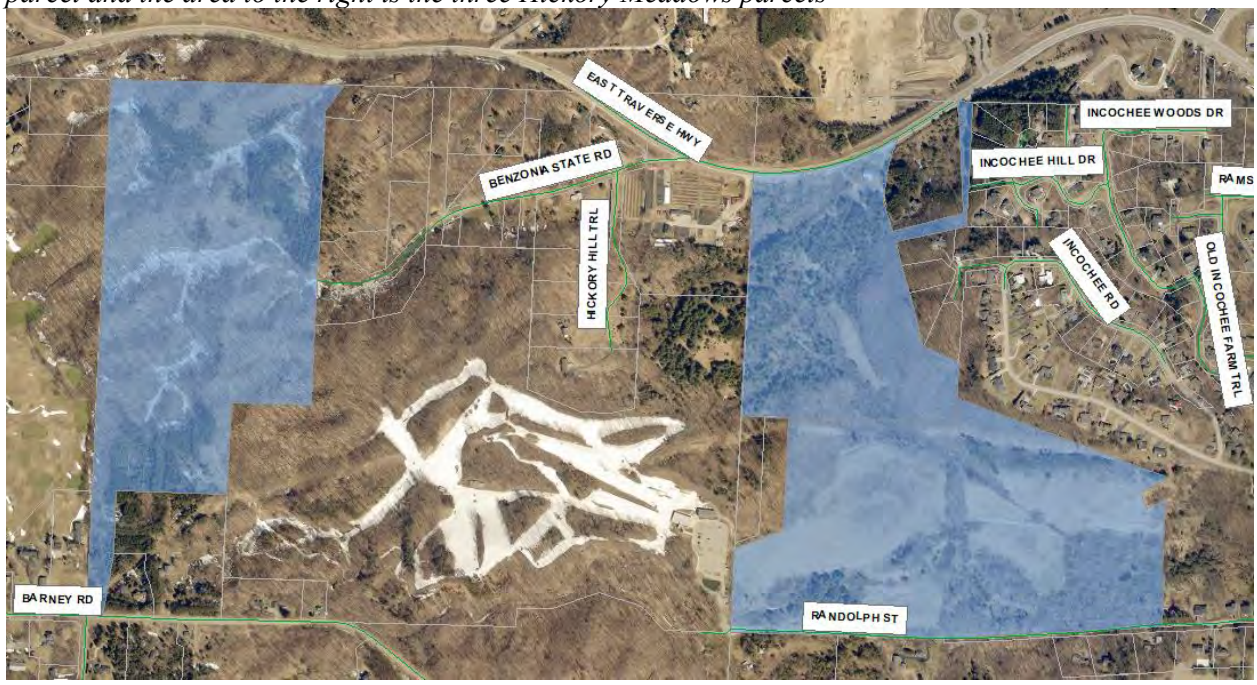
PURPOSE OF APPLICATION:
The applicant requested rezoning the "Hickory Forest" parcel (#05-005-050-10) from the A-Agricultural district to the P-R Park and Recreation district via the Zoning Map Amendment process, without restriction. Upon review by Staff, it was suggested to include the three "Hickory Meadows" parcels to create consistent zoning of parkland in this area. These four parcels total 179.03 acres, and are listed below with their current zoning classifications:

Parcel No.	Current Use	Acres	Current Zoning
05-005-050-10	Hickory Forest	71.33	A-Agricultural
05-004-003-60	Hickory Meadows	69.79	R-1 One-Family Residential
05-005-034-10	Hickory Meadows	37.47	R-1 One-Family Residential
05-005-034-20	Hickory Meadows	0.44	R-1 One-Family Residential

SUBJECT PROPERTIES:
Three of the subject parcels constitute the Hickory Meadows parkland, and one is the site of Hickory Forest, which is in the process of becoming parkland. All these parcels either are or will be managed by the City of Traverse City & Charter Township of Garfield Recreational Authority (Joint Recreational Authority).

Zoomed-out aerial view of the subject properties (highlighted in blue); the area to the left is the Hickory Forest parcel and the area to the right is the three Hickory Meadows parcels

Zoomed-in aerial view of the subject property (highlighted in blue); the area to the left is the Hickory Forest parcel and the area to the right is the three Hickory Meadows parcels



The application was introduced at the March 8, 2023 regular meeting of the Planning Commission, at which time Commissioners set a public hearing on the application for their April 12, 2023 regular meeting. After the public hearing, the Planning Commission directed Staff to prepare Findings of Fact for the application. The Findings of Fact are being considered at the May 10, 2023 Planning Commission regular meeting.

MASTER PLAN CONSIDERATIONS:

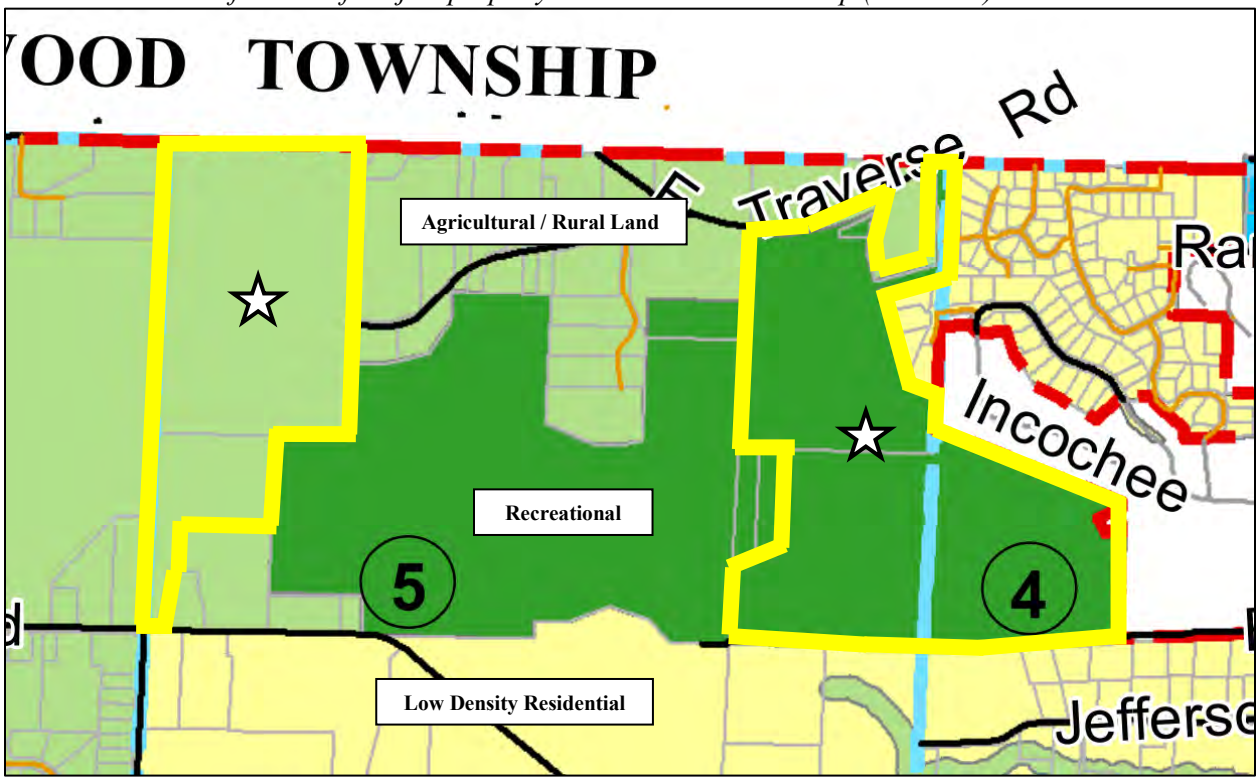
A key factor in considering rezoning requests is whether the request is consistent with the Master Plan. In this case, the Future Land Use Map shows the Hickory Forest parcel with the designation of "Agricultural / Rural Land" and the three parcels constituting Hickory Meadows with the designation of "Recreational." The "Agricultural / Rural Land" designation is intended "to provide areas for agricultural operations and low intensity land uses in the outlying areas of the Township." The "Recreational" designation "indicates areas suitable for active and passive recreation, and which are already owned by a municipality or other governmental entity. This classification is not intended to identify future properties which may be acquired as the parkland system grows, but rather to protect and preserve existing parks and sensitive natural areas."

Surrounding Properties	Surrounding Future Land Use Designations
West of Hickory Forest parcel	Agricultural / Rural Land
Between Hickory Forest and Hickory Meadows	Agricultural / Rural Land (primarily) Recreational (Hickory Hills)
East of Hickory Meadows parcels	Low Density Residential (primarily along Incochee Road) City of Traverse City
To the north	Elmwood Township
To the south	Low Density Residential

The most compatible zoning districts for the "Agricultural / Rural Land" future land use designation are the A-Agricultural and R-R Rural Residential districts, with R-1 One-Family Residential also being potentially compatible. The proposed P-R zoning district for the Hickory Forest parcel does not match the future land use designation; however, several other factors also need to be considered as described below. The most

compatible zoning district for the "Recreational" designation is the P-R Park and Recreation district. The proposed P-R zoning district for the Hickory Meadows parcels matches their future land use designation. An excerpt from the Zoning Plan for the P-R zoning designation is provided below.

Location and classification of subject property on Future Land Use Map ("FLUM"):



Excerpt from Zoning Plan matching proposed P-R zoning for the subject property:

Master Plan Designation	Recreational (Master Plan designation for the Hickory Forest site is Agricultural / Rural Land)
[Requested] Zoning	P-R Park and Recreation
Zoning Ordinance District Intent	The P-R (Park and Recreation) districts provide areas for passive and active recreational facilities which are owned or operated by a municipality or other governmental entity.
Potentially Compatible District	A-Agricultural or R-R Rural Residential
Considerations for Downzoning (Less Density)	This district reflects publically owned lands and would not support a rezoning to any other district.
Considerations for Upzoning (More Density)	Properties that are owned by another municipality and not actively being used for recreation or recreational support services may be considered for a rezoning at the municipality's request. A request to rezone should only be considered for a district that is compatible with the recreational use, such as Agricultural.

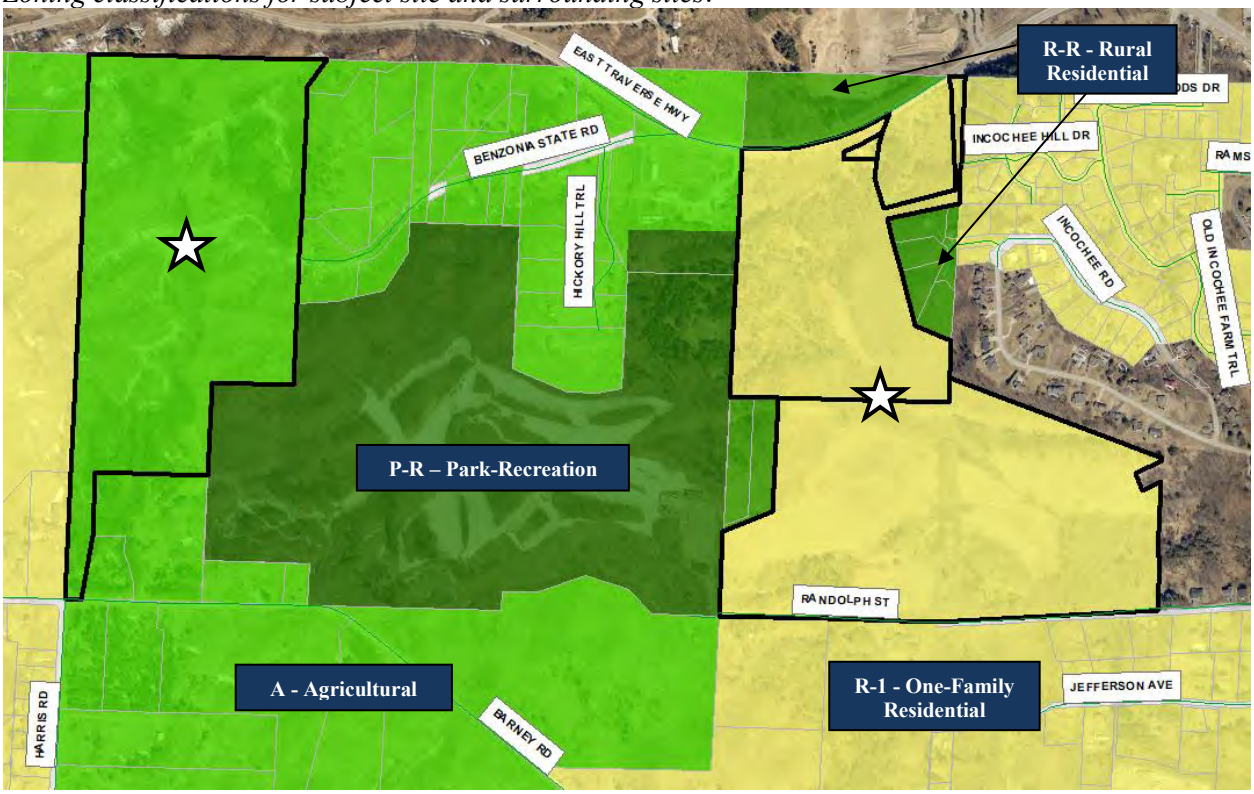
ZONING FOR SUBJECT SITE AND SURROUNDING SITES:

The zoning for the existing Hickory Forest site is A-Agricultural, shown below in light green. The zoning for the existing three Hickory Meadows parcels is R-1 One-Family Residential, shown below in yellow.

Zoning for surrounding sites is as follows:

Surrounding Properties	Surrounding Zoning
West of Hickory Forest parcel	A – Agricultural and R-1 – One-Family Residential
Between Hickory Forest and Hickory Meadows	P-R – Park-Recreation (Hickory Hills) R-R – Rural Residential (portion of Morgan Farms PUD and two "landlocked" parcels between Hickory Hills & Hickory Meadows); A – Agricultural (all other parcels)
East of Hickory Meadows parcels	R-1 – One-Family Residential, R-R – Rural Residential, and City of Traverse City
To the north	Elmwood Township
To the south	A – Agricultural south of Hickory Forest and Hickory Hills R-1 – One-Family Residential south of Hickory Meadows

Zoning classifications for subject site and surrounding sites:



USES OF SUBJECT SITE AND SURROUNDING SITES:

Three of the subject parcels constitute the Hickory Meadows parkland, and one is the site of Hickory Forest, which is in the process of becoming parkland. Uses of the surrounding sites are as follows:

Surrounding Properties	Surrounding Uses
West of Hickory Forest parcel	Residential, Bay Meadows golf course, Ritter's senior living
Between Hickory Forest and Hickory Meadows	Hickory Hills Recreation Area, portion of the Morgan Farms PUD, Zimmerman Landscaping, and residential
East of Hickory Meadows parcels	Residential in Garfield Township and City of Traverse City
To the north	Residential and vacant/unbuilt land in Elmwood Township
To the south	Residential and vacant/unbuilt land

FINDINGS OF FACT:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E (1) Master Plan Consistency through § 421.E (8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:

1. ***Master Plan Consistency***
   Rezoning should be consistent with the intent and purpose of the adopted master plan.

   The Planning Commission may consider this standard to be **MET** based on the following reasons:

   - According to the Master Plan, the Future Land Use designation for the Hickory Meadows parcels is Recreational. The proposed zoning district of P-R Park-Recreation matches this designation.
   - The Future Land Use designation for the Hickory Forest parcel is Agricultural / Rural Land. The proposed zoning district of P-R Park-Recreation does not match the Future Land Use designation for the site. However, the Master Plan includes additional information which may support the proposed rezoning application. As part of the Implementation section, the Master Plan includes the following goals and objectives for "Natural Resources and Parks and Recreational Opportunities:"
     - Continue to work closely with area environmental groups and other interested organizations to support environmental preservation and restoration efforts within the Township.
     - Continue implementation of the Township's Green Infrastructure Plan and consider updates to that plan to reflect natural resource management best practices and changing circumstances.
     - Continue efforts to acquire additional property for parklands via grants, conservation easements, and open space preservation requirements in development approvals

2. ***Adverse Impacts on Neighboring Lands***
   The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.

   The Planning Commission may consider this standard to be **MET** based on the following reasons:

   - The proposed P-R zoning would be consistent with the adjacent P-R zoning on the Hickory Hills parcel and would represent an expansion of a contiguous parkland area.
   - The P-R zoning and park and recreation land use is compatible with surrounding land uses, which are primarily agricultural and residential.

3. ***Suitability as Presently Zoned***
The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.

The Planning Commission may consider this standard to be **MET** based on the following reasons:

- The Hickory Meadows parcels are currently zoned as R-1 One-Family Residential, but the site is used as parkland and no residential development is anticipated on these parcels.
- The Hickory Forest site is currently zoned as A-Agricultural; the parcel is heavily forested and is unlikely to be used for farmland or farming operations.

4. ***Changed Conditions***
The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.

The Planning Commission may consider this standard to be **MET** based on the following reasons:

- In November 2020, voters in Garfield Township and the City of Traverse City approved a 20-year operating millage for the Joint Recreational Authority to continue their operations and to purchase and preserve the Hickory Forest site. This indicates an intent to continue to use the properties as parkland.

5. ***Health, Safety, and Welfare***
The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

The Planning Commission may consider this standard to be **MET** based on the following reasons:

- The only future improvements anticipated on these sites would be trails, trailheads, or other low impact uses which are not anticipated to negatively impact public health, safety, and welfare.
- There does not appear to be any nearby historical and cultural places and areas.

6. ***Public Policy***
Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.

The Planning Commission may consider this standard to be **MET** based on the following reasons:

- The Township's prior Parks and Recreation Master Plan, which was in place when voters approved the millage for the Joint Recreational Authority in November 2020, identified this parcel as a potential future park opportunity in the Green Infrastructure Plan.
- Some goals and objectives included in the Master Plan, as described above, offer support for the proposed rezoning application.

7. ***Size of Tract***
The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

The Planning Commission may consider this standard to be **MET** based on the following reasons:

- These four parcels total 179.03 acres.
- No issues relating to the size of the tracts are anticipated as part of this proposed rezoning.

8. ***Other Factors***
The Township may consider any other factors relevant to a rezoning application under state law.

The Planning Commission may consider this standard to be **MET** based on the following reasons:

- No other additional factors, besides those mentioned above, are anticipated to impact this proposed rezoning.

ACTION REQUESTED:
The item is placed on tonight's agenda to consider adopting proposed Findings of Fact for this application. If, following the Planning Commission's review and discussion of the application, the Commissioners are prepared to adopt Findings of Fact for this application, then the following motion is suggested:

MOTION THAT the Findings of Fact for application Z-2023-01, as presented in Planning Department Report 2023-51 and being made a part of this motion, BE ADOPTED.

If the Planning Commission is prepared to forward this rezoning application to the Township Board with a recommendation to approve the application, then the following motion is suggested:

MOTION TO RECOMMEND TO the Township Board THAT application Z-2023-01 BE APPROVED.

Any additional information deemed necessary by the Planning Commission should be added to the motion.

***Attachments*:**
1. Application for Zoning Ordinance Map Amendment for Hickory Meadows site dated February 1, 2023
2. Application for Zoning Ordinance Map Amendment for Hickory Forest parcels dated February 2, 2023, including Map of Property Boundaries, Proposed Trails, and Proposed Trailheads, Warranty Deed, Property Information, Recreation Authority Acquisition Information, and Impact Statement

Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

ZONING ORDINANCE AMENDMENT (ZOA) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☑ Map Amendment (Rezoning)
- ☐ Text Amendment
- ☐ Conditional Rezoning

PROJECT / DEVELOPMENT NAME

Hickory Meadows

APPLICANT INFORMATION

Name:	Matt Cowall, Recreational Authority
Address:	324 Munson Ave, Traverse City, MI 49686
Phone Number:	231-929-3696
Email:	mcowall@liaa.org

AGENT INFORMATION

Name:	Matt Cowall, Recreational Authority
Address:	324 Munson Ave, Traverse City, MI 49686
Phone Number:	231-929-3696
Email:	mcowall@liaa.org

OWNER INFORMATION

Name:	The City of Traverse City and Charter Township of Garfield Recreational Authority
Address:	324 Munson Ave, Traverse City, MI 49686
Phone Number:	231-929-3696
Email:	mcowall@liaa.org

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	Matt Cowall, 231-929-3696, mcowall@liaa.org
Agent:	Matt Cowall, 231-929-3696, mcowall@liaa.org
Owner:	Matt Cowall, 231-929-3696, mcowall@liaa.org

PROPERTY INFORMATION

Property Address:	Randolph St, Traverse City, MI 49684
Property Identification Number:	05-004-003-60, 05-005-034-10, 05-005-034-20
Legal Description:	Please see attached
Zoning District:	R-1
Master Plan Future Land Use Designation:	Recreational
Area of Property (acres or square feet):	Approx. 108 acres

Existing Use(s):	Public passive recreation
Proposed Use(s):	Public passive recreation

REQUIRED SUBMITTAL ITEMS

A complete application for a Zoning Ordinance Amendment consists of the following:

Application Form:

- ☑ One original signed application
- ☑ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

- ☑ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

For Map (Rezoning) Amendment only, the following must be included:

Site Diagram

- ☐ Ten complete stapled 11"x17" paper sets
- ☐ One digital set (PDF) only

Supporting Information

- ☐ Ten paper copies of the Impact Statement for Map (Rezoning) Amendment
- ☐ One digital copy of the Impact Statement for Map (Rezoning) Amendment (PDP only)

For Text Amendment only, the following must be included:

- ☐ Ten paper copies of the Impact Statement for Text Amendment
- ☐ One digital copy of the Impact Statement for Text Amendment (PDF only)

For Conditional Rezoning only, the following must be included:

Site Development Plan

- ☐ Ten complete stapled 11"x17" paper sets
- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Supporting Information

- ☐ Ten paper copies of the Impact Statement for Conditional Rezoning
- ☐ One digital copy of the Impact Statement for Conditional Rezoning (PDF only)
- ☐ Ten paper copies of the Offer of Conditions for Conditional Rezoning
- ☐ One digital copy of the Offer of Conditions for Conditional Rezoning (PDF only)

Digital items to be delivered via email or USB flash drive

IMPACT STATEMENT FOR ZONING ORDINANCE MAP AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.
6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no

intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

IMPACT STATEMENT FOR ZONING ORDINANCE TEXT AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. A text amendment should be consistent with the intent and purpose of the adopted master plan.
2. Changed Conditions. The Township shall consider whether any conditions have changed since the zoning ordinance was adopted that might justify the amendment.
3. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas.
4. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
5. Other Factors. The Township may consider any other factors relevant to a zoning text amendment application under state law.

IMPACT STATEMENT FOR CONDITIONAL REZONING

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.
8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

OFFER OF CONDITIONS FOR CONDITIONAL REZONING

A written offer of Conditions as described in § 422.B(3) of the Zoning Ordinance. An owner of land may voluntarily offer, in writing, conditions relating to the use and/or development of land for which a rezoning is requested.

1. The owner's offer of conditions may not purport to authorize uses or developments not permitted in the requested new zoning district.
2. The owner's offer of conditions shall bear a reasonable and rational relationship to the property for which rezoning is requested.
3. Any use or development, proposed as part of an offer of conditions that would require a special land use permit under the terms of this ordinance, may only be commenced if a special land use permit for such use or development is ultimately granted in accordance with the provisions of this ordinance.
4. Any use or development, proposed as part of an offer of conditions that would require a variance under the terms of this ordinance, may only be commenced if a variance for such development is ultimately granted by the Zoning Board of Appeals in accordance with the provisions of this ordinance.
5. Any use or development, proposed as part of an offer of conditions that would require site plan approval under the terms of this ordinance, may only be commenced if site plan approval for such use or development is ultimately granted in accordance with the provisions of this ordinance.
6. The offer of conditions may be amended during the process of rezoning consideration, provided that any amended or additional conditions are entered voluntarily by the owner.

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	Yes	No	Not Applicable
A. Sanitary Sewer Service			
1. Does project require extension of public sewer line?	☐	☐	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community wastewater system be installed?	☐	☐	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	☐	☐	☐
If yes, is it depicted on plan?	☐	☐	☐
B. Water Service			
1. Does project require extension of public water main?	☐	☐	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community water supply be installed?	☐	☐	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
C. Public utility easements required?	☐	☐	☐
If yes, show on plan.			
D. Stormwater Review/Soil Erosion			
1. Soil Erosion Plans approved by Soil Erosion Office?	☐	☐	☐
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☐
2. Stormwater Plans approved by Township Engineer?	☐	☐	☐

If so, attach approval letter.

If no, are alternate measures shown? ☐ ☐ ☐

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed? ☐ ☐ ☐
   If yes, has Road Commission approved (attach letter)? ☐ ☐ ☐
2. Will public streets connect to adjoining properties or future streets? ☐ ☐ ☐
3. Are private roads or interior drives proposed? ☐ ☐ ☐
4. Will private drives connect to adjoining properties service roads? ☐ ☐ ☐
5. Has the Road Commission or MDOT approved curb cuts? ☐ ☐ ☐
   If yes, attach approved permit.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
3. Following the public hearing, the Planning Commission will make a recommendation on the application to the Township Board.
4. Prior to making a decision, the Township Board will hold a second public hearing on the application. Following the public hearing, the Township Board will make a decision to approve or deny the application.
5. If a Conditional Rezoning is approved or approved with conditions, the decision of the Township Board shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date: 2-1-23

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date:

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date: 2-1-23

Applicant Signature:

Date: 2-1-23

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	**SD**	**ASP/ SDP**
A. Basic Information		
1. Applicant's name, address, telephone number and signature	☐	☐
2. Property owner's name, address, telephone number and signature	☐	☐
3. Proof of property ownership	☐	☐
4. Whether there are any options or liens on the property	☐	☐
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	☐	☐
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	☐	☐
7. A vicinity map showing the area and road network surrounding the property		☐
8. Name, address and phone number of the preparer of the site plan	☐	☐
9. Project title or name of the proposed development	☐	☐
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	☐	☐
11. Land uses and zoning classification on the subject parcel and adjoining parcels	☐	☐
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		☐
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	☐	☐
2. Boundary dimensions of natural features		☐
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		☐
4. Proposed alterations to topography and other natural features		☐
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		☐
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	☐	☐
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		☐
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		☐
9. Proposed finish floor and grade line elevations of any structures **Required only for habitable construction within the floodplain on site diagrams and administrative site plans.*	☐	☐
10. Existing and proposed driveways, including parking areas	☐	☐
11. Neighboring driveways and other vehicular circulation features adjacent to the site		☐
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	☐	☐
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		☐
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		☐
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		☐
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		☐
17. Location of water supply lines and/or wells	☐	☐
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	☐	☐
19. Location, specifications, and access to a water supply in the event of a fire emergency		☐
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		☐
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		☐
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		☐
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		☐
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		☐
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		☐
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		☐
27. Changes or modifications required for any applicable regulatory agencies' approvals		☐

Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

ZONING ORDINANCE AMENDMENT (ZOA) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☑ Map Amendment (Rezoning)
- ☐ Text Amendment
- ☐ Conditional Rezoning

PROJECT / DEVELOPMENT NAME

Hickory Forest Natural Area

APPLICANT INFORMATION

Name:	Matt Cowall, Recreational Authority
Address:	324 Munson Ave, Traverse City, MI 49686
Phone Number:	231-929-3696
Email:	mcowall@liaa.org

AGENT INFORMATION

Name:	Chris Sullivan, Grand Traverse Regional Land Conservancy
Address:	3860 N Long Lake Rd, Ste D, Traverse City, MI 49684
Phone Number:	231-922-1243
Email:	csullivan@gtrlc.org

OWNER INFORMATION

Name:	Bercal Properties LLC
Address:	6223 Peninsula Dr, Traverse City, MI 49686
Phone Number:	See Agent Information
Email:	See Agent Information

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	Matt Cowall, 231-929-3696, mcowall@liaa.org
Agent:	Chris Sullivan, 231-922-1243, csullivan@gtrlc.org
Owner:	Chris Sullivan, 231-922-1243, csullivan@gtrlc.org

PROPERTY INFORMATION

Property Address:	Barney Rd, Traverse City, MI 49684-8315
Property Identification Number:	05-005-050-10
Legal Description:	Please see attached
Zoning District:	A
Master Plan Future Land Use Designation:	Agricultural/Rural Land
Area of Property (acres or square feet):	71.33 acres

Existing Use(s):	None
Proposed Use(s):	Public passive recreation

REQUIRED SUBMITTAL ITEMS

A complete application for a Zoning Ordinance Amendment consists of the following:

Application Form:

- ☑ One original signed application
- ☑ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

- ☑ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

For Map (Rezoning) Amendment only, the following must be included:

Site Diagram

- ☑ Ten complete stapled 11"x17" paper sets
- ☑ One digital set (PDF) only

Supporting Information

- ☑ Ten paper copies of the Impact Statement for Map (Rezoning) Amendment
- ☑ One digital copy of the Impact Statement for Map (Rezoning) Amendment (PDP only)

For Text Amendment only, the following must be included:

- ☐ Ten paper copies of the Impact Statement for Text Amendment
- ☐ One digital copy of the Impact Statement for Text Amendment (PDF only)

For Conditional Rezoning only, the following must be included:

Site Development Plan

- ☐ Ten complete stapled 11"x17" paper sets
- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Supporting Information

- ☐ Ten paper copies of the Impact Statement for Conditional Rezoning
- ☐ One digital copy of the Impact Statement for Conditional Rezoning (PDF only)
- ☐ Ten paper copies of the Offer of Conditions for Conditional Rezoning
- ☐ One digital copy of the Offer of Conditions for Conditional Rezoning (PDF only)

Digital items to be delivered via email or USB flash drive

IMPACT STATEMENT FOR ZONING ORDINANCE MAP AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.
6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no

intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

IMPACT STATEMENT FOR ZONING ORDINANCE TEXT AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. A text amendment should be consistent with the intent and purpose of the adopted master plan.
2. Changed Conditions. The Township shall consider whether any conditions have changed since the zoning ordinance was adopted that might justify the amendment.
3. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas.
4. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
5. Other Factors. The Township may consider any other factors relevant to a zoning text amendment application under state law.

IMPACT STATEMENT FOR CONDITIONAL REZONING

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.
8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

OFFER OF CONDITIONS FOR CONDITIONAL REZONING

A written offer of Conditions as described in § 422.B(3) of the Zoning Ordinance. An owner of land may voluntarily offer, in writing, conditions relating to the use and/or development of land for which a rezoning is requested.

1. The owner's offer of conditions may not purport to authorize uses or developments not permitted in the requested new zoning district.
2. The owner's offer of conditions shall bear a reasonable and rational relationship to the property for which rezoning is requested.
3. Any use or development, proposed as part of an offer of conditions that would require a special land use permit under the terms of this ordinance, may only be commenced if a special land use permit for such use or development is ultimately granted in accordance with the provisions of this ordinance.
4. Any use or development, proposed as part of an offer of conditions that would require a variance under the terms of this ordinance, may only be commenced if a variance for such development is ultimately granted by the Zoning Board of Appeals in accordance with the provisions of this ordinance.
5. Any use or development, proposed as part of an offer of conditions that would require site plan approval under the terms of this ordinance, may only be commenced if site plan approval for such use or development is ultimately granted in accordance with the provisions of this ordinance.
6. The offer of conditions may be amended during the process of rezoning consideration, provided that any amended or additional conditions are entered voluntarily by the owner.

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	Yes	No	Not Applicable
A. Sanitary Sewer Service			
1. Does project require extension of public sewer line?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☑
2. Will a community wastewater system be installed?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☑
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	☐	☑	☐
If yes, is it depicted on plan?	☐	☐	☑
B. Water Service			
1. Does project require extension of public water main?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☑
2. Will a community water supply be installed?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☑
If yes, provide construction plans and specifications			
C. Public utility easements required?	☐	☑	☐
If yes, show on plan.			
D. Stormwater Review/Soil Erosion			
1. Soil Erosion Plans approved by Soil Erosion Office?	☐	☐	☑
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☑
2. Stormwater Plans approved by Township Engineer?	☐	☐	☑

If so, attach approval letter.

If no, are alternate measures shown?	☐	☐	☑

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed?	☐	☑	☐
If yes, has Road Commission approved (attach letter)?	☐	☐	☑
2. Will public streets connect to adjoining properties or future streets?	☐	☐	☑
3. Are private roads or interior drives proposed?	☐	☑	☐
4. Will private drives connect to adjoining properties service roads?	☐	☑	☐
5. Has the Road Commission or MDOT approved curb cuts?	☐	☐	☑

If yes, attach approved permit.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
3. Following the public hearing, the Planning Commission will make a recommendation on the application to the Township Board.
4. Prior to making a decision, the Township Board will hold a second public hearing on the application. Following the public hearing, the Township Board will make a decision to approve or deny the application.
5. If a Conditional Rezoning is approved or approved with conditions, the decision of the Township Board shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:	John Bercini
Applicant Signature:	
Agent Signature:	
Date:	2/2/23

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Bercal Properties LLC authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature: John Bersini

Date: 2-2-23

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature: John Bersini

Date: 2-2-23

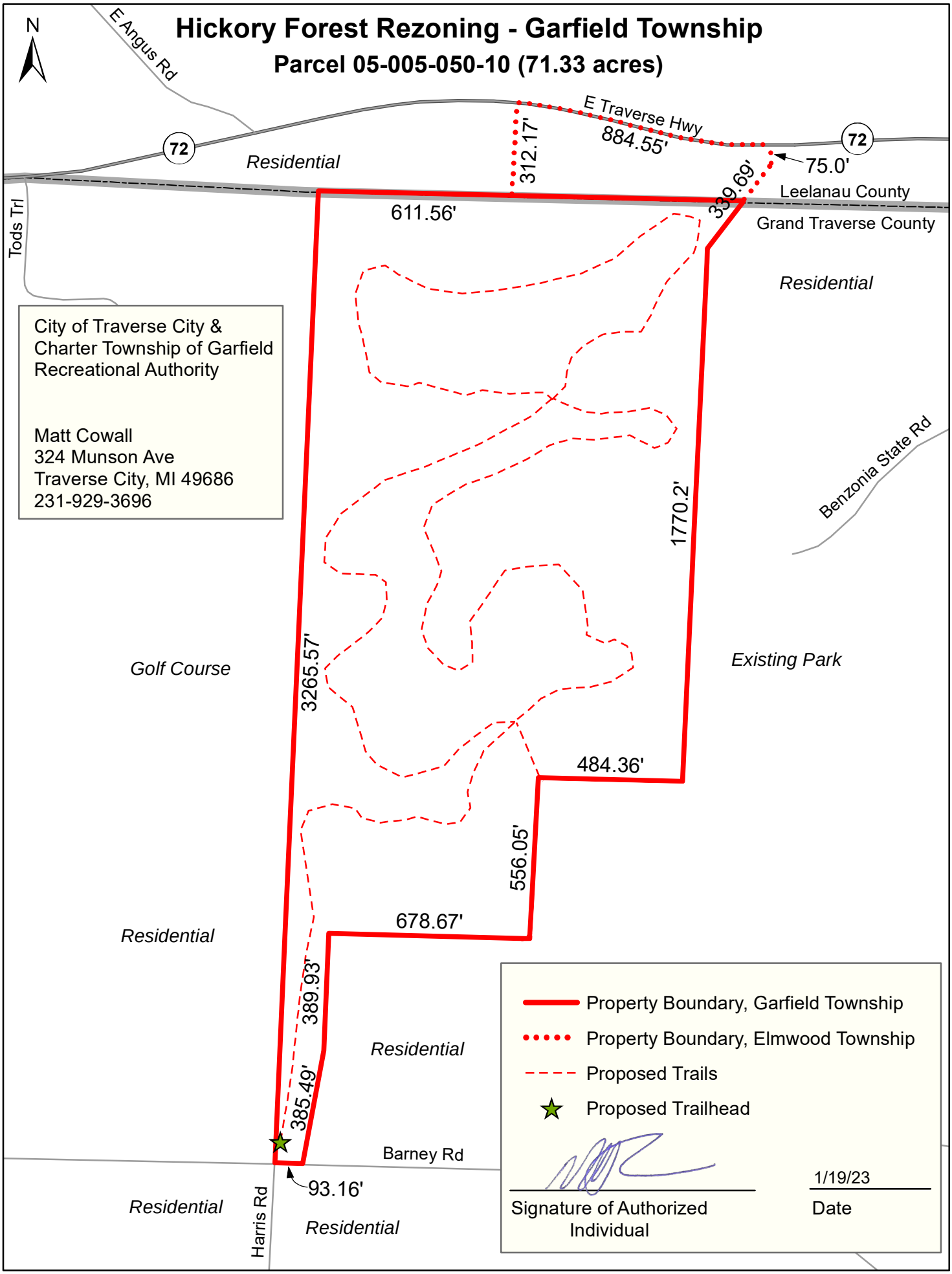
Applicant Signature:

Date: 2-2-23

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	**SD**	**ASP/ SDP**
A. Basic Information		
1. Applicant's name, address, telephone number and signature	☐	☐
2. Property owner's name, address, telephone number and signature	☐	☐
3. Proof of property ownership	☐	☐
4. Whether there are any options or liens on the property	☐	☐
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	☐	☐
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	☐	☐
7. A vicinity map showing the area and road network surrounding the property		☐
8. Name, address and phone number of the preparer of the site plan	☐	☐
9. Project title or name of the proposed development	☐	☐
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	☐	☐
11. Land uses and zoning classification on the subject parcel and adjoining parcels	☐	☐
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		☐
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	☐	☐
2. Boundary dimensions of natural features		☐
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		☐
4. Proposed alterations to topography and other natural features		☐
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		☐
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	☐	☐
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		☐
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		☐
9. Proposed finish floor and grade line elevations of any structures **Required only for habitable construction within the floodplain on site diagrams and administrative site plans.*	☐	☐
10. Existing and proposed driveways, including parking areas	☐	☐
11. Neighboring driveways and other vehicular circulation features adjacent to the site		☐
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	☐	☐
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		☐
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		☐
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		☐
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		☐
17. Location of water supply lines and/or wells	☐	☐
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	☐	☐
19. Location, specifications, and access to a water supply in the event of a fire emergency		☐
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		☐
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		☐
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		☐
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		☐
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		☐
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		☐
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		☐
27. Changes or modifications required for any applicable regulatory agencies' approvals		☐

Hickory Forest Rezoning - Garfield Township

Parcel 05-005-050-10 (71.33 acres)



Received in Leelanau
06/04/2020 11:20:00 AM

DOCUMENT NO. 2020003235
Total Pages: 6
06/04/2020 02:24 PM Fees: $35.00
DOROTHY M. MILLER, Register of Deeds
Leelanau County, MI

Part of 28-05-005-005-00
28-05-005-050-00
Parcel # 28-05-005-047-20 By SCK
STATE OF MICHIGAN, County of Grand Traverse, at Traverse City _____. I hereby certify that there are no Tax liens or Titles held by the State of any individual against the within description, and all taxes on same are paid for five years previous to the date of the instrument as appears by the records in my office. This does not cover taxes in the process of collection by Township, City or Village
5/21/2020 Grand Traverse County, Treasurer
SGWDD

WARRANTY DEED

THE GRANTORS:

MARILEE WOODARD (also known as Marilee C. Woodard), Trustee of the Clarence T. Kroupa and Esther G. Kroupa Joint Revocable Living Trust dated September 8, 2010, as amended (hereafter Kroupa Trust), whose address is 5431 Goodrick Road, Traverse City, MI 49684;

STEVEN H. WOODARD and MARILEE WOODARD (also known as Marilee C. Woodard), husband and wife (hereafter Woodard), whose address is 5431 Goodrick Road, Traverse City, MI 49684;

STEVEN H. WOODARD and MARILEE WOODARD (also known as Marilee C. Woodard), Cotrustees of the Steven H. Woodard and Marilee C. Woodard Joint Revocable Trust Agreement dated July 28, 2010 (hereafter Woodard Trust), whose address is 5431 Goodrick Road, Traverse City, MI 49684;

AND

MARK O. ALEXANDER and REBECCA A. ALEXANDER, husband and wife (hereafter Alexander), whose address is 305 Windy Rush Lane, DeWitt, MI 48820;

CONVEY AND WARRANT * TO

THE GRANTEE: BERCAL PROPERTIES LLC, a Michigan limited liability company, whose address is 6223 Peninsula Drive, Traverse City, MI 49686;

Land situated in the Township of Garfield, County of Grand Traverse, State of Michigan, and in the Township of Elmwood, County of Leelanau, State of Michigan, described more fully on Exhibit A attached hereto. 004-032-036-25 004-032-036-35

For the sum of Consideration set forth in the Real Estate Transfer Tax Valuation Affidavit filed.

*The Grantors warrant title, respectively, to that part of the property described in Exhibit A as set forth in the Old Republic National Title Insurance Commitments Nos. MI-398030 (Alexanders and Woodard Trust); MI-398024 (Alexanders and Woodard Trust); and MI-398022 (Kroupa Trust).

Land Division Approval of the parent parcel was given by the Charter Township of Garfield (Grand Traverse County, Michigan) by Certificate of Approval dated November 26, 2019, and recorded as Document No. 2020R-03789 in the Office of the Grand Traverse County Register of Deeds.

TAX CERTIFICATION LEELANAU COUNTY SUTTONS BAY, MI 6/4/2020 I hereby certify that, according to our records, all taxes returned to this office are paid five (5) years preceding the 15 day of 5/2020 This does not include taxes in the process of collection by Township, Cities or Villages, Board of Review changes, Michigan Tax Tribunal changes, or changes due to Principal Residence Exemptions or corrections
John A Gallagher III Leelanau County Treasuer

MAY 21 '20 AM10:21

MICHIGAN REAL ESTATE TRANSFER TAX
2020003235

06/04/2020 02:24 PM Leelanau County, MI
Receipt# 20-3283
Tax Stamp # 25311

County Tax: $45.10 State Tax: $307.50

Signed by GRANTOR:

Clarence T. Kroupa and Esther G. Kroupa Joint Revocable Living Trust dated 09/08/2010, as amended

Date: May 15, 2020

By: Marilee C. Woodard, trustee
MARILEE WOODARD, Trustee

STATE OF MICHIGAN)
COUNTY OF LEELANAU)

The foregoing instrument was acknowledged before me on May 15, 2020, by Marilee Woodard, Trustee of the Clarence T. Kroupa and Esther G. Kroupa Joint Revocable Living Trust dated 09/08/2010, as amended, with the authority of and on behalf of said Trust.

James R. Williams, Notary Public
Leelanau County, State of Michigan
My commission expires: 07/18/2023

~~~~~~~~

Signed by GRANTORS:

Steven H. Woodard
STEVEN H. WOODARD

Date: May 15, 2020

Marilee C. Woodard
MARILEE WOODARD

STATE OF MICHIGAN)
COUNTY OF LEELANAU)

The foregoing instrument was acknowledged before me on May 15, 2020, by STEVEN H. WOODARD and MARILEE WOODARD, husband and wife.

James R. Williams, Notary Public
Leelanau County, State of Michigan
My commission expires: 07/18/2023

~~~~~~~~

Signed by GRANTORS:

Steven H. Woodard & Marilee C. Woodard Joint Revocable Trust Agreement dated July 28, 2010

By: Steven H. Woodard
STEVEN H. WOODARD, Cotrustee

Date: May 15, 2020

By: Marilee C. Woodard
MARILEE C. WOODARD, Cotrustee

STATE OF MICHIGAN)
COUNTY OF LEELANAU)

The foregoing instrument was acknowledged before me on May 15, 2020, by Steven H. Woodard and Marilee C. Woodard, Cotrustees of the Steven H. Woodard and Marilee C. Woodard Joint Revocable Trust Agreement dated July 28, 2010, with the authority of and on behalf of said Trust.

James R. Williams, Notary Public
Leelanau County, State of Michigan
My commission expires: 07/18/2023

~~~~~~~~

Signed by GRANTORS:

MARK O. ALEXANDER

Date: May 15, 2020

REBECCA A. ALEXANDER

STATE OF MICHIGAN)
COUNTY OF LEELANAU)

The foregoing instrument was acknowledged before me on May 15, 2020, by MARK O. ALEXANDER and REBECCA A. ALEXANDER, husband and wife.

James R. Williams, Notary Public
Leelanau County, State of Michigan
My commission expires: 07/18/2023

~~~~~~~~

When Recorded Return To/Send Subsequent Tax Bills To:

Bercal Properties LLC
6223 Peninsula Drive
Traverse City, MI 49686

Drafted by:

Law Offices of James R. Williams
By: James R. Williams (P22351)
105 W. Broadway, P.O. Box 458
Suttons Bay, MI 49682-0458
(231) 271-3254

Tax Parcel IDs 45-004-032-036-35
45-004-032-036-25
28-05-005-047-20
28-05-005-005-00
28-05-005-050-00

Recording Fees: $35.00

g\tr-adm\kroupa\warranty deed to bercal llc gtrlc REVUSED4-30-2020

EXHIBIT A
Attachment to Warranty Deed

MARILEE WOODARD, Trustee of the Clarence T. Kroupa and Esther G. Kroupa Joint Revocable Living Trust dated September 8, 2010, as amended - Grantor
STEVEN H. WOODARD and MARILEE WOODARD, husband and wife - Grantors
STEVEN H. WOODARD and MARILEE WOODARD, Cotrustees of the Steven H. Woodard and Marilee C. Woodard Joint Revocable Trust Agreement dated July 28, 2010 - Grantors
MARK O. ALEXANDER and REBECCA A. ALEXANDER, husband and wife - Grantors
BERCAL PROPERTIES LLC, a Michigan limited liability company - Grantee

Legal Description

Land in the Township of Garfield, County of Grand Traverse, State of Michigan, and in the Township of Elmwood, County of Leelanau, State of Michigan, described as follows:

PARCEL A
Part of the Northwest 1/4 of Section 5, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, described as:

Beginning at the West quarter corner of Section 5; thence North 01°31'36" East along the West line of Section 5, 3265.57 feet to the Northwest corner of Section 5; thence South 89°26'24" East along the North line of Section 5, 1311.56 feet to a found 1/8th corner as previously used in surveys recorded in Liber 1, page 151 and Liber 5, page 595; thence South 89°37'49" East along the North line of Section 5, 110.58 feet; thence South 35°53'54" West, 196.16 feet to a previously established 1/8th line; thence South 01°35'38" West along the West 1/8th line of Section 5, 1770.20 feet to a found 1/8th corner as previously used in a survey recorded in Liber 1, page 151; thence South 89°43'47" West along the North 1/8th line of Section 5, 484.36 feet; thence South 01°31'36" West, 556.05 feet; thence North 89°34'45" West, 678.67 feet; thence South 01°31'36" West, 389.93 feet; thence South 09°28'37" West, 385.49 feet to the South line of Section 5; thence North 89°34'18" West along the South line of Section 5, 93.16 feet to the Point of Beginning.

And

Part of the Southwest 1/4 of Section 32, Town 28 North, Range 11 West, Elmwood Township, Leelanau County, Michigan, described as:

Commencing at the Southwest 1/4 corner of Section 32; thence South 89°26'24" East along the South line of Section 32, 611.56 feet to the Point of Beginning; thence South 89°26'24" East along the South line of Section 32, 700.00 feet to a found 1/8th corner as previously used in surveys recorded in Liber 1, page 151 and Liber 5, page 595; thence South 89°37'49" East along the South line of Section 32, 110.58 feet; thence North 35°53'54" East, 143.53 feet to the South right of way of M-72; thence North 00°36'11" East, 75.00 feet to the centerline of M-72; thence along said centerline 381.85 feet along the arc of a 1912.26 foot radius curve to the right, having an included angle of 11°26'28", and the long chord of which bears North 83°40'35" West, 381.22 feet; thence North 77°57'44" West along said centerline, 229.76 feet; thence along said centerline 273.80 feet along the arc of a 1910.80 foot radius curve to the left, having an included angle of 8°12'36" and the

long chord of which bears North 82°02'49" West, 273.57 feet; thence South 03°50'53" West, 312.17 feet to the Point of Beginning.

PREVIOUSLY DESCRIBED AS:

PARCEL 1:

Property located in the Township of Elmwood, County of Leelanau, State of Michigan, described as follows:

Part of the Southwest 1/4, Section 32, Town 28 North, Range 11 West, more fully described as: Commencing at the Southwest corner of said Section 32; thence South 89°32'07" East, along the South line of said Section 32, 611.64 feet to the Point of Beginning; thence continuing South 89°32'07" East, along said South line, 350.00 feet; thence North 11°56'33" East, 258.83 feet to the centerline of State Highway M-72; thence North 78°03'27" West, along said centerline, 114.60 feet; thence Northwesterly, continuing along said centerline, 273.80 feet on the arc of a 1910.80 foot radius curve to the left (Long Chord equals North 82°08'32" West, 272.57 feet); thence South 03°45'10" West, 312.18 feet to the Point of Beginning.

PARCELS 2 & 3:

Property located in the Townships of Elmwood and Garfield, County of Leelanau and Grand Traverse, State of Michigan, described as follows:

That part of Section 5, Town 27 North, Range 11 West, and that part of Section 32, Town 28 North, Range 11 West, described as: Commencing at the Southwest Corner of said Section 32; thence South 89°32'07" East, along the South line of said Section 32, 961.64 feet to the POINT OF BEGINNING; thence continuing South 89°32'07" East along said South line, 350 feet; thence South 01°28'00" West, 160.00 feet; thence North 35°45'35" East, 339.91 feet to the South right-of-way line of State Highway M-72; thence North 00°30'28" East, 75.00 feet to the centerline of said M-72; thence Northwesterly along said centerline, 381.85 feet on the arc of a 1912.26 foot radius curve to the right (Long Chord = North 83°46'18" West, 381.22 feet), thence North 78°03'27" West, continuing along said centerline, 115.16 feet; thence South 11°56'33" West, 258.83 feet to the Point of Beginning.

PARCEL 4:

Property located in the Township of Garfield, County of Grand Traverse, State of Michigan, described as follows:

Parcel A:

The West ½ of the Northwest 1/4 of the Northwest 1/4, Section 5, Town 27 North, Range 11 West,

AND

Parcel B:

The East ½ of Government Lot 4, Section 5, Town 27 North, Range 11 West.

PARCEL 5:

Property located in the Township of Garfield, County of Grand Traverse, State of Michigan, described as follows:

Beginning at the Southwest corner of Southwest 1/4 of the Northwest 1/4 of Section 5, Town 27 North, Range 11 West, thence running East 50 rods; thence North 80 rods to 1/8 line; thence West on 1/8 line 50 rods to Section line; thence South on Section line 80 rods to place of beginning. EXCEPT part of the Southwest 1/4 of the Northwest 1/4 of Section 5, Township 27 North, Range 11 West, more fully described as: Commencing at the West 1/4 corner of said Section 5; thence North 89°44'00" East, 92.64 feet along the East and West 1/4 line of said Section 5, for the Point of Beginning; thence North 08°48'30" East, 385.48 feet; thence North 88°19'01" East, 194.33 feet; thence South 02°49'30" West, 98.85 feet; thence South 22°54'00" East, 103.63 feet; thence South 15°43'16" East, 93.98 feet; thence South 01°17'11" East, 100.53 feet; thence South 89°44'00" West, 316.46 feet, along said East and West 1/4 line to the Point of Beginning. EXCEPT: Commencing at the West 1/4 corner of Section 5; thence South 89°34'18" East along the South line of Section 5, 409.62 feet to the Point of Beginning; thence North 00°37'04" West, 100.69 feet; thence North 15°03'09" West, 93.98 feet; thence North 22°13'53" West, 103.63 feet; thence North 03°29'37" East, 98.85 feet; thence South 88°59'08" West, 194.33 feet; thence North 01°31'36" East, 389.93 feet; thence South 89°34'45" East, 678.67 feet; thence South 01°31'36" West, 770.78 feet to the South line of Section 5; thence North 89°34'18" West along the South line of Section 5, 415.54 feet to the Point of Beginning.

Subject to and together with easements, restrictions and reservations of record, if any.

The within described parcel is that certain Parcel "A" shown and described in that certain Certificate of Survey by Mansfield Land Use Consultants dated 9/16/2019. Job No. 191956.

The Grantors grant to the Grantee the right to make no (-0-) divisions of the conveyed parcel under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

* * * * * * * *

Parcel 05-005-050-10

Grand Traverse County Property Information 2022 - December Board of Review

Parcel: 05-005-050-10
Jurisdiction: Garfield Township
Owner Name: BERCAL PROPERTIES LLC
Property Address: BARNEY RD
TRAVERSE CITY, MI 49684-8315
Mailing Address: 6223 PENINSULA DR
TRAVERSE CITY, MI 49686-1915

2022 - December Board of Review Property Information

Current Taxable Value: $270,232
School District: 28010
Current Assessment: $383,200
Current S.E.V.: $383,200
Current P.R.E.*: 0%
* This percentage may pertain to exemptions other than the Principal Residence Exemption.
Current Property Class: 402 - Residential - Vacant

Tax Information

Taxable Year	Summer Tax Amount	Winter Tax Amount
2021	$9,507.31	$2,261.04
2020	$0.00	$0.00

Delinquent Tax Information

For current delinquent tax information or to pay your delinquent taxes online, CLICK HERE and you will be redirected to a third party site.

Property Sale Information

Sale Date	Sale Amount	Liber and Page

5/15/2020	$654,274.00	2020R-08756

Tax Description

PT NW1/4 SEC 5 T27N R11W COM W1/4 COR SEC 5 TH N 01DEG 31'36"E 3265.57' TH S 89DEG 26'24"E 1311.56' TH S 89DEG 37'49"E 110.58' TH S 35DEG 53'54"W 196.16' TH S 01DEG 35'38"W 1770.2' TH S 89DEG 43'47"W 484.36' TH S 01DEG 31'36"W 556.05' TH N 89DEG 34'45"W 678.67' TH S 01DEG 31'36"W 389.93' TH S 09DEG 28'37"W 385.49' TH N 89DEG 34'18"W 93.16' TO POB SUBJ TO RD ROW (ALSO PT SW1/4 SEC 32 T28N R11W) COMBINED ON 05/20/2020 FROM PT OF 05-005-005-00, 05-005-050-00, 05-005-047-20;

City of Traverse City & Charter Township of Garfield Recreational Authority
Hickory Forest Acquisition
TF21-0143

Legal Description

The land referred to is situated in the **Townships of Garfield** and **Elmwood, County of Grand Traverse** and the **County of Leelanau**, State of **Michigan**, and is described as follows:

PARCEL A:
Part of the Northwest 1/4 of Section 5, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, described as:
Beginning at the West quarter corner of Section 5; thence North 01°31'36" East along the West line of Section 5, 3265.57 feet to the Northwest corner of Section 5; thence South 89°26'24" East along the North line of Section 5, 1311.56 feet to a found 1/8th corner as previously used in surveys recorded in Liber 1, page 151 and Liber 5, page 595; thence South 89°37'49" East along the North line of Section 5, 110.58 feet; thence South 35°53'54" West, 196.16 feet to a previously established 1/8th line; thence South 01°35'38" West along 1/8th line of Section 5, 1770.20 feet to a found 1/8th corner as previously used in a survey recorded in Liber 1, page 151; thence South 89°43'47" West along the North 1/8th line of Section 5, 484.36 feet; thence South 01°31'36" West, 556.05 feet; thence North 89°34'45" West, 678.67 feet; thence South 01°31'36" West, 389.93 feet; thence South 09°28'37" West, 385.49 feet to the South line of Section 5; thence North 89°34'18" West along the South line of Section 5, 93.16 feet to the point of beginning.
AND
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Commencing at the Southwest 1/4 corner of Section 32; thence South 89°26'24" East along the South line of Section 32, 611.56 feet to the Point of Beginning; thence South 89°26'24" East along the South line of Section 32, 700.00 feet to a found 1/8th corner as previously used in surveys recorded in Liber 1, page 151 and Liber 5, page 595; thence South 89°37'49" East along the South line of Section 32, 110.58 feet; thence North 35°53'54" East, 143.53 feet to the South right of way of M-72; thence North 00°36'11" East, 75.00 feet to the centerline of M-72; thence along said centerline 381.85 feet along the arc of a 1912.26 foot radius curve to the right, having an included angle of 11°26'28", and the long chord of which bears North 83°40'35" West, 381.22 feet; thence North 77°57'44" West along said centerline, 229.76 feet; thence along said centerline 273.80 feet along the arc of a 1910.80 foot radius curve to the left, having an included angle of 8°12'36", and the long chord of which bears North 82°02'49" West, 273.57 feet; thence South 03°50'53" West, 312.17 feet to the Point of Beginning.

PREVIOUSLY DESCRIBED AS:

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Property located in the Township of Elmwood, County of Leelanau, State of Michigan, described as follows:

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PARCELS 2 & 3:
Property located in the Township of Elmwood and Garfield, County of Leelanau and Grand Traverse, State of Michigan, described as follows:
That part of Section 5, Town 27 North, Range 11 West, and that part of Section 32, Town 28, Range 11 West, described as: Commencing at the Southwest Corner of said Section 32; thence South 89°32'07" East, along the South line of said Section 32, 961.64 feet to the POINT OF BEGINNING; thence continuing South 89°32'07" East along said South line, 350 feet; thence South 01°28'00" West, 160.00 feet; thence North 35°45'35" East, 339.91 feet to the South right-of-way line of State Highway M-72; thence North 00°30'28" East, 75.00 feet to the centerline of said M-72; thence Northwesterly, along said centerline, 381.85 feet on the arc of a 1912.26 foot radius curve to the right (Long Chord = North 83°46'18" West, 381.22 feet), thence North 78°03'27" West, continuing along said centerline, 115.16 feet; thence South 11°56'33" West, 258.83 feet to the point of beginning.

PARCEL 4:
Property located in the Township of Garfield, County of Grand Traverse, State of Michigan, described as follows:
Parcel A:
The West 1/2 of the Northwest 1/4 of the Northwest 1/4, Section 5, Town 27 North, Range 11 West.
AND
Parcel B:
The East 1/2 of Government Lot 4, Section 5, Town 27 North, Range 11 West.

PARCEL 5:
Property located in the Township of Garfield, County of Grand traverse, State of Michigan, described as follows:
Beginning at the Southwest corner of Southwest 1/4 of the Northwest 1/4 of Section 5, Town 27 North, Range 11 West, thence running East 50 rods; thence North 80 rods to 1/8 line; thence West on 1/8 line 50 rods to Section line; thence South on Section line 80 rods to place of beginning. EXCEPT part of the Southwest 1/4 of the Northwest 1/4 of Section 5, Township 27 North, Range 11 West, more fully described as: Commencing at the West 1/4 corner of said Section 5; thence North 89°44'00" East, 92.64 feet along the East and West 1/4 line of said Section 5, for the Point of Beginning; thence North 08°48'30" East, 385.48 feet; thence North 88°19'01" East, 194.33 feet; thence South 02°49'30" West, 98.85 feet; thence South 22°54'00" East, 103.63 feet; thence South 15°43'16" East, 93.98 feet; thence South 01°17'11" East, 100.53 feet; thence South 89°44'00" West, 316.46 feet, along said East and West 1/4 line to the Point of

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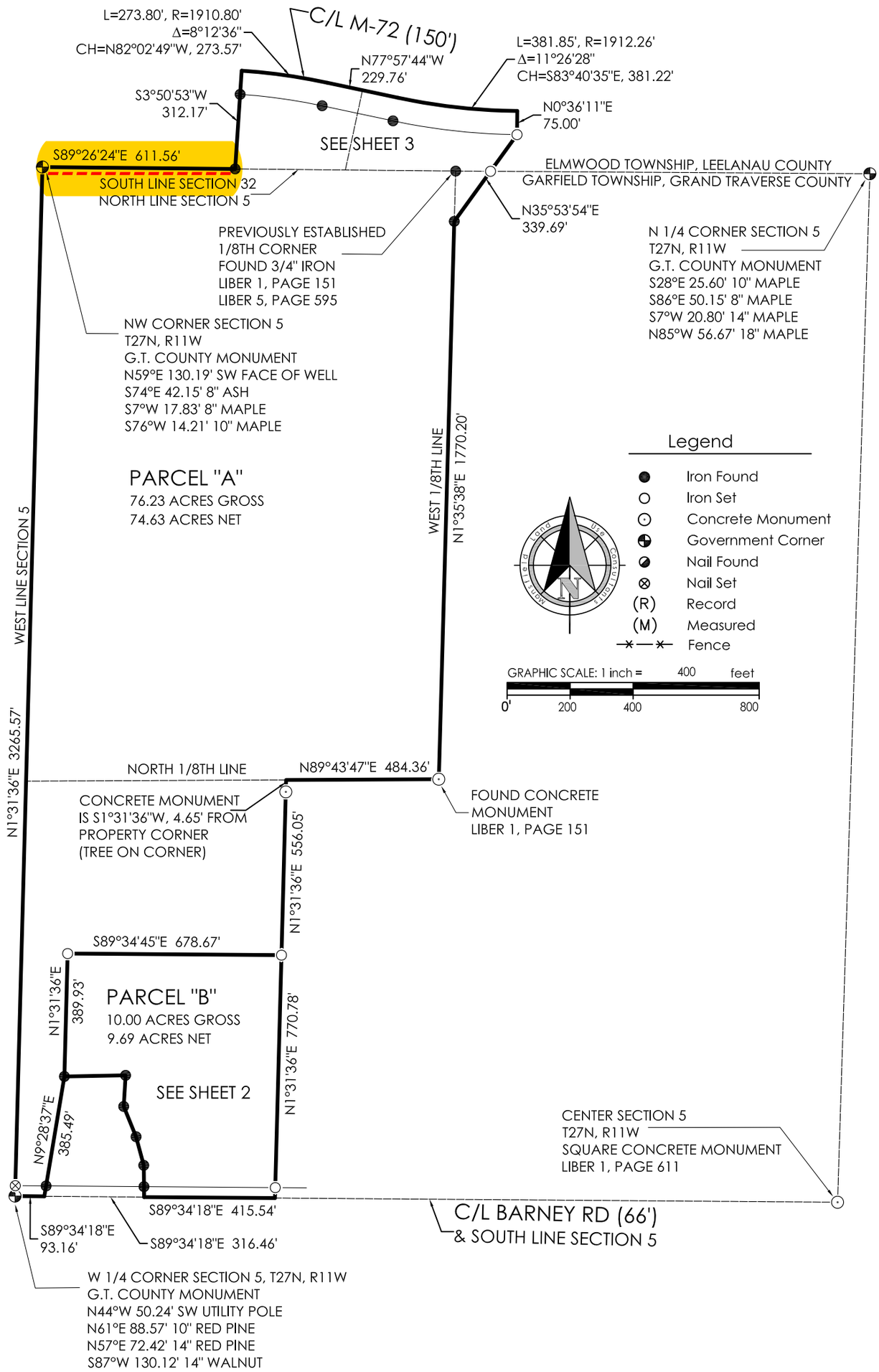
File # MI-411250

CERTIFICATE OF SURVEY



I, Michael K. Geisert, a Professional Surveyor in the State of Michigan, do hereby certify: That I have surveyed and mapped the herein described parcel(s), that the relative positional precision of each corner is within the limits accepted by the practice of professional surveying and that I have fully complied with the requirements of P.A. 132 of 1970, as amended. This survey plat was prepared for the exclusive use of persons, or entities named in the certificate hereon.

CERTIFY TO:
Grand Traverse
Regional Land Conservancy

Mansfield
Land Use Consultants
Planners - Civil Engineers - Surveyors

PO Box 4015
830 Cottageview Dr., Suite 201
Traverse City, MI, 49685
Ph: (231) 946-9310
www.maaeps.com

BEARING BASIS: Assumed | DRN: MKG | CKD: MKG

Part of
Section 5, T27N, R11W & Section 32, T28N, R11W
Garfield Twp, Grand Traverse Co & Elmwood Twp, Leelanau Co

9/16/2019
JOB NO.: 19156
SHT 1 OF 4

HICKORY FOREST NATURAL AREA
IMPACT STATEMENT FOR ZONING ORDINANCE MAP AMENDMENT

A writ en impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.

This Zoning Ordinance Map Amendment is a request to rezone the subject parcel 05-005-050-10 from Agricultural (A) to Park-Recreation (P-R). The Township Planning Department recommended that we apply for this map amendment as a housekeeping mat er, as it will streamline the property's pending use as a public natural area and align that recreational use with Township goals, policies and procedures going forward.

This rezoning request is consistent with the intent and purpose of the current Township Master Plan adopted in 2018. The Implementation chapter of the Master Plan describes the Township's priorities for implementing the goals and objectives contained in the Master Plan. Priorities listed under Natural Resources and Parks and Recreational Opportunities (page 51 in the Master Plan) that are relevant to this amendment request are as follows:

- Continue to work closely with area environmental groups and other interested organizations to support environmental preservation and restoration efforts within the Township.
- Continue implementation of the Township's Green Infrastructure Plan and consider updates to that plan to reflect natural resource management best practices and changing circumstances. (Note: the 2018-2023 Green Infrastructure Plan identifies the subject parcel as an acquisition target.)
- Continue efforts to acquire additional property for parklands via grants, conservation easements, and open space preservation requirements in development approvals.

2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.

We do not anticipate any adverse impact upon neighboring lands. A P-R designation is consistent with the uses of the surrounding area, as the lot is predominantly bounded by Bay Meadows Golf Course to the west and the Hickory Hills public parkland to the east. The property will welcome passive recreational uses such as hiking, snowshoeing and nature appreciation.

3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.

As described to us by the Township Planning Department, rezoning from A to P-R will streamline future operations of the parkland, such as the creation of trailheads and trails, that are more directly atr ibutable to parks and recreational uses than to agricultural uses.

4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.

Though the Township had identified this parcel as a possible Green Infrastructure component for many years, the opportunity to acquire it for public purposes only arose in 2019. The Recreational Authority was identified as a suitable public owner/operator, but first needed to secure additional operational funding to care for the parcel as well as additional funding to publicly purchase the parcel. In November 2020, voters in Traverse City and Garfield Township overwhelmingly approved a new 20-year operating millage for the Authority (69% in favor in the Township) to help care for the proposed parkland. Then, in December 2021, the Rec Authority was awarded a $467,000 grant from the Michigan Natural Resources Trust Fund to cover 70% of the acquisition cost. Those funds were officially appropriated by the Michigan Legislature in the summer of 2022, and the acquisition process with the state was set in motion at that time. Closing on the property is expected sometime in April of this year, and the Rec Authority hopes to have the property open to the public this summer. This amendment is an important step in that timeline.

5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

We believe this amendment is supportive of public health, safety and general welfare, and that it also helps to protect and preserve historical and cultural places and areas. The property was privately owned and tended for decades by Clarence Kroupa, a well-known local conservationist who painstakingly restored the parcel's steep slopes with the beautiful northern forest that public visitors will now get to see and enjoy on the site.

6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.

The main public policy in favor of this rezoning is to help meet the need for sustainable environmental features, which is consistent with the Township Master Plan, the Township Green Infrastructure Plan, and the surrounding area.

7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

The parcel is approximately 71.33 acres, so it will be a sizable addition to the public parklands that are contiguous with it. Combined with two smaller lots to the north (about 3.7 acres in Elmwood Township, Leelanau County, that will be part of Hickory Forest) and both Hickory Hills (129 acres) and Hickory Meadows (112 acres) adjoining it to the east, the public will soon be able to enjoy some 333 acres of contiguous parkland, which is a remarkable accomplishment so close to the main urban center of our region in the Township and Traverse City.

8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

N/A.

Charter Township of Garfield
Planning Department Report No. 2023-52

Prepared:	May 3, 2023	Pages:	8
Meeting:	May 10, 2023 Planning Commission	Attachments:	☒
Subject:	Pine Grove Homes Special Use Permit – Findings of Fact		
File No.	SUP-2023-01	Parcel No. 05-032-001-20	
Applicant/Owner:	Rick Newman, Pine Grove Homes		
Agent:	William Crain, Crain Engineering LLC		

BRIEF OVERVIEW:

Location: 4030 Meadow Lane Drive, northwest corner of US 31 and Meadow Lane
Parcel area: 4 acres
Existing land use: Vacant
Existing zoning: C-G – General Commercial

PURPOSE OF APPLICATION:

This application is requesting to use an existing vacant site at 4030 Meadow Lane Drive for mobile home sales. This use is described in the Zoning Ordinance as "Sale of Prefabricated Structures" and this use is permitted via Special Use Permit in the C-G General Commercial district.

Zoomed-out aerial image of the subject property (property lines highlighted in blue):

Zoomed-in aerial image of the subject property (property lines highlighted in blue):

APPLICATION HISTORY:

This Special Use Permit application was introduced to the Planning Commission at their regular meeting on March 8, 2023. The Planning Commission accepted the submittal of the application and scheduled the public hearing for their regular meeting on April 12, 2023. Following the public hearing, Commissioners directed Staff to prepare Findings of Fact for the May 10, 2023 regular Planning Commission meeting.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

a) Financing;
b) Availability of adequate public facilities or services;
c) Dedication of land;
d) Reservation of land;
e) Creation of special assessment districts;
f) Creation of restrictive covenants or easements;
g) Special setbacks;
h) Yard requirements;
i) Increased screening or landscaping requirements;
j) Area requirements;
k) Development phasing; or
l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

STAFF COMMENTS:

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Background
At the March 8, 2023 Planning Commission meeting, Staff provided background information regarding this application, indicating that a previous Special Use Permit at this parcel for Pine Grove Homes was approved in 2018, and the Report and Decision Order (RDO) was recorded on June 26, 2018.

Section 423.K. of the Zoning Ordinance describes how a special use permit expires after 2 years from the date the special use permit order was executed, if there is no construction or if "the permitted use has not commenced and proceeded meaningfully toward completion." The applicant may request that the Planning Commission grant a 1-year extension, and this extension is subject to certain criteria. The use has not commenced or proceeded meaningfully toward completion since the previous approval in 2018, therefore such approval is found to have expired automatically. The current Special Use Permit application is thus considered a new application and subject to all review standards for a new Special Use Permit application.

Dumpster Enclosure
According to Section 516 of the Zoning Ordinance, a dumpster enclosure "shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material." The dumpster enclosure details are included on Sheet C-3 with concrete block proposed for the structure. The gate will be made of solid wood material per the standards of Section 516.B.

Lighting
Lighting standards of Section 517 of the Zoning Ordinance are described by the following:

Zoning Ordinance Lighting Standard	***Subject Site***
A. Applicability – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.
B. Shielding and Filtration – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	A photometric plan is provided on Sheet PH-1. Cut sheets are provided for the proposed light fixtures. No proposed fixtures appear to direct light upwards. These fixtures do not appear to direct any glare beyond the lot lines.
C. Illumination – Average illumination levels shall not exceed 3.0 foot-candles (FC) for the main parking area, 2.0 FC for the peripheral parking area, 5.0 FC for main drive areas, and 20.0 FC directly below the lighting fixture. The illumination levels shall also not exceed 1.0 FC adjoining another nonresidential zoning district along a property line, or 2.0 FC along an arterial. Average lighting values of illuminated areas ranging from 0.5 to 1.5 FC are recommended.	The highest illumination levels shown on the photometric plan are directly under the light fixtures, as high as 18.1 foot-candles. Average illumination levels for the parking areas, main drive areas, and below the fixtures appear to be met. The illumination levels at the lot lines appear to be below the maximums described in Table 5-8 of the Zoning Ordinance.

Zoning Ordinance Lighting Standard	***Subject Site***
D. Color Temperature – All proposed lamps shall emit light measuring 3,500 K or warmer.	Details on the photometric plan indicate a 3,000 K fixture will be used and highlight marks on the cut sheet identify this fixture. This proposed fixture will meet the color temperature standard.
E. Prohibitions – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	No prohibited lighting elements are proposed.
F. Pole Height – All pole-mounted lighting shall not exceed the maximum zoning district height.	The maximum height in the C-G district is 35'. The pole heights on Sheet C-3 of the site plan are 20'.

Landscaping
Landscaping requirements are described by the following for each length of greenspace area (e.g., without including the ingress and egress drives) for each lot line and for the parking lot interior area:

Lot Line (Length)	***Adjacent Land Use***	***Buffer Planting Requirement***	***Amount Required***	***Amount Provided***
East (450 ft.)	State Highway (US 31/M-37)	Type "D" * Ground cover as specified in Section 530.J, plus * 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace * Minimum width: 20 feet	18 large trees 14 med./small trees 14 evergreen trees 20-foot width	18 large trees (5 existing) 15 medium/small trees 14 evergreens (1 existing) At least 20-foot width
West (450 ft.)	Multi-Family		18 large trees 14 med./small trees 14 evergreen trees 20-foot width	18 large trees (13 existing) 14 medium/small trees 14 evergreens At least 20-foot width
North (294 ft.)	Industrial	Type "B" * Ground cover as specified in Section 530.J, plus * 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace * Minimum width: 10 feet	6 large trees 3 med./small trees 12 shrubs 10-foot width	6 large trees 4 medium/small trees 13 shrubs At least 10-foot width
South (265 ft.)	Commercial		6 large trees 3 med./small trees 11 shrubs 10-foot width	7 large trees (2 existing) 4 medium/small trees 13 shrubs At least 10-foot width

The landscaping plan shows 21 existing trees to be preserved: 13 "poplar" trees along the back lot line, 5 large trees and 1 evergreen tree along the front (US 31) lot line, and 2 large trees along the side (Meadow Lane) lot line. Section 530.L allows existing landscaping to be credited towards landscaping requirements, including greater credit for larger trees, however the applicant has not indicated they are seeking additional credit for the larger trees. The proposed plant species comply with 530.F and the ISN Planting Guidelines, and the landscaping buffer requirements appear to be met.

Parking, Loading, and Snow Storage
The only useable building on the site will be a 1,680 square-foot office, and 1,250 square feet of this office is useable according to the applicant. Parking requirements for offices are a minimum of 1 per 200 square

feet of floor area and a maximum of 1 per 150 square feet of floor area, giving a parking range of 7-9 total parking spaces. The site plan indicates 9 spaces will be provided.

For two-way operation, parking aisles need to be at least 20 feet wide. Some portions of the existing aisles are less than 20 feet wide. The site plan shows these portions being widened with notes indicating "confirm width of drives to be 20' min width, enlarge with new pavement as required." Parking spaces have been reconfigured from the parking area on the south side to the middle of the site to ensure this drive aisle is at least 20 feet wide.

Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces and a bicycle rack is proposed with space for two bicycles. As clarified by the applicant, a "wave bike rack" is proposed with space for 2 bicycles and cut sheet details have been provided. The office building is small enough that it does not need its own designated loading zone, with the main aisle functioning as a loading area for the modular home units.

As required by Section 551 of the Ordinance, a ratio of ten (10) square feet of snow storage is required per one hundred (100) square feet of parking area. The site plan indicates 47,932 square feet of parking space and maneuvering lane area and 4,793 square feet of snow storage required. The plan indicates 7,300 square feet of snow storage will be provided. Also, snow storage shall be located to prevent damage to landscaping required by this Ordinance. Proposed snow storage areas do not appear to interfere with any landscaping.

Signage
A note on the site plan indicates "Signs are subject to sign permit review. All signs to meet the standards of Section 630 of the Zoning Ordinance."

Agency Reviews
The application is subject to additional reviews from other outside agencies including but not limited to the Township Engineer, Metro Fire, Grand Traverse County Department of Public Works, and Grand Traverse County Soil Erosion and Sedimentation Control. The applicant has submitted an escrow application with escrow amount for stormwater review, allowing for the Township Engineer to conduct this review.

FINDINGS OF FACT:
During their regular meeting on April 12, 2023, the Planning Commission passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration. A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- This site is in the C-G General Commercial zoning district. "Sale of Prefabricated Structures" is permitted via Special Use Permit in the C-G district.
- The Master Plan identifies this site as Commercial on the Future Land Use map. The Commercial land use designation indicates where commercial uses of varying intensity may be appropriate. The Master Plan has only one Commercial designation, to encompass a variety of commercial zoning districts which may be appropriate on a case-by-case, property-by-property basis. In this case, the sites to the south and across the street are zoned as C-G General Commercial as well, so the C-G zoning classification for this site is appropriate.
- The site will be able to meet all regulations of the C-G zoning district.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- The site is part of a corridor with other commercial uses, including RV sales and a furniture store, and is compatible with the adjacent industrial use of small warehousing on the site to the north.
- There are no known wetlands or sensitive areas of the natural environment on this site.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- The proposed use is not expected to generate a high volume of traffic and is not expected to have a major impact on US 31 traffic flow.
- The proposed landscaping will lessen the visual impact of the proposed use on neighboring sites.
- No nuisances or hazards are expected to be generated.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- The use is not anticipated to generate a large demand for parking, and all parking demand can be met on the site.
- No new access drives will be created since the project will use the existing access points to the site.
- The proposed landscaping will lessen the visual impact of the proposed use on neighboring sites.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- There are no known wetlands or sensitive areas of the natural environment on this site.
- The landscaping plan shows that 21 existing trees on the site are proposed to be preserved.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- No new streets are required as part of this development.
- The project is not anticipated to generate a high demand for police, fire, and school services.
- Water and sewer are being reviewed by the Township Engineer and outside agencies.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- The proposed use is compatible with nearby uses and is not expected to generate any nuisances.
- The proposed use is not anticipated to be detrimental to the public health safety, morals, or general welfare.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- The public interest and welfare are served by the proposed use, which is allowed via special use permit in the C-G district.
- A public hearing was held on April 12, 2023. No comments nor concerns were made regarding the proposed use.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- No new access drives will be created since the project will use the existing access points to the site.
- The proposed use is not expected to generate a high volume of traffic and is not expected to have a major impact on US 31 traffic flow.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- The site plan shows a path along the US 31 frontage in accordance with the Zoning Ordinance and the Non-Motorized Plan Map of the Master Plan. The path will be connected to walkways within the site, providing for pedestrian traffic into the site.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

*The Planning Commission may find this standard to be **MET** for the following reasons*:

- The proposed use is permitted via the special use permit process in the C-G district. Nothing about the proposed project would impede the orderly development and improvement of surrounding sites.

ACTION REQUESTED:
The purpose of this agenda item is to consider Findings of Fact for the application. Upon consideration and Planning Commission discussion, the following motion is offered for consideration:

> MOTION THAT the Findings of Fact for application SUP-2023-01, as presented in Planning Department Report 2023-52 and being made a part of this motion, BE ADOPTED.

If, following the applicant presentation and Planning Commission discussion, Commissioners are prepared to approve the application, then the following motion is offered for consideration, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

> MOTION THAT application SUP-2023-01, submitted by Rick Newman for a Special Use Permit for the sale of prefabricated structures at Parcel 05-032-001-20, BE APPROVED, subject to the following conditions:
>
> 1. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
> 2. All proposed site improvements shall be installed prior to the issuance of a Certificate of Occupancy.
> 3. The applicant shall record promptly the Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Director of Planning within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

***Attachments*:**
1. Special Use Permit Application including Impact Assessment, Approval Criteria, and prior reviews by Grand Traverse County Health Department and Department of Public Works, dated January 30, 2023
2. Site Plan Set with most recent revisions dated April 24, 2023
3. Light Fixture Cut Sheets
4. Wave Bike Rack Cut Sheets

Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☑ New Special Use Permit
- ☐ Major Amendment
- ☐ Minor Amendment
- ☐ Administrative Amendment

PROJECT / DEVELOPMENT NAME

Pine Grove Homes

APPLICANT INFORMATION

Name:	Rick Newman, Pine Grove Homes
Address:	3744 N US-31 South, Traverse City, MI 49685
Phone Number:	231-947-6561
Email:	ranewman@hotmail.com

AGENT INFORMATION

Name:	William Crain, Crain engineering, LLC
Address:	7622 Bott Road Buckley, MI 49620
Phone Number:	231-632-4207
Email:	crainengineernglic@gmail.com

OWNER INFORMATION

Name:	Rick Newman, Pine Grove Homes
Address:	3744 N US-31 South, Traverse City, MI 49685
Phone Number:	231-947-6561
Email:	ranewman@hotmail.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	Rick Newmain
Agent:	William Crain
Owner:	

PROPERTY INFORMATION

Property Address:	4030 Meadowland Lane Drive
Property Identification Number:	28-05-032-001-20
Legal Description:	On attached siteplan
Zoning District:	C-G
Master Plan Future Land Use Designation:	C-G
Area of Property (acres or square feet):	3.2 acres

Existing Use(s):	Vacant
Proposed Use(s):	Modular homes sales, Mobile Home Sales

PROJECT TIMELINE

Estimated Start Date:	4-1-23
Estimated Completion Date:	8-30-23

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- ☑ One original signed application
- ☑ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

- ☑ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- ☑ Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- ☑ Two complete bound 24"x36" paper sets
- ☑ One digital set (PDF only)

Written Information:

- ☑ Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- ☑ One digital copy of the Approval Criteria (PDF only)
- ☑ Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- ☑ One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstates that:ecial use is permitted only if the applicant demonstrates that:

- ☒ The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- ☒ The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- ☒ The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- ☒ Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- ☒ The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- ☒ Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- ☒ The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- ☒ The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- ☒ Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- ☒ Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- ☒ The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- ☒ A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- ☒ Types of uses and other man-made facilities.
- ☒ The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- ☒ Phasing of the project including ultimate development proposals.
- ☒ Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- ☒ The method to be used to serve the development with water and sanitary sewer facilities.
- ☒ The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- ☒ If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- ☒ The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- ☒ An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- ☒ The proposed density in units per acre for residential developments.
- ☒ Name(s) and address(es) of person(s) responsible for preparation of statement.
- ☒ Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- ☒ Type, direction, and intensity of outside lighting.
- ☒ General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	Yes	No	Not Applicable
A. Sanitary Sewer Service			
1. Does project require extension of public sewer line?	☐	☒	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☒
2. Will a community wastewater system be installed?	☐	☒	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☒
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	☒	☐	☐
If yes, is it depicted on plan?	☒	☐	☐
B. Water Service			
1. Does project require extension of public water main?	☐	☒	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☒
2. Will a community water supply be installed?	☐	☒	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☒
If yes, provide construction plans and specifications			
C. Public utility easements required?	☐	☒	☐
If yes, show on plan.			
D. Stormwater Review/Soil Erosion			
1. Soil Erosion Plans approved by Soil Erosion Office?	☐	☒	☐ ← Delaware Applies for
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☒
2. Stormwater Plans approved by Township Engineer?	☐	☒	☐
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☒

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed?	☐	☒	☐
If yes, has Road Commission approved (attach letter)?	☐	☐	☒
2. Will public streets connect to adjoining properties or future streets?	☐	☒	☐
3. Are private roads or interior drives proposed?	☒	☐	☐
4. Will private drives connect to adjoining properties service roads?	☒	☐	☐
5. Has the Road Commission or MDOT approved curb cuts?	☐	☒	☐
If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature: Rick Nerr

Applicant Signature:

Agent Signature:

Date: 1/30/23

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Rick Newman authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date: 1/30/23

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date: 1/30/23

Applicant Signature:

Date:

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	**SD**	**ASP/ SDP**
A. Basic Information		
1. Applicant's name, address, telephone number and signature	☐	☒
2. Property owner's name, address, telephone number and signature	☐	☒
3. Proof of property ownership	☐	☒
4. Whether there are any options or liens on the property	☐	☒
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	☐	☒
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	☐	☒
7. A vicinity map showing the area and road network surrounding the property		☒
8. Name, address and phone number of the preparer of the site plan	☐	☒
9. Project title or name of the proposed development	☐	☒
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	☐	☒
11. Land uses and zoning classification on the subject parcel and adjoining parcels	☐	☒
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		☒
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	☐	☒
2. Boundary dimensions of natural features		☒
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		☒
4. Proposed alterations to topography and other natural features		☒
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		☒
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	☐	☒
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		☒
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		☒
9. Proposed finish floor and grade line elevations of any structures **Required only for habitable construction within the floodplain on site diagrams and administrative site plans.*	☐ *	☒
10. Existing and proposed driveways, including parking areas	☐	☒
11. Neighboring driveways and other vehicular circulation features adjacent to the site		☒
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	☐	☒
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		☒
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		☒
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		☒
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		☒
17. Location of water supply lines and/or wells	☐	☒
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	☐	☒
19. Location, specifications, and access to a water supply in the event of a fire emergency		☒
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		☒
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		☒
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		☒
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		☒
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		☒
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		☒
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		☒
27. Changes or modifications required for any applicable regulatory agencies' approvals		☒

Impact Assessment

Pine Grove Homes, Rick Newman
4030 Meadow Lane Drive, Traverse City, Michigan
Garfield Township, Grand Traverse County
Property ID: 28-05-032-001-20

1. The existing site is a parcel of land that currently is an inactive site. It was previously used as modular/manufactured home unit sales yard and then models were moved off. The site currently has a small modular unit on it that will be removed as part of this proposal. The site topography has a gradual slope to the Northwest where there is an existing stormwater basin.
2. The current zoning is C-G General Commercial Zoning District. The Proposed project will be for modular homes sales and mobile homes sales. Proposed employees for site will be 5 full time and estimated average of 10 visitors per day.
3. The proposed use will have multiple buildings, one consisting of an office and multiple units for display/sale. A storage/maintenance building will be placed on the back of the site to be used for operations for unit sales and setup.
4. The project will be built in a single (1) phase of construction. Construction planning on starting January 1, 2018. The existing parking areas and drive lanes are currently in place and will be reused with no site construction other than bringing in office building, display units and building of new storage building.
5. Storm water control will be managed within site by way of a retention basin. The collection system will use existing grades and newly enlarged retention basin in the Northwest corner of the property.
6. The site is serviced by public sewer and existing water well. Water and sewer will be used to service proposed office building.
7. The site Stormwater control measures will be handled by a retention basin located on the site.
8. Public sewer is available to the site along Meadowland Drive.
9. The proposed site should not create an increase of effluent discharge such as noise, dust, fumes and vibration. Landscaping will be provided on property boundaries to aid in screening between uses. Site lighting will be provided and use LED lighting.
10. The proposed use will be approved under the Special Use Permit Application process of Garfield Township under the C-G general Commercial Zoning District.
11. Person responsible for preparation of statement:
    William Crain, P.E.
    Crain Engineering, LLC, 7622 Bott Road Buckley, MI 49620
12. The drainage plan meets the GTCO Soil Erosion ordinance for methods and capacities for run-off control.
13. The site will be lighted by ground mounted lights and wall mounted lights on buildings that will be the box type lamps, directed at proposed modular for sale and directed away from road way and property lines.
14. A 10' road easement NW Corner of property into Meadow Lane Village

APPROVAL CRITERIA

- The proposed use is consistent with the future land use plan and follow the commercial zoning use and classification
- The current site is vacant and proposed use will follow neighboring uses of commercial.
- The proposed use will be low impact with proposed sales of modular and mobile homes. Site will consist of units that display themselves for sale. Use will not be detrimental or hazardous to neighboring properties and uses by way of noise, traffic, dust, odor, etc.
- The site will be screened by way of existing and proposed landscaping, providing parking and access from Meadow Lane Drive and Chickory Drive
- The existing site will utilize existing vegetation and trees for screening along neighboring properties
- Site has access to existing streets, site will utilize onsite well and septic to service office area. Onsite storm water will be provided.
- Use will not be detrimental or hazardous to neighboring properties with public health issues, safety, comfort or general welfare.
- The proposed use will be a relocation of an existing Garfield Twp business to a new facility.
- The proposed site will access existing access point on both the North and South end of property.
- Site will utilize interior traffic patterns to allow easy access thru and around site.
- The proposed site has been and is developed with commercial on North and South.

GRAND TRAVERSE COUNTY HEALTH DEPARTMENT

2650 LaFranier Road
Traverse City, MI 49686
Phone: 231-995-6051

SITE SURVEY NO. 9004

Property Tax No. 28 05 032 001 20

Residential _____ Commercial ✓

Requested by: ☑ Owner ☐ Agent ☐ Purchaser

Date: 2/15/18

Name: Rick Newman

Phone No. (231) 645-7177

Address: 3744 N US 31 South

Location of Property (Including Driving Directions) Township Garfield Section 32

4030 Meadow Lane Dr

Subdivision: _____ Lot No. _____

Soil Conditions: ⊗1 = Sandy loam topsoil 0-6", sandy clay 6"-14", loamy sand 14-24", sandy clay 24-84" ~~clayey sand~~ sandy clay loam 84"-108", medium sand 108-120"; ⊗2 = sandy clay 0"-44", med sand 44"-72", medium sand w/ clay inclusions 72"-86"

On-Site Sewage Disposal: ☑ Suitable ☐ Unsuitable

Reasons/Suggestion for Solution: Parcel is suitable for on site wastewater disposal. Exact size and design of system will be determined at time of permit application. Overexcavation of disposal area may be required. Documentation of sewer unavailability will be required prior to permit application.

2/22/18
(Date of Inspection)

Environmental Health Representative

Received: $250 for Site Survey Receipt No. 44563 Date: 12/15/17

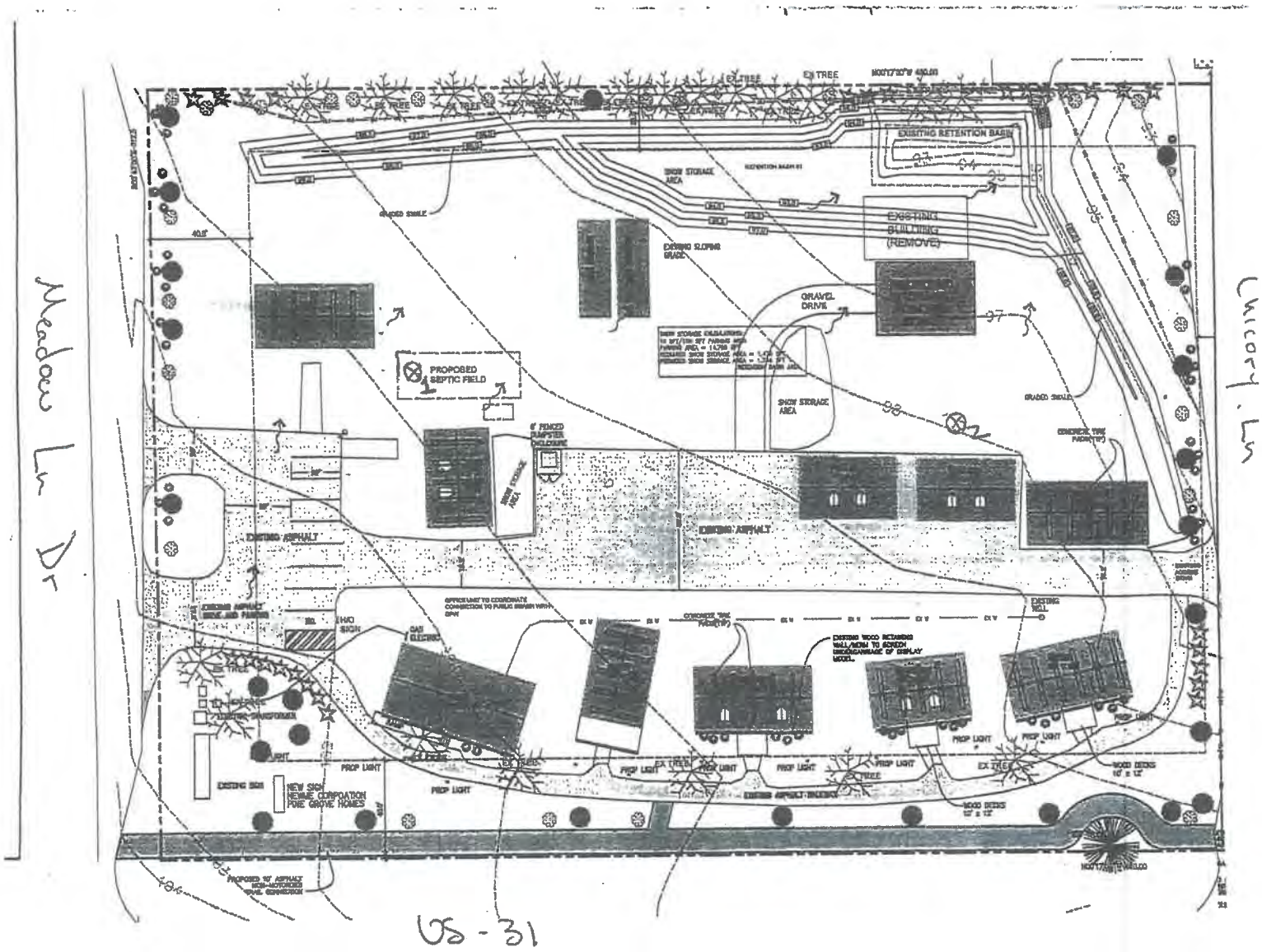
—THIS IS NOT A PERMIT—

GTC #345
Rev. 3/02

Test holes

⊗1 = 44.697933, -85.657411

⊗2 = 44.698494, -85.657322



GRAND TRAVERSE COUNTY
DEPARTMENT OF PUBLIC WORKS
PUBLIC SERVICE BUILDING
2650 LAFRANIER ROAD
TRAVERSE CITY, MI 49686-8972
(231) 995-6039 • FAX (231) 929-7226

March 22, 2018

Mr. Newman,

Thank you for your email inquiry regarding sewer availability at 4030 Meadowlane Drive.

The township ordinance requires connection to a "public" main if the building in which wastewater originates is within 200 feet of said "public" main. The existing building (recently demolished and cut & capped) was part of a larger parcel that included Meadowlane Mobile Home Park. The Mobile Home Park constructed a "private" sewer to service its lots and allowed the existing building to connect to its private sewer. The parcel has since been split and the building demolished and cut&capped from the private sewer. Currently, there is no connection to sewer, "public" or "private".

The DPW does not have the authority to allow a new building being built to connect to this "private" sewer. The DPW does have authority to connect this new building to "public" sewer. The only public sewer within 200 feet of this new building is a high pressure force main to which connections are prohibited.

Therefore, this parcel has two options for sewer service:

1. install and construct "public" sewer either from the south or the north; or
2. install an onsite system.

Option 1 is not a mandatory requirement and is therefore a voluntary decision for the property owner.

Option 2 is available if the health department approves a permit for such a system.

The DPW does not object to the installation of an onsite sewer system for this parcel.

I hope this answers the question and clarifies the issues. If not, please do not hesitate to contact our office.

Sincerely,

John Divozzo

John Divozzo

RECYCLED PAPER

Crain Engineering, LLC

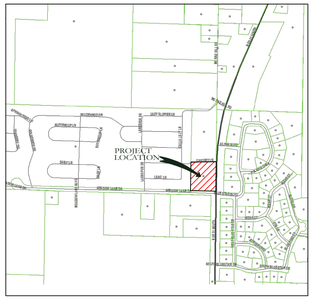
SCALE: 1" = 20 FEET (0 20 40 60)

Parcel # 28-05-032-001-10
MITR MEADOW MHP
4310 MEADOW LANE DR
TRAVERSE CITY, MI 49685
zoning: R-M MOBILE HOME RESIDENTIAL

Parcel # 28-05-032-002-10
BRINKERHOFF PROPERTIES LLC
705 N US 31 SOUTH
TRAVERSE CITY, MI 49685
zoning: C-G GENERAL COMMERCIAL

SNOW STORAGE CALCS

PARKING AREA = 47,932 SFT
SNOW STORAGE AREA = 10SFT/100SFT PARKING
REQUIRED SNOW STORAGE AREA = 4,793 SFT
PROVIDED SNOW STORAGE AREA = 7,300 SFT



LOCATION MAP

LEGEND

- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- 598 EXISTING CONTOUR
- 598 PROPOSED CONTOUR
- DRAINAGE DIRECTION ARROW
- EXISTING TREE LINE
- PROPOSED RETENTION BASIN
- T/C: 100.33 BIT: 100.00 PROPOSED GRADES
- EXISTING WATER LINE
- EXISTING SEWER LINE
- PROPOSED LIGHT POLE

SITE DATA

PROPERTY OWNER & APPLICANT:

NEWMAN RICHARD A TRUST
3744 N. US-31 SOUTH
TRAVERSE CITY, MI 49685
PH: 231-947-6561 Rick Newman

PARCEL ADDRESS - 4030 MEADOWLAND DRIVE
PARCEL ZONING - C-G GENERAL COMMERCIAL
PARCEL NUMBER - 28-05-032-001-20

SETBACKS:

FRONT - 40'
SIDE - 10% LOT WIDTH
REAR - 10% LOT DEPTH
LOT COVERAGE: 140625 SQ. FT.
PROPOSED: 28863 SQ. FT.
PRECENTAGE: 21%

PROPOSED:

MODULAR HOMES SALES & MOBILE HOME SALES

PROPERTY DESCRIPTION:

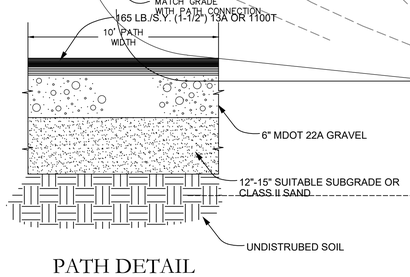
PT N1/2 SEC 32 T27N R11W COM NE COR TH S 00DEG 17'E 1268.15' TO POB TH N 89DEG 22'W 387.5' TH N 00DEG 17'W 450' TH S 89DEG 22'E 387.5' TH S 00DEG 17'E 450' TO POB EXC HWY ROW

PARKING:

REQUIREMENTS: OFFICE: 1 SPACE PER 200 SFT FLOOR AREA
TOTAL BUILDING AREA: 1,680 SFT
USEABLE FLOOR AREA = 1,250 SFT
SPACES REQ'D: 7 SPACES
PROVIDED PARKING: 9 SPACES (INCLUDES 1 HANDICAP SPACES)

SIGNAGE:

SIGNS ARE SUBJECT TO SIGN PERMIT REVIEW. ALL SIGNS TO MEET THE STANDARDS OF SECTION 630 OF THE ZONING ORDINANCE.



PATH DETAIL
NO SCALE

℄ US 31 SOUTH(PUB 120')

Parcel # 28-05-032-001-10
MITR MEADOW MHP
4310 MEADOW LANE DR
TRAVERSE CITY, MI 49685
zoning: C-G GENERAL COMMERCIAL

℄ MEADOW LANE(PUB 66')

Crain Engineering, LLC
Engineering, Consulting, & Design
7622 Bott Road
Buckley, MI 49620
Phone: (231) 947-7255
Cell: (231) 632-4207
email:crainengineeringllc@gmail.com

DRWN BY: WLC
DSGN BY: WLC
DATE: 1-30-2023
REV DATE:
3-1-2023 COMPLETENESS REVIEW
3-7-2023 STAFF REVIEW
4-11-2023 STAFF REVIEW

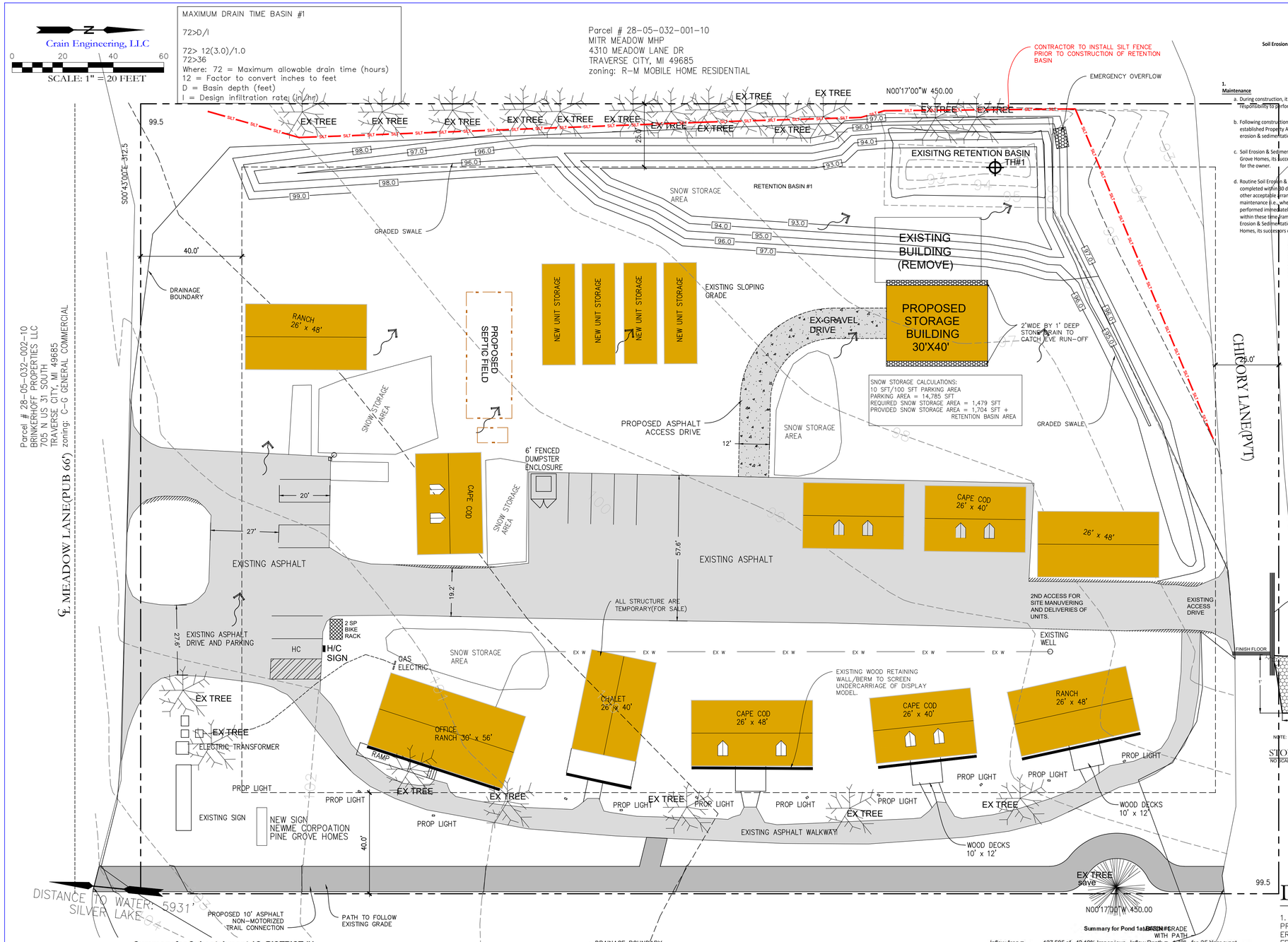
SITE PLAN
PINE GROVE HOMES

SECTION 32 - TOWN 27 NORHT - RANGE 11 WEST
GARFIEL TWP, GRAND TRAVERSE COUNTY, MICHIGAN

MISS DIG
72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG
800-482-7171 (TOLL FREE)

JOB NUMBER: 194723

SHEET C-1



Summary for Subcatchment 1S: DISTRICT #1

Runoff = 6.95 cfs @ 12.08 hrs, Volume= 19,783 cf, Depth= 1.73"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs
Type II 24-hr 25-Year Rainfall=3.89"

Area (sf)	CN	Description
47,932	98	Paved parking, HSG C
78,428	61	>75% Grass cover, Good, HSG B
9,952	98	Roofs, HSG B
1,193	96	Gravel surface, HSG B
137,505	77	Weighted Average
79,621		57.90% Pervious Area
57,884		42.10% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
15.0					**Direct Entry,**

SITE STORMWATER MAINTENANCE PLAN:
INFILTRATION BASIN MAINTENANCE PLAN WILL REQUIRE SEDIMENT BE REMOVED FROM THE TREATMENT FOREBAY WHEN IT REACHES A DEPTH EQUAL TO 50% OF THE DEPTH OF THE FOREBAY OR 12". WHICHEVER IS LESS.

Summary for Pond 1a: BASIN #1

Inflow Area = 137,505 sf, 42.10% Impervious, Inflow Depth = 1.73" for 25-Year event
Inflow = 6.95 cfs @ 12.08 hrs, Volume= 19,783 cf
Outflow = 0.00 cfs @ 1.00 hrs, Volume= 0 cf, Atten= 100%, Lag= 0.0 min
Secondary = 0.00 cfs @ 1.00 hrs, Volume= 0 cf

Routing by Stor-Ind method, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs
Peak Elev= 96.16' @ 24.90 hrs Surf Area= 8,462 sf Storage= 19,782 cf

Plug-Flow detention time= (not calculated: initial storage exceeds outflow)
Center-of-Mass det. time= (not calculated: no outflow)

Volume	Invert	Avail.Storage	Storage Description
#1	93.00'	27,437 cf	**Custom Stage Data (Pyramidal)** Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
93.00	4,216	0	0	4,216
94.00	5,467	4,828	4,828	5,497
95.00	6,807	6,125	10,953	6,874
96.00	8,231	7,508	18,460	8,339
97.00	9,744	8,977	27,437	9,899
96.50		8,242.5	26,709	

Device	Routing	Invert	Outlet Devices
#1	Secondary	96.50'	**Custom Weir/Orifice, Cv= 2.62 (C= 3.28)** Head (feet) 0.00 0.50 Width (feet) 10.00 12.00

Secondary OutFlow Max=0.00 cfs @ 1.00 hrs HW=93.00' (Free Discharge)
└1=Custom Weir/Orifice (Controls 0.00 cfs)

MAINTENANCE PLAN

Soil Erosion & Sedimentation Control - Management System For
Pine Grove Homes
Traverse City, Michigan
Garfield Twp., Grand Traverse County

Responsibility for Soil Erosion & Sedimentation Control

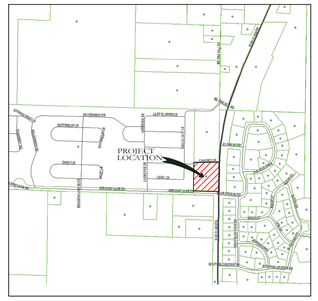
1. **Maintenance**

a. During construction, it is the developer's and/or the developer's designated contractor responsibility to perform the Soil Erosion & Sedimentation Control maintenance.

b. Following construction, it will be the responsibility of Pine Grove Homes, its successors, an established Property Association or an appointed contractor for the owner to perform the soil erosion & sedimentation control maintenance.

c. Soil Erosion & Sedimentation Control inspections should be completed once annually by Pine Grove Homes, its successors, an established Property Association or an appointed contractor for the owner.

d. Routine Soil Erosion & Sedimentation Control maintenance of the owner's property must be completed within 30 days of receipt of written notification that action is required, unless other acceptable arrangements are made with Garfield Township or its successors. Emergency maintenance (i.e., where there is endangerment to public health, safety, or welfare) shall be performed immediately upon receipt of written notice. Should Pine Grove Homes fail to act within these time frames, Garfield Township, or its successors may perform the needed Soil Erosion & Sedimentation Control maintenance and assess the costs against Pine Grove Homes, its successors, or established Property Association.



LOCATION MAP

SITE DATA

PROPERTY OWNER & APPLICANT:

NEWMAN RICHARD A TRUST
3744 N. US-31 SOUTH
TRAVERSE CITY, MI 49685
PH: 231-947-6561 Rick Newman
PARCEL ADDRESS - 4030 MEADOWLAND DRIVE
PARCEL ZONING - C-G GENERAL COMMERCIAL
PARCEL NUMBER - 28-05-032-001-20

SOIL DATA

TH#1
0"–3" SILT
3"–48" MEDIUM–COARSE SAND

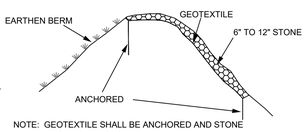
LEGEND

- PROPERTY LINE
- SETBACK
- 598 EXISTING CONTOUR
- 598 PROPOSED CONTOUR
- DRAINAGE DIRECTION ARROW
- EXISTING TREE LINE
- PROPOSED RETENTION BASIN
- EXISTING WATER LINE
- EXISTING SEWER LINE

PROJECT CONSTRUCTION SDHEDULE

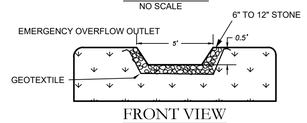
4-1-23 START CONSTRUCTION
4-1-23 INSTALL SILT FENCE
4-1-23 RESHAPE RETENTION BASIN
5-15-23 RESTORE SITE
6-14-23 PROJECT COMPLETE

STONE DRAIN DETAIL
NO SCALE



NOTE: GEOTEXTILE SHALL BE ANCHORED AND STONE BE PLACED OVER GEOTEXTILE.

SIDE VIEW
NO SCALE



FRONT VIEW
NO SCALE

EMERGENCY OVERFLOW DETAIL

DRAINAGE AND GRADING NOTES

1. THE SOIL EROSION MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

2. ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED OR SODDED. MULCH BLANKET SHALL BE INSTALLED IN AREAS AS DESIGNATED AND SHALL BE INCIDENTAL TO OTHER ITEMS.

3. CONTRACTOR SHALL OBTAIN SOIL EROSION PERMIT PRIOR TO ANY CONSTRUCTION.

4. ALL RETENTION BASINS SHALL HAVE 3 ON 1 SIDE SLOPES. (UNLESS NOTED OTHERWISE)

5. PARKING LOT GRADING IN BARRIER FREE AREAS SHALL NOT EXCEED 2% SLOPE.

6. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON AREAS DISTURBED BY CONSTRUCTION AND SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AFTER GROUND COVER IS ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

Crain Engineering, LLC
Engineering, Consulting, & Design
7622 Bott Road
Buckley, MI 49620
Phone: (231) 947-7255
Cell: (231) 632-4207
email:crainengineeringllc@gmail.com

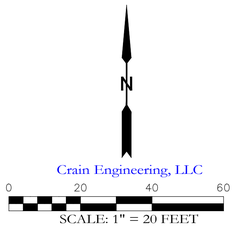
DRWN BY: WLC
DSGN BY: WLC
DATE: 1-30-2023
REV DATE:
3-1-2023 COMPLETENESS REVIEW
4-11-2023 STAFF REVIEW
4-11-2023 STAFF REVIEW

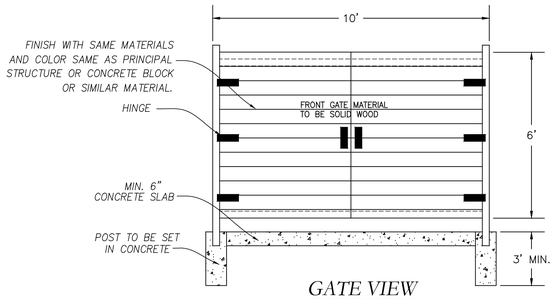
DRAINAGE PLAN PINE GROVE HOMES

SECTION 32 - TOWN 27 NORHT - RANGE 11 WEST
GARFIEL TWP, GRAND TRAVERSE COUNTY, MICHIGAN

JOB NUMBER: 194723

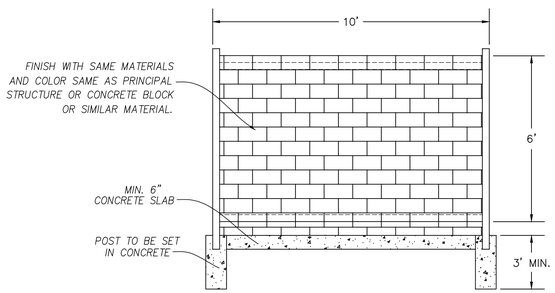
SHEET C-2





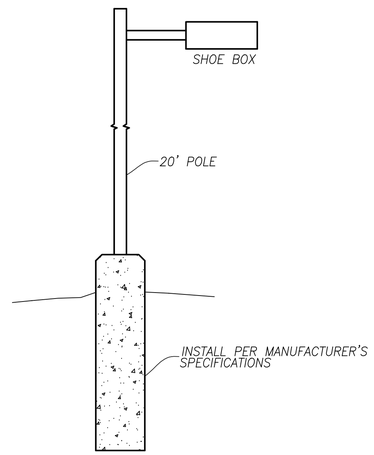
GATE VIEW

NO SCALE



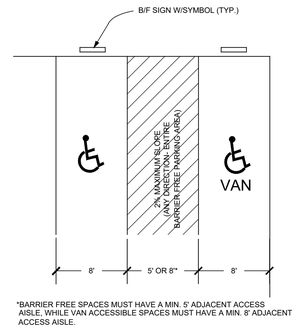
DUMPSTER SCREEN DETAIL

NO SCALE



LIGHT POLE DETAIL

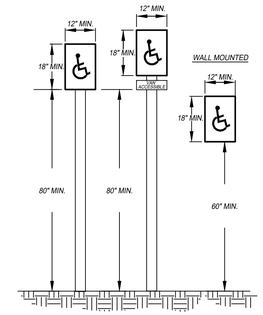
NO SCALE



*BARRIER FREE SPACES MUST HAVE A MIN. 5' ADJACENT ACCESS AISLE, WHILE VAN ACCESSIBLE SPACES MUST HAVE A MIN. 8' ADJACENT ACCESS AISLE.

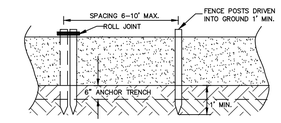
PARKING DETAIL
BARRIER FREE

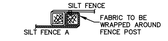
NO SCALE



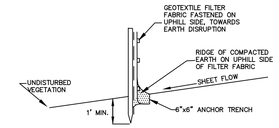
BARRIER-FREE SIGNAGE

NO SCALE





ROLL JOINTS



SILT FENCE

Summary for Pond 1a: BASIN #1

Inflow Area = 137,505 sf, 42.10% Impervious, Inflow Depth = 1.73" for 25-Year event
Inflow = 6.95 cfs @ 12.08 hrs, Volume= 19,783 cf
Outflow = 0.11 cfs @ 22.50 hrs, Volume= 1,322 cf, Atten= 98%, Lag= 625.6 min
Secondary = 0.11 cfs @ 22.50 hrs, Volume= 1,322 cf

Routing by Stor-Ind method, Time Span= 1.00-72.00 hrs, dt= 0.05 hrs
Peak Elev= 96.02' @ 22.50 hrs Surf.Area= 8,256 sf Storage= 18,602 cf

Plug-Flow detention time= 691.5 min calculated for 1,322 cf (7% of inflow)
Center-of-Mass det. time= 528.0 min (1,374.9 - 846.9)

Volume	Invert	Avail.Storage	Storage Description
#1	93.00'	27,437 cf	**Custom Stage Data (Pyramidal)** Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)	Wet.Area (sq-ft)
93.00	4,216	0	0	4,216
94.00	5,467	4,828	4,828	5,497
95.00	6,807	6,125	10,953	6,874
96.00	8,231	7,508	18,460	8,339
97.00	9,744	8,977	27,437	9,899

Device	Routing	Invert	Outlet Devices
#1	Secondary	96.00'	**Custom Weir/Orifice, Cv= 2.62 (C= 3.28)** Head (feet) 0.00 1.00 Width (feet) 10.00 12.00

Secondary OutFlow Max=0.07 cfs @ 22.50 hrs HW=96.02' (Free Discharge)
1=Custom Weir/Orifice (Weir Controls 0.07 cfs @ 0.43 fps)

BASIN #1

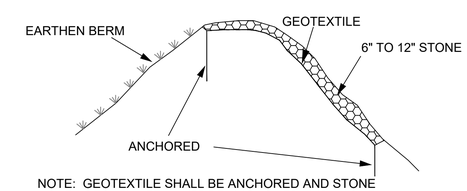
Weir Design

Shape:	Trapezoidal
Side Slope Ratio (V:H):	1.00
Crest Length:	5.0 ft
Invert Elevation:	95.0 ft
Coefficient:	3.33
Number of Openings:	1

Calculation Result

Headwater Elevation:	96.0 ft
Discharge:	24.1425 cfs
Velocity:	4.02 ft/s

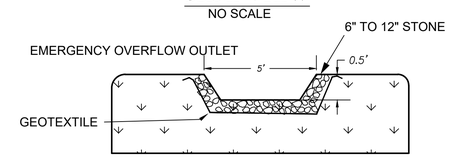
SPILLWAY DESIGN
$Q=2.6*L*H^{3/2}$
L=5'
H=1.0'
$Q=2.6*5*1.0'^{3/2}$
Q=13.0 CFS



NOTE: GEOTEXTILE SHALL BE ANCHORED AND STONE BE PLACED OVER GEOTEXTILE.

SIDE VIEW

NO SCALE



FRONT VIEW

NO SCALE

EMERGENCY OVERFLOW DETAIL

Crain Engineering, LLC
Engineering, Consulting, & Design
7622 Bott Road
Buckley, MI 49620
Phone: (231) 947-7255
Cell: (231) 632-4207
email:crainengineeringllc@gmail.com

DRWN BY: WLC
DSGN BY: WLC
DATE: 1-30-2023

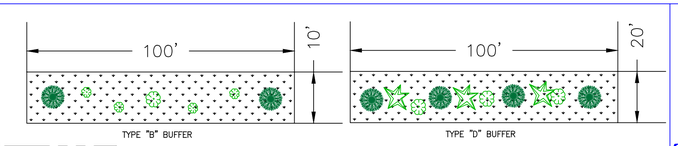
REV DATE:
3-1-2023 COMPLETENESS REVIEW
3-7-2023 SAFF REVIEW
4-11-2023 STAFF REVIEW

SITE PLAN
PINE GROVE HOMES
SECTION 32 - TOWN 27 NORHT - RANGE 11 WEST
GARFIEL TWP, GRAND TRAVERSE COUNTY, MICHIGAN

MISS DIG
72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG
800-482-7171 (TOLL FREE)

JOB NUMBER:
194723

SHEET C-3



TYPE "B" BUFFER.
(1) PLANTING REQUIREMENT. GROUND COVER AS SPECIFIED IN SECTION 530.J, PLUS TWO LARGE TREES, ONE MEDIUM OR SMALL TREE, AND FOUR SHRUBS PER ONE HUNDRED (100) LINEAR FEET OF GREENSPACE AREA.
(2) MINIMUM WIDTH REQUIREMENT. THE TYPE "B" BUFFER AREA SHALL BE A MINIMUM WIDTH OF TEN (10) FEET.

TYPE "D" BUFFER.
(1) PLANTING REQUIREMENT. GROUND COVER AS SPECIFIED IN SECTION 530.J, PLUS FOUR LARGE TREES, THREE MEDIUM OR SMALL TREES, AND THREE EVERGREEN OR CONIFEROUS TREES PER ONE HUNDRED (100) LINEAR FEET OF GREENSPACE AREA. MINIMUM WIDTH REQUIREMENT. THE TYPE "D" BUFFER AREA SHALL BE A MINIMUM WIDTH OF TWENTY (20) FEET.

LANDSCAPING

EVERGREENS & CONIFERS
BLACK SPRUCE, BALSAM FIR

CANOPY TREES
SUGAR MAPLE
NORTHERN RED OAK

GROUND COVER SHRUBS
GROUND JUNIPER, MOUNTAIN HOLLY, SILKY DOGWOOD

SMALL TREES/FLOWERING TREES
SHABLOW SERVICEBERRY, DOTTED HAWTHORN

PLANT MATERIAL REQUIREMENTS

(1) PLANT MATERIALS. PROHIBITED, PERMITTED, AND RECOMMENDED SPECIES SHALL BE BASED ON THE CURRENT PUBLICATION OF THE GRAND TRAVERSE REGIONAL INVASIVE SPECIES NETWORK'S RECOMMENDED PLANTING GUIDELINES FOR GARFIELD TOWNSHIP (THE "ISN PLANTING GUIDELINES"). ALL PLANT MATERIAL SHALL BE HARDY TO THE GRAND TRAVERSE AREA, BE FREE OF DISEASE AND INSECTS, AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK OF THE AMERICAN NURSERYMEN.

(2) MIXTURE OF SPECIES. THE LANDSCAPE PLAN SHALL NOT CONTAIN MORE THAN TWENTY FIVE (25) PERCENT OF ANY SINGLE PLANT SPECIES, PER FEATURE. SPECIES SHALL BE PLANTED IN A STAGGERED PATTERN SO AS TO ELIMINATE WIDELY VISIBLE LOSS RESULTING FROM A SPECIES-SPECIFIC DISEASE EVENT. AT LEAST SEVENTY (70) PERCENT OF NEW PLANTINGS SHALL BE NATIVE.

(3) NO ARTIFICIAL PLANT MATERIALS SHALL BE USED TO SATISFY THE REQUIREMENTS OF THIS SECTION.

(4) PLANT MATERIALS REQUIRED BY THIS SECTION SHALL COMPLY WITH THE MINIMUM SIZE REQUIREMENTS OF TABLE 530.F AND ISN PLANTING GUIDELINES AT THE TIME OF INSTALLATION.

Minimum Greenspace Planting Specifications

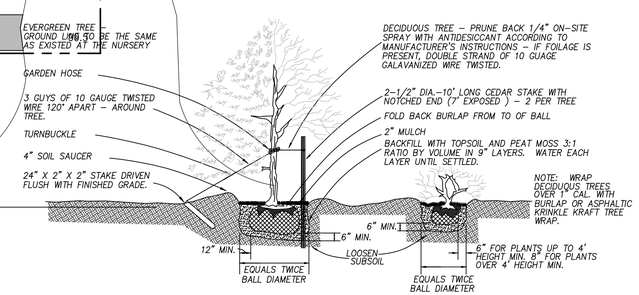
Landscape Feature	Minimum Plant Sizes
Canopy Trees	2 inch caliper
Evergreens and Conifers	6 feet in height; no caliper requirement
Flowering Trees	1-1/2 inch caliper for singletrunk trees; 6 feet in height for multi-trunk trees
Shrubs	5-gallon

PLANTINGS ALONG SOUTH PROPERTY LINE (312.5')
REQUIRED: SHRUBS = 13 SHRUBS
CANOPY TREES = 6 TREES
SMALL TREES = 4 TREES
PROVIDED: 13 SHRUBS, 6 LARGE(2 EXISTING) & 4 SMALL

PLANTINGS ALONG NORTH PROPERTY LINE (312.5')
REQUIRED: SHRUBS = 13 SHRUBS
CANOPY TREES = 6 TREES
SMALL TREES = 4 TREES
PROVIDED: 13 SHRUBS, 6 LARGE & 4 SMALL

PLANTINGS ALONG EAST PROPERTY LINE (450')
REQUIRED: EVERGREEN = 14 EVERGREENS
CANOPY TREES = 18 TREES
SMALL TREES = 14 TREES
PROVIDED: 14 EVERGREEN(1 EXISTING), 18 LARGE(5 EXISTING) & 24 SMALL/SHRUB

PLANTINGS ALONG WEST PROPERTY LINE (450')
REQUIRED: EVERGREEN = 14 PINE
CANOPY TREES = 18 TREES
SMALL TREES = 14 TREES
PROVIDED: 14 PINES, 18 LARGE(13 EXIST) & 14 SMALL



PLANTING DETAIL – TREES AND SHRUBS
NO SCALE

SITE DATA

PROPERTY OWNER & APPLICANT:

NEWMAN RICHARD A TRUST
3744 N. US-31 SOUTH
TRAVERSE CITY, MI 49685
PH: 231-947-6561 Rick Newman

PARCEL ADDRESS - 4030 MEADOWLAND DRIVE
PARCEL ZONING - C-G GENERAL COMMERCIAL
PARCEL NUMBER - 28-05-032-001-20

N
Crain Engineering, LLC
0 20 40 60
SCALE: 1" = 20 FEET

Crain Engineering, LLC
Engineering, Consulting, & Design
7622 Bott Road
Buckley, MI 49620
Phone: (231) 947-7255
Cell: (231) 632-4207
email:crainengineeringllc@gmail.com

DRWN BY: WLC
DSGN BY: WLC
DATE: 1-30-2023
REVISIONS:
2-1-2023 COMPLETENESS REVIEW
3-7-2023 STAFF REVIEW
4-24-2023 STAFF REVIEW

LANDSCAPE PLAN PINE GROVE HOMES

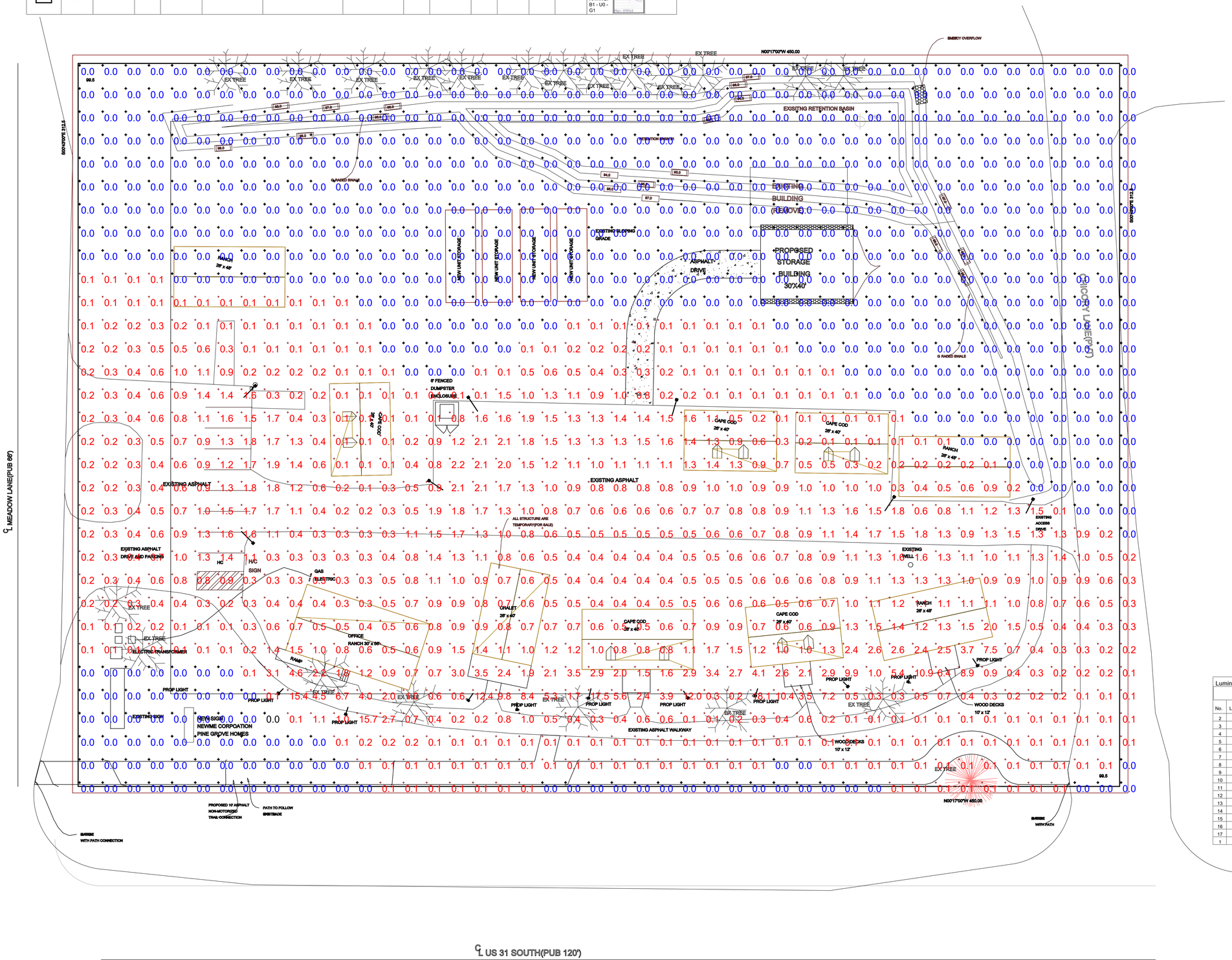
SECTION 32 - TOWN 27 NORHT - RANGE 11 WEST
GARFIEL TWP, GRAND TRAVERSE COUNTY, MICHIGAN

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG, 800-482-7171 (TOLL FREE)

JOB NUMBER: 194723

SHEET L-1

Schedule																
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
	B		17	Lithonia Lighting	DSX1 LED P1 30K BLC MVOLT G1	DSX1 LED P1 30K BLC MVOLT		1	DSX1_LED_P1_30K_BLC_MVOLT_G1.ies	5299	1	54	100%	TYPE III, SHORT, BUG RATING: B1 - U0 - G1		



Plan View
Scale - 1" = 20ft

Luminaire Locations										
		Location						Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
2	B	13433.00	1410.00	20.00	20.00	315.00	19.47	13428.00	1415.00	0.00
3	B	13526.00	1473.00	20.00	20.00	146.31	19.83	13530.00	1467.00	0.00
4	B	13509.00	1437.00	20.00	20.00	123.69	19.83	13515.00	1433.00	0.00
5	B	13616.00	1472.00	20.00	20.00	195.95	20.00	13614.00	1465.00	0.00
6	B	13710.00	1430.00	20.00	20.00	213.69	19.83	13706.00	1424.00	0.00
7	B	13770.00	1429.00	20.00	20.00	206.57	18.54	13767.00	1423.00	0.00
8	B	13444.00	1345.00	4.00	4.00	45.00	35.26	13446.00	1347.00	0.00
9	B	13473.00	1336.00	4.00	4.00	18.44	38.33	13474.00	1339.00	0.00
10	B	13526.00	1342.00	4.00	4.00	33.69	42.03	13528.00	1345.00	0.00
11	B	13547.00	1338.00	4.00	4.00	0.00	36.87	13547.00	1341.00	0.00
12	B	13578.00	1343.00	4.00	4.00	14.04	45.87	13579.00	1347.00	0.00
13	B	13621.00	1343.00	4.00	4.00	326.31	42.03	13619.00	1346.00	0.00
14	B	13650.00	1344.00	4.00	4.00	18.44	38.33	13651.00	1347.00	0.00
15	B	13690.00	1348.00	4.00	4.00	315.00	35.26	13688.00	1350.00	0.00
16	B	13716.00	1350.00	4.00	4.00	18.44	38.33	13717.00	1353.00	0.00
17	B	13746.00	1357.00	4.00	4.00	326.31	42.03	13744.00	1360.00	0.00
1	B	13434.00	1478.00	20.00	20.00	225.00	19.47	13429.00	1473.00	0.00

PINE GROVE HOMES
GARFIELD TWP, GRAND TRAVERSE COUNTY, MIXCHIGAN

Designer
WLC
Date
3/1/2023
Scale
20 SCALE
Drawing No.
194723
Summary
3-7-2023 TWP REVIEW

PH-1

D-Series Size 1
LED Area Luminaire

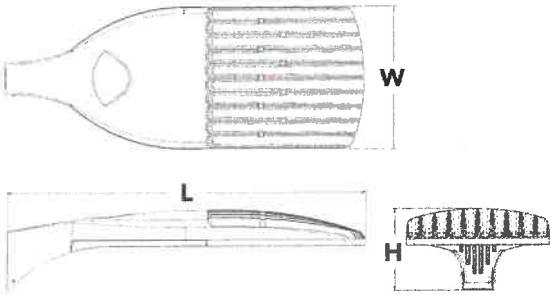
Catalog Number

Notes

Type

Specifications

EPA:	1.01 ft² (0.09 m²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM®2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background[1]

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

DSX1LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	**Forward optics** 30C 30 LEDs (one engine) 40C 40 LEDs (two engines) 60C 60 LEDs (two engines) **Rotated optics**[1] 60C 60 LEDs (two engines)	530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted[2]	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium T5VS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control[2,3] LCCO Left corner cutoff[2,3] RCCO Right corner cutoff[2,3]	MVOLT[4] 120[4] 208[4] 240[4] 277[4] 347[5] 480[5]	**Shipped included** SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor[6] RPUMBA Round pole universal mounting adaptor[6] **Shipped separately** KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish)[7]

Control options		Other options	Finish
Shipped installed PER NEMA twist-lock receptacle only (no controls)[8] PER5 Five-wire receptacle only (no controls)[8,9] PER7 Seven-wire receptacle only (no controls)[8,9] DMG 0-10V dimming extend out back of honsing for external control (no controls)[10] DCR Dimmable and controllable via ROAM® (no controls)[11] DS Dual switching[12,13] PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc[14,15,16] PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc[14,15,16] PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[14,15,16] PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[14,15,16] BL30 Bi-level switched dimming, 30%[15,17] BL50 Bi-level switched dimming, 50%[15,17] PNMTDD3 Part night, dim till dawn[18] PNMT5D3 Part night, dim 5 hrs[18] PNMT6D3 Part night, dim 6 hrs[18] PNMT7D3 Part night, dim 7 hrs[18] FAO Field adjustable output[19]	**Shipped installed** HS House-side shield[20] WTB Utility terminal block[21] SF Single fuse (120, 277, 347V)[22] DF Double fuse (208, 240, 480V)[22] L90 Left rotated optics[23] R90 Right rotated optics[23] BS Bird spikes	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

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Ordering Information

Controls & Shields

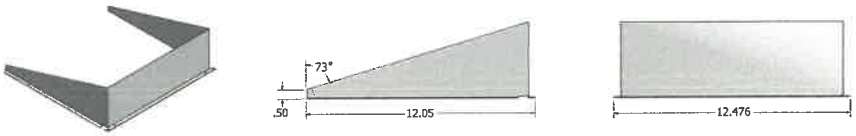
Accessories
Ordered and shipped separately

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V)[24]
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V)[24]
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V)[24]
DSHORT SBK U	Shorting cap[24]
DSX1EGS DDBXD U	External glare shield
DSX1HS 30C U	House-side shield for 30 LED unit[20]
DSX1HS 40C U	House-side shield for 40 LED unit[20]
DSX1HS 60C U	House-side shield for 60 LED unit[20]
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish)[25]
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish)[7]

For more control options, visit DTL and ROAM online.

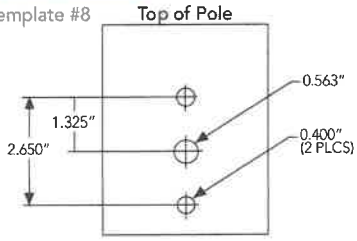
NOTES
1 Rotated optics available with 60C only.
2 Not available AMBPC, BLC, LCCO or RCCO.
3 Not available with HS.
4 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120V, 208V, 240V or 277V options only when ordering with fusing (SF, DF options).
5 Not available with single board, 530mA product (30C 530 or 60C 530 DS). Not available with BL30, BL50 or PNMT options.
6 Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
7 Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
8 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting Cap be order for correct operation when photocontrol is present.
9 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
10 DMG option for 347V or 480V requires 1000mA.
11 Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming. Mvolt only. Not available with 347V and 480V. Not available with PIRH1FC3V.
12 Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, WTB, PIR or PIRH.
13 Requires an additional switched circuit.
14 PIR and PIR1FC3V specify the SensorSwitch SBGR-10-ODP control; PIRH and PIRH1FC3V specify the SensorSwitch SBGR-6-ODP control; see Outdoor Control Technical Guide for details. Dimming driver standard.
15 Ambient sensor disable when ordered with DCR. Separate on/off required. Not available with PMNT options. When PIR and PIRH options are selected with DCR, old style node must be used or PIR and PIRH will not function correctly.
16 PIR and PIRH options are used with PER5 and PER7, additional leads receptacle are terminated and non-functioning.
17 Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options. Not available with PIR1FC3V or PIRH1FC3V.
18 Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50. Not available with PIR1FC3V or PIRH1FC3V. Separate on/off required.
19 Dimming driver standard. Not available with PER5, PER7, DMG, DCR, DS, BL30, BL50 or PNMT, PIR, PIRH, PIR1FC3V or PIRH1FC3V.
20 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
21 WTB not available with DS.
22 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
23 Available with 60 LEDs (60C option) only.
24 Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
25 For retrofit use only.

External Glare Shield



Drilling

Template #8



DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	**DM29AS**	2 at 90° *
DM28AS	2 at 180°	**DM39AS**	3 at 90° *
DM49AS	4 at 90° *	**DM32AS**	3 at 120° **

Example: SSA 20 4C **DM19AS** DDBXD

Visit Lithonia Lighting's POLES CENTRAL to see our wide selection of poles, accessories and educational tools.
**Round pole top must be 3.25" O.D. minimum.*
***For round pole mounting (RPA) only.*

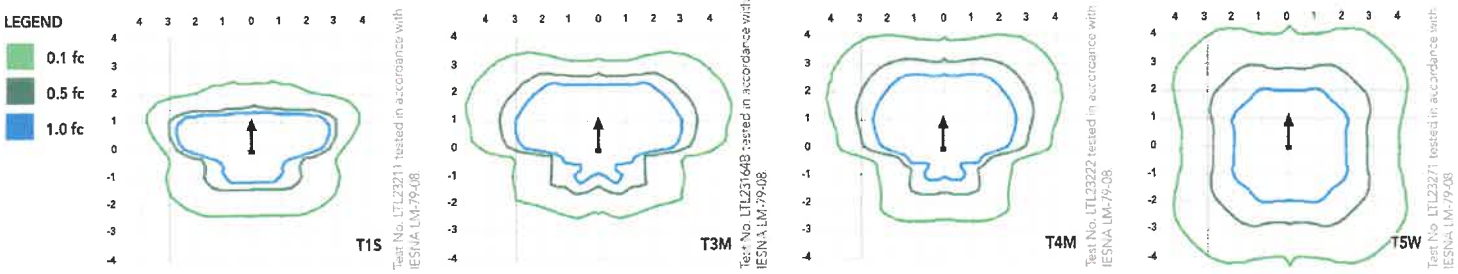
Tenon Mounting Slipfitter **

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').



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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	**77°F**	**1.00**
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX1 LED 60C 1000			
	1.0	0.98	0.96	0.91
	DSX1 LED 60C 700			
	1.0	0.99	0.99	0.99

Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A) 120	208	240	277	347	480
30	530	52	0.52	0.30	0.26	0.23	--	--
	700	68	0.68	0.39	0.34	0.30	0.24	0.17
	1000	105	1.03	0.59	0.51	0.45	0.36	0.26
40	530	68	0.67	0.39	0.34	0.29	0.23	0.17
	700	89	0.89	0.51	0.44	0.38	0.31	0.22
	1000	138	1.35	0.78	0.67	0.58	0.47	0.34
60	530	99	0.97	0.56	0.48	0.42	0.34	0.24
	700	131	1.29	0.74	0.65	0.56	0.45	0.32
	1000	209	1.98	1.14	0.99	0.86	0.69	0.50

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Model #: T9F652778

Wave Bike Rack

Flange Mounted

Use this flange mounted style for existing cement. Rugged 12 gauge

See more details

Easy online or call-in returns. Read return policy

Product Information

Wave Bike Rack

Flange Mounted

Use this flange mounted style for existing cement. Rugged 12 gauge steel keeps bicycles secure and ensures years of use. Designed without sharp edges for safety. Black polyester powder coat finish withstands the elements. 36"H. 1-5/8" pipe diameter. Features 6" x 6" base plate with .50" diameter mounting holes.

This **Global Industrial Exclusive Brands**™ product was made with you in mind. There were teams of associates behind how we designed, manufactured, and tested, this item. We always ask, "Can it be made better?" That led us to produce smarter, more reliable products, with greater attention to detail and no corners cut. Why choose Global Industrial? Because this product was Made for you. MADE TO EXCEED.™

Specifications

Weights & Dimensions

Tube Diameter	1-5/8 in	Height	36 in

Weight	20.2 lbs	Length	41 in

Product Details

Assembly Required	Unassembled	Capacity	5 Bikes
Type	Wave Bike Rack	Material	Steel
Color	Black	Manufacturers Part Number	652778
Mounting Location	Flange	Brand	Global Industrial

Charter Township of Garfield
Planning Department Report No. 2023-53

Prepared:	May 3, 2023	Pages:	7
Meeting:	May 10, 2023 Planning Commission	Attachments:	☒
Subject:	Ligon Bed & Breakfast Special Use Permit Amendment – Findings of Fact		
File No.	SUP-2020-03-A	Parcel No. 05-006-013-25	
Applicant/Owner:	Matthew and Rebecca Ligon d/b/a Blended Roots Farm		
Agent:	Matthew and Rebecca Ligon d/b/a Blended Roots Farm		

BRIEF OVERVIEW:

- 5885 Hainey Lane – near northeast corner of Cedar Run Road and Gray Road
- Approximately 2.77 acres in area
- Existing single-family residence
- A-Agricultural zoning district

PURPOSE OF APPLICATION:

This application requests an amendment to a Special Use Permit (SUP) for use of an existing single-family residence at 5885 Hainey Lane as a Bed & Breakfast Establishment. The SUP was approved by the Planning Commission on February 10, 2021 to permit no more than four (4) guests at any one time. Bed & Breakfast Establishments are permitted via SUP in the A-Agricultural zoning district. The request is to add an additional four (4) guests for a total of eight (8) guests. Aerial images of the site are shown below.

Aerial image of the subject property (property lines highlighted in blue):

Oblique aerial image of the subject property (property lines highlighted in blue):

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:
In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

a) Financing
b) Availability of adequate public facilities or services
c) Dedication of land
d) Reservation of land
e) Creation of special assessment districts
f) Creation of restrictive covenants or easements
g) Special setbacks
h) Yard requirements
i) Increased screening or landscaping requirements
j) Area requirements
k) Development phasing; or
l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

ZONING ORDINANCE STANDARDS FOR BED AND BREAKFAST ESTABLISHMENTS:
A Bed and Breakfast establishment is a private residence that offers sleeping accommodations to transient tenants, is the innkeeper's residence in which the innkeeper resides while renting the rooms to transient tenants, and serves breakfast at no extra cost to its transient tenants.

Pursuant to Section 713 of the Zoning Ordinance, the following regulations and conditions apply to bed and breakfast establishments:

(1) The minimum lot size shall be as pursuant to the District minimum for Single Family Dwellings.

The minimum lot size for the A-Agricultural district is 43,560 square feet or 1 acre. The subject parcel is approximately 2.77 acres and therefore exceeds the minimum lot size requirement.

(2) Bed & Breakfast establishments shall not be allowed on lots or parcels, including legal nonconforming lots or parcels, which do not meet the established lot size, requirements for the district in which they are allowed.

In addition to the minimum lot size, lots in the A-Agricultural district require a minimum width of 110 feet. The subject parcel has a width of 382 feet and therefore exceeds the minimum lot size requirement.

(3) No bed and breakfast establishment shall be located closer than one thousand feet (1,000) from another bed and breakfast establishment.

The nearest bed and breakfast establishment is located near the corner of Barney Road and Harris Road and is more than 3,000 feet away.

(4) One (1) parking space per rental sleeping room plus one (1) per owner occupant shall be provided.

The site plan included with the application includes two designated guest parking spaces among the eight total available outdoor parking spaces. There are two parking spaces in the garage for the owners.

(5) One (1) non-illuminated wall sign identifying the establishment not to exceed three (3) square feet in area shall be allowed.

Previously, the applicant provided a photo of a sign on the garage, which the applicant indicated is 21 inches by 10 inches, which is slightly less than 1.5 square feet and meets this requirement.

(6) The establishment is located within a residence which is the principal dwelling unit on the property and shall be owner-occupied at all times.

The single-family residence to be used for the bed and breakfast is owner occupied. Proof of owner occupancy was demonstrated through a Principal Residence Exemption (PRE) form obtained by the Township Assessor and an upper-level floor plan submitted by the applicant that shows the location of the additional bedrooms.

(7) The rental sleeping rooms shall have a minimum size of one hundred (100) square feet for each two (2) occupants with an additional thirty (30) square feet for each occupant to a maximum of four (4) occupants per room.

The existing guest bedroom is 400 square feet of space and includes its own bathroom and closet space. The proposed guest bedroom is 528 square feet and includes its own bathroom and closet space. This requirement has been met.

(8) No more than eight (8) occupants shall be accommodated in any single residence at any one time in the A Agriculture District and R-3 Multiple Family Districts and five (5) occupants in all other permitted Districts.

With the existing bedroom and the proposed bedroom, a maximum of four (4) occupants per room is acceptable with no more than eight (8) total occupants at any one time for the bed and breakfast.

(9) Use or rental of snowmobiles, all-terrain vehicles or similar vehicles, boats and other marine equipment, in conjunction with the operation of the establishment shall be prohibited.

The applicant states that they will not use nor rent any of these vehicles or equipment as part of the bed and breakfast operation.

(10) Special land use approval shall not be granted if the essential character of the lot or structure in terms of traffic generation or appearance will be changed substantially.

The house is situated on the owner's farm and among nearby farmland and single-family homes on large lots. This character lends itself for a bed and breakfast establishment and is not expected to change.

(11) A site plan shall include a floor plan layout of the proposed structure drawn to a scale of not less than 1" = 16' that shows the specific layout of the proposed facility in accord with the provisions of this Zoning Ordinance.

A site plan is provided with the application attached to this report, including floor plans that meet this requirement.

FINDINGS OF FACT:

At its April 12, 2023 meeting, the Planning Commission unanimously passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration:

A special use is permitted only if the applicant demonstrates that:

(1) The proposed use will be consistent with the purpose and intent of the master plan and this Ordinance, including all regulations of the applicable zoning district

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The area is planned for Agricultural / Rural Land and zoned as A-Agriculture. The proposed bed and breakfast establishment fits within an existing low-density residential use on the site.
- The proposed bed and breakfast establishment meets the requirements of Section 714 described above, which provide special conditions for bed and breakfast operations.

(2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious, and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed bed and breakfast will accommodate a maximum of eight guests at any time and is located within an existing dwelling. The scale and location of the site is conducive to a bed and breakfast.

(3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed bed and breakfast establishment is not anticipated to create any off-site impacts.

(4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks

*The Planning Commission may find this standard to be **met** for the following reasons:*

- Additional guest parking has been designated for the bed and breakfast among the available parking spaces. The bed and breakfast operation will be in an existing building and no structural changes are proposed.

(5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed bed and breakfast operation will not disturb any natural features.

(6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost

*The Planning Commission may find this standard to be **met** for the following reasons:*

- Because the proposed bed and breakfast establishment is in an existing dwelling and no structural changes are proposed, there are no anticipated impacts expected on infrastructure.
- Hainey Lane is a private road that meets Township Zoning Ordinance requirements. Section 521 of the Zoning Ordinance states that a private road serving three to five parcels must have a minimum easement width of 48 feet with permitted surface types either being gravel or pavement. Hainey Lane has a width of 52 feet and is a gravel surface.

(7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed use will not be detrimental or endanger public health, safety, or welfare.

(8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The site has its own dedicated access on Hainey Lane. Because access to the bed and breakfast operation will be limited to only Hainey Lane, there are no adverse impacts to individuals that are anticipated as part of this project, and the public interest and welfare is supported.

(9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The site has its own dedicated access on Hainey Lane. Access to the bed and breakfast operation will be limited to only Hainey Lane. With a maximum of eight occupants, the establishment is not expected to noticeably impact traffic in the area.

(10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed bed and breakfast will use existing parking areas and drives on the subject site and no impacts on vehicular or pedestrian safety are anticipated.

(11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

*The Planning Commission may find this standard to be **met** for the following reasons:*

- The proposed bed and breakfast operation is compatible with the agricultural and rural land uses planned for the area. No impacts are anticipated which would impede the development or use of the surrounding properties.

ACTION REQUESTED:

If the Planning Commission has determined that the application has met the criteria and requirements of the Special Use Permit and the above listed Findings of Fact is sufficient, then the following motion is offered for consideration:

> MOTION THAT the Findings of Fact for application SUP-2020-03-A, as presented in Planning Department Report 2023-53 and being made a part of this motion, BE ADOPTED.

The following motion is recommended to approve the project, subject to the conditions as noted below, and subject to conditions which are routinely added to all approvals:

> MOTION THAT application SUP-2020-03-A, for a Major Amendment to a Special Use Permit for a bed and breakfast establishment at 5885 Hainey Lane, submitted by Matthew and Rebecca Ligon, BE APPROVED, subject to the following conditions:

1. Access to the site for the bed and breakfast establishment shall be limited to the Hainey Lane access, and no access shall be permitted for the bed and breakfast establishment directly from Cedar Run Road.
2. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
3. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Township within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

***Attachments*:**

1. Special Use Permit Amendment Application Letter from Matthew and Rebecca Ligon, including floor plans and photos.

Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☐ New Special Use Permit
- ☒ Major Amendment
- ☐ Minor Amendment
- ☐ Administrative Amendment

PROJECT / DEVELOPMENT NAME

Blended Roots Farm

APPLICANT INFORMATION

Name:	Matthew & Rebecca Ligon
Address:	5885 Hainey Ln. Traverse City MI 49684
Phone Number:	231-218-1628 (Matt) 231-360-3703 (Rebecca)
Email:	blendedrootsfarm@gmail.com

AGENT INFORMATION

Name:	Same as applicant
Address:	
Phone Number:	
Email:	

OWNER INFORMATION

Name:	Same as applicant
Address:	
Phone Number:	
Email:	

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	Matthew Ligon
Agent:	
Owner:	

PROPERTY INFORMATION

Property Address:	5885 Hainey Ln. Traverse City MI 49684
Property Identification Number:	28-05-006-013-30
Legal Description:	
Zoning District:	Ag.
Master Plan Future Land Use Designation:	Ag.
Area of Property (acres or square feet):	2.76 acres

Existing Use(s):	Farm & B&B
Proposed Use(s):	Farm & B&B

PROJECT TIMELINE

Estimated Start Date:	ASAP
Estimated Completion Date:	N/A

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- ☐ One original signed application
- ☐ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

- ☐ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- ☐ Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Written Information:

- ☐ Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- ☐ One digital copy of the Approval Criteria (PDF only)
- ☐ Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- ☐ One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstates that:ecial use is permitted only if the applicant demonstrates that:

- ☐ The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- ☐ The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- ☐ The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- ☐ Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- ☐ The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- ☐ Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- ☐ The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- ☐ The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- ☐ Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- ☐ Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- ☐ The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- ☐ A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- ☐ Types of uses and other man-made facilities.
- ☐ The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- ☐ Phasing of the project including ultimate development proposals.
- ☐ Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- ☐ The method to be used to serve the development with water and sanitary sewer facilities.
- ☐ The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- ☐ If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- ☐ The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- ☐ An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- ☐ The proposed density in units per acre for residential developments.
- ☐ Name(s) and address(es) of person(s) responsible for preparation of statement.
- ☐ Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- ☐ Type, direction, and intensity of outside lighting.
- ☐ General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	Yes	No	Not Applicable
A. Sanitary Sewer Service			
1. Does project require extension of public sewer line?	☐	☐	☒
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community wastewater system be installed?	☐	☐	☒
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	☐	☐	☒
If yes, is it depicted on plan?	☐	☐	☐
B. Water Service			
1. Does project require extension of public water main?	☐	☐	☒
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community water supply be installed?	☐	☐	☒
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
C. Public utility easements required?	☐	☐	☒
If yes, show on plan.			
D. Stormwater Review/Soil Erosion			
1. Soil Erosion Plans approved by Soil Erosion Office?	☐	☐	☒
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☐
2. Stormwater Plans approved by Township Engineer?	☐	☐	☒
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☐

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed?	☐	☐	☒
If yes, has Road Commission approved (attach letter)?	☐	☐	☐
2. Will public streets connect to adjoining properties or future streets?	☐	☐	☒
3. Are private roads or interior drives proposed?	☐	☐	☒
4. Will private drives connect to adjoining properties service roads?	☐	☐	☒
5. Has the Road Commission or MDOT approved curb cuts?	☐	☐	☒
If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:	Rebecca L. Ligon [signature]
Applicant Signature:	Same
Agent Signature:	Same
Date:	

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date:

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date:

Applicant Signature:

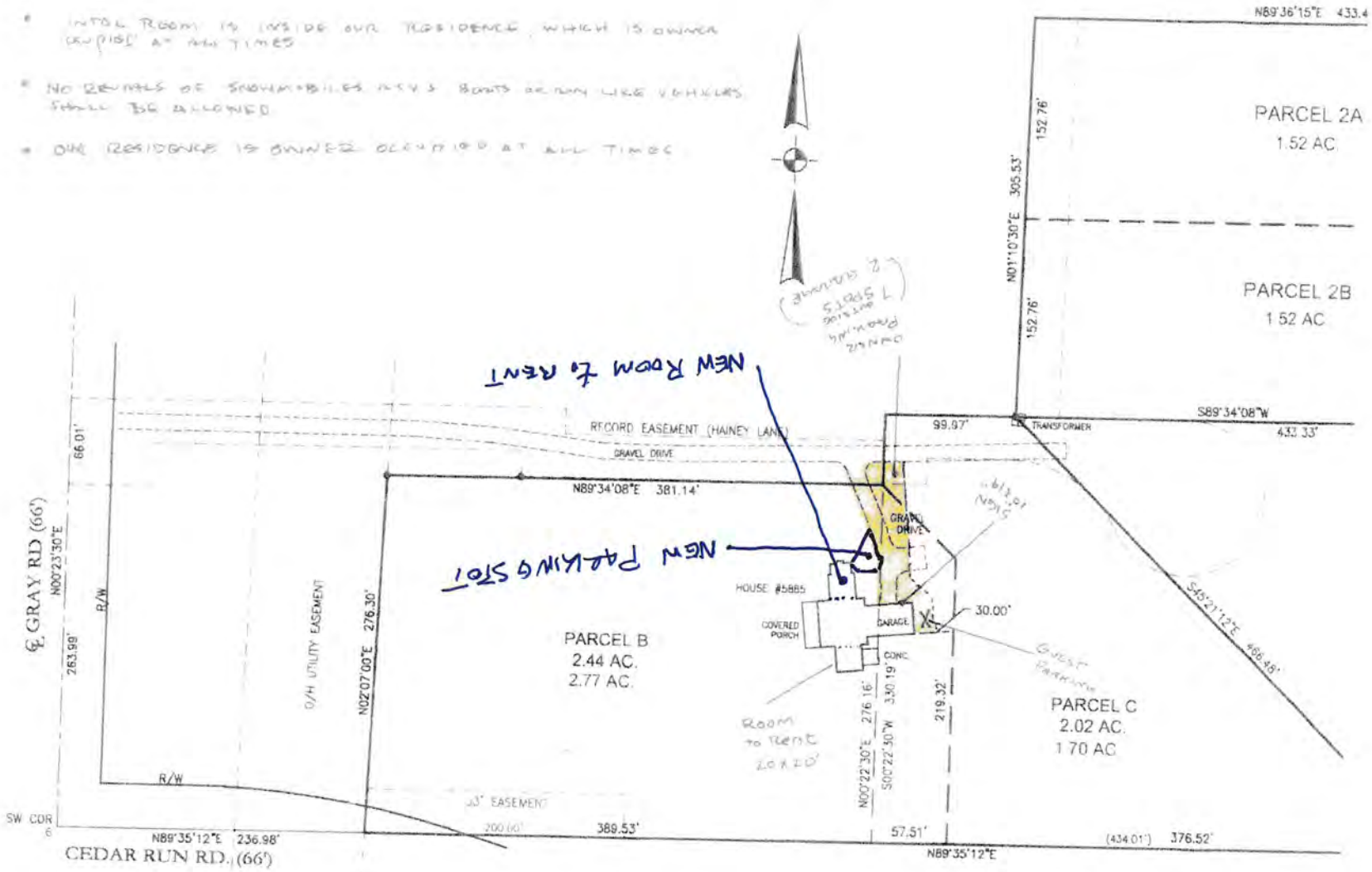
Date:

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	**SD**	**ASP/ SDP**
A. Basic Information		
1. Applicant's name, address, telephone number and signature	☐	☐
2. Property owner's name, address, telephone number and signature	☐	☐
3. Proof of property ownership	☐	☐
4. Whether there are any options or liens on the property	☐	☐
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	☐	☐
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	☐	☐
7. A vicinity map showing the area and road network surrounding the property		☐
8. Name, address and phone number of the preparer of the site plan	☐	☐
9. Project title or name of the proposed development	☐	☐
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	☐	☐
11. Land uses and zoning classification on the subject parcel and adjoining parcels	☐	☐
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		☐
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	☐	☐
2. Boundary dimensions of natural features		☐
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		☐
4. Proposed alterations to topography and other natural features		☐
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		☐
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	☐	☐
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		☐
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		☐
9. Proposed finish floor and grade line elevations of any structures **Required only for habitable construction within the floodplain on site diagrams and administrative site plans.*	☐ *	☐
10. Existing and proposed driveways, including parking areas	☐	☐
11. Neighboring driveways and other vehicular circulation features adjacent to the site		☐
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	☐	☐
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		☐
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		☐
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		☐
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		☐
17. Location of water supply lines and/or wells	☐	☐
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	☐	☐
19. Location, specifications, and access to a water supply in the event of a fire emergency		☐
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		☐
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		☐
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		☐
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		☐
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		☐
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		☐
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		☐
27. Changes or modifications required for any applicable regulatory agencies' approvals		☐

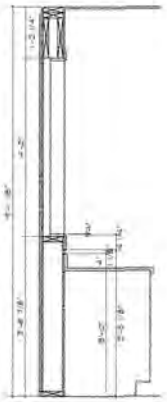
* INTOL ROOM IS INSIDE OUR RESIDENCE, WHICH IS OWNER OCCUPIED AT ALL TIMES

* NO RENTALS OF SNOWMOBILES, ATVS, BOATS OR ANY LIKE VEHICLES SHALL BE ALLOWED

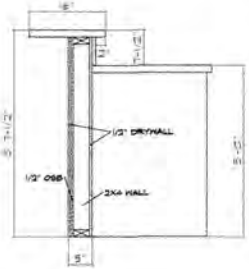
* OUR RESIDENCE IS OWNER OCCUPIED AT ALL TIMES



MAIN LEVEL FLOOR PLAN
2,294 SQ. FT.
(4,006 SQ. FT. TOTAL)
MOM SUITE
MOM'S ROOM
BATH
ALC
PATIO
LAUNDRY
LIVING ROOM
DINING
KITCHEN
PANTRY
FINISHED HEATED GARAGE
COVERED PORCH
MASTER BEDROOM
MOM GUEST PARKING
MASTER SUITE
MAXIMUM 4 GUESTS
ENTRANCE
528 sq ft
NEW PARKING SPOT FOR MASTER SUITE
KITCHEN WINDOW SECTION
KITCHEN COUNTER DETAIL
EASTWOOD CUSTOM HOMES INC.
848 US 31 South
Traverse City, Michigan
(231) 941-5046
MATTHEW & REBECCA LIGON
Eastwood

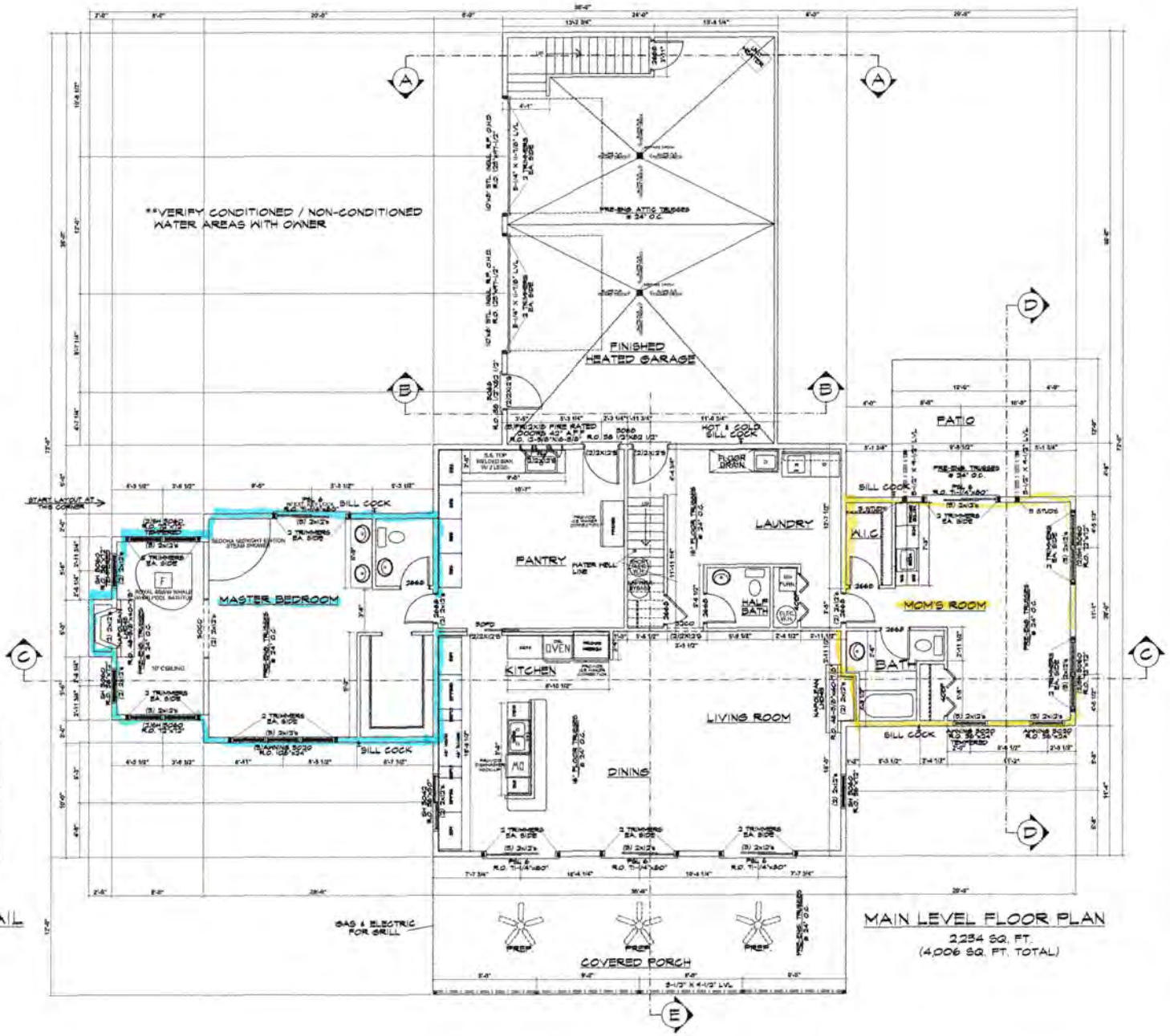


KITCHEN WINDOW SECTION



KITCHEN COUNTER DETAIL

SCALE: 1" = 1'-0"



MAIN LEVEL FLOOR PLAN

2,254 SQ. FT.
(4,006 SQ. FT. TOTAL)

EASTWOOD CUSTOM HOMES INC.
846 US 31 South
Traverse City, Michigan
(231) 941-5046
ALL DRAWINGS © EASTWOOD CUSTOM HOMES

THESE DRAWINGS ARE THE PROPERTY OF EASTWOOD CUSTOM HOMES AND USE OF THESE DRAWINGS BY OWNER IS STRICTLY PROHIBITED OR PERMISSIBLE BY LAW.

drawn by: S.M.M.

scale: 1/4"=1'-0"

date: MAR. 24, 2015

revised: APRIL 21, 2015 MAY 11, 2015

change order:
1.
2.
3.
4.

project: MATTHEW & REBECCA LIGON

sheet: 2 OF 8

Eastwood CUSTOM HOMES INC.

Blended Roots Farm and B&B
Matthew and Rebecca Ligon, Owners
5885 Hainey Ln.
Traverse City, MI 49684
(231) 218-6288 - Matthew
(231) 360-3703 - Rebecca

We are applying for a major amendment to our existing STR permit.

Since we were issued the SRT permit in 2021, we have had the pleasure of experiencing two full seasons! Not only have the guests thoroughly enjoy the experience of staying on the farm, we also have received joy from our guests.

We have risen to five star Super Host status on airBNB. The consistency in the quality of the Bed and Breakfast and customer service has always been sterling, and the satisfied guests let us know with wonderful reviews!

Rebecca and I have had a few kids grow up and leave the nest, which allows us the opportunity to offer the master suite as an additional accommodation to the public. When we built this house for our family, we didn't realize how perfect it would be for this opportunity! Each suite is on opposite ends of the farm house allowing the new room guests the same type of seclusion our current guests receive.

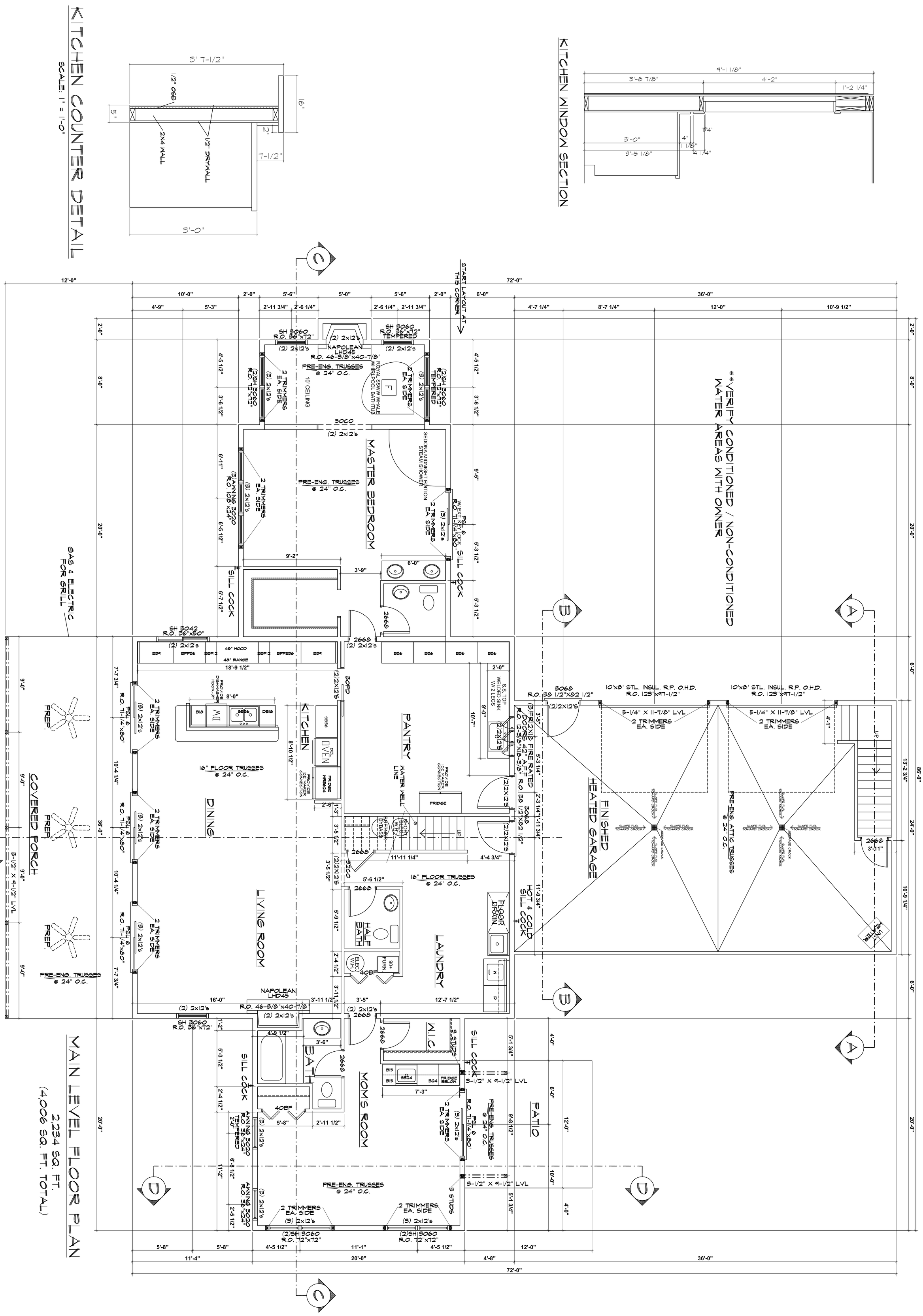
The impact to the neighbors has been nominal. In fact, with the older kids moved out, the traffic on a daily basis on the farm is considerably less than it was before our SRT permit!

Our typical season runs end of May through October and the rest of the year is sporadic to none. Currently, we have over 40 satisfied guests and have really enjoyed showcasing the farm and Garfield Township. We educate our customers about local businesses in the area that are top-notch and must visits! We are also able to point them to attractions in the surrounding communities. Our visitors enjoy the chickens and guinea hens wandering through the yard and strolls through the sunflower fields. They leave with pictures and fond memories of Traverse City and the Bed and Breakfast. We feel that the additional suite would allow us to have a better reach and satisfy more guests.

On behalf of my wife and I and our family, we thank you for this opportunity!

Matthew Ligon

Rebecca Ligon



Eastwood CUSTOM HOMES INC.	sheet: 2 OF 8	project: MATTHEW & REBECCA LIGON	change order: 1. 2. 3. 4.
revised: APRIL 21, 2015 MAY 11, 2015	date: MAR. 24, 2015	scale: 1/4"=1'-0"	drawn by: S.M.W.

THESE DRAWINGS ARE THE PROPERTY OF EASTWOOD CUSTOM HOMES INC. USE OF THESE DRAWINGS BY OTHERS IS STRICTLY FORBIDDEN AND PUNISHABLE BY LAW.

EASTWOOD CUSTOM HOMES INC.
848 US 31 South
Traverse City, Michigan
(231) 941-5046

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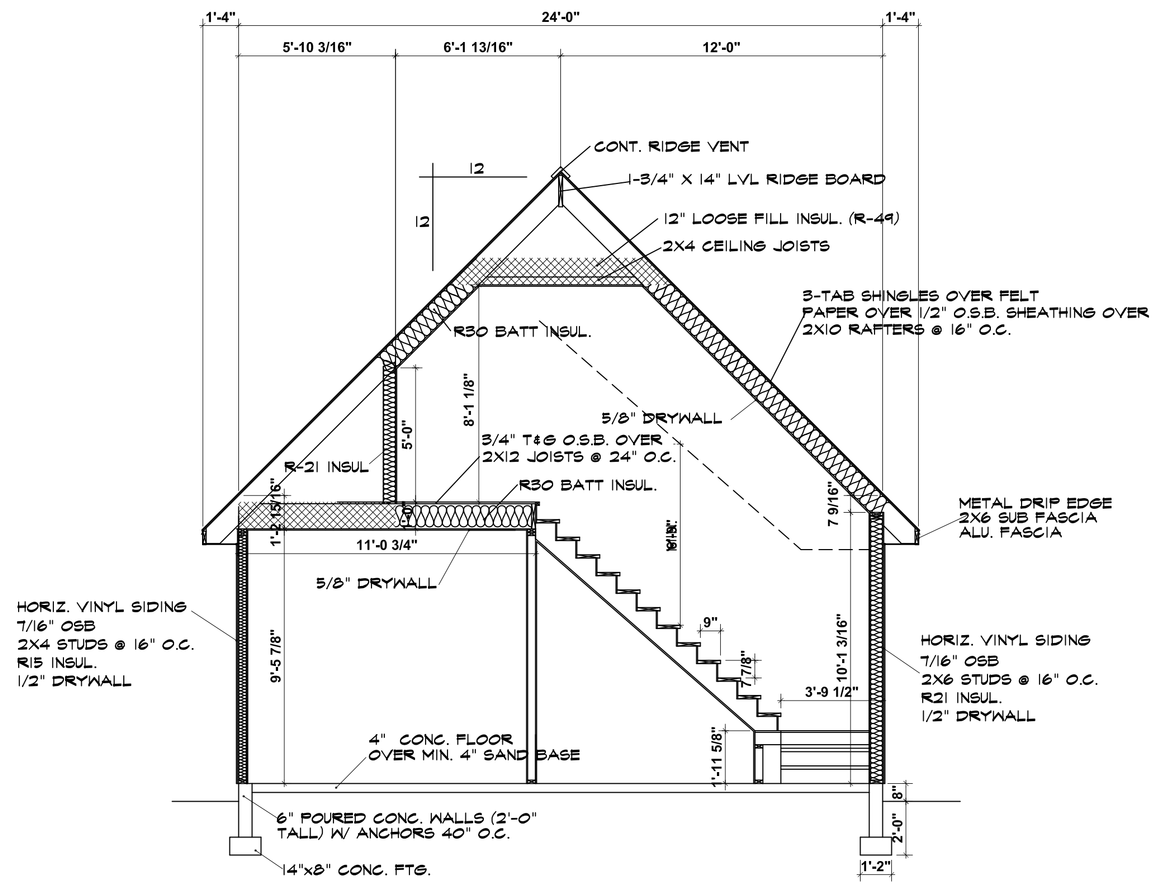
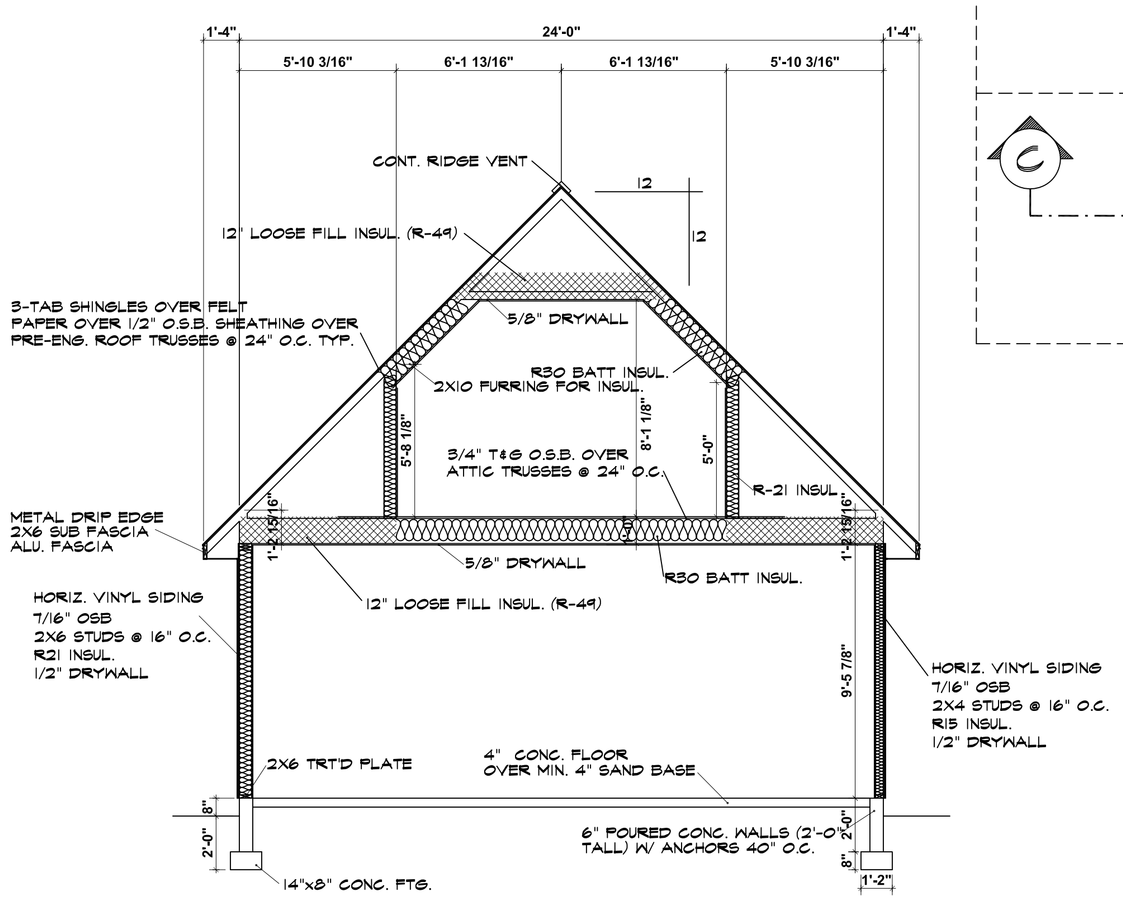
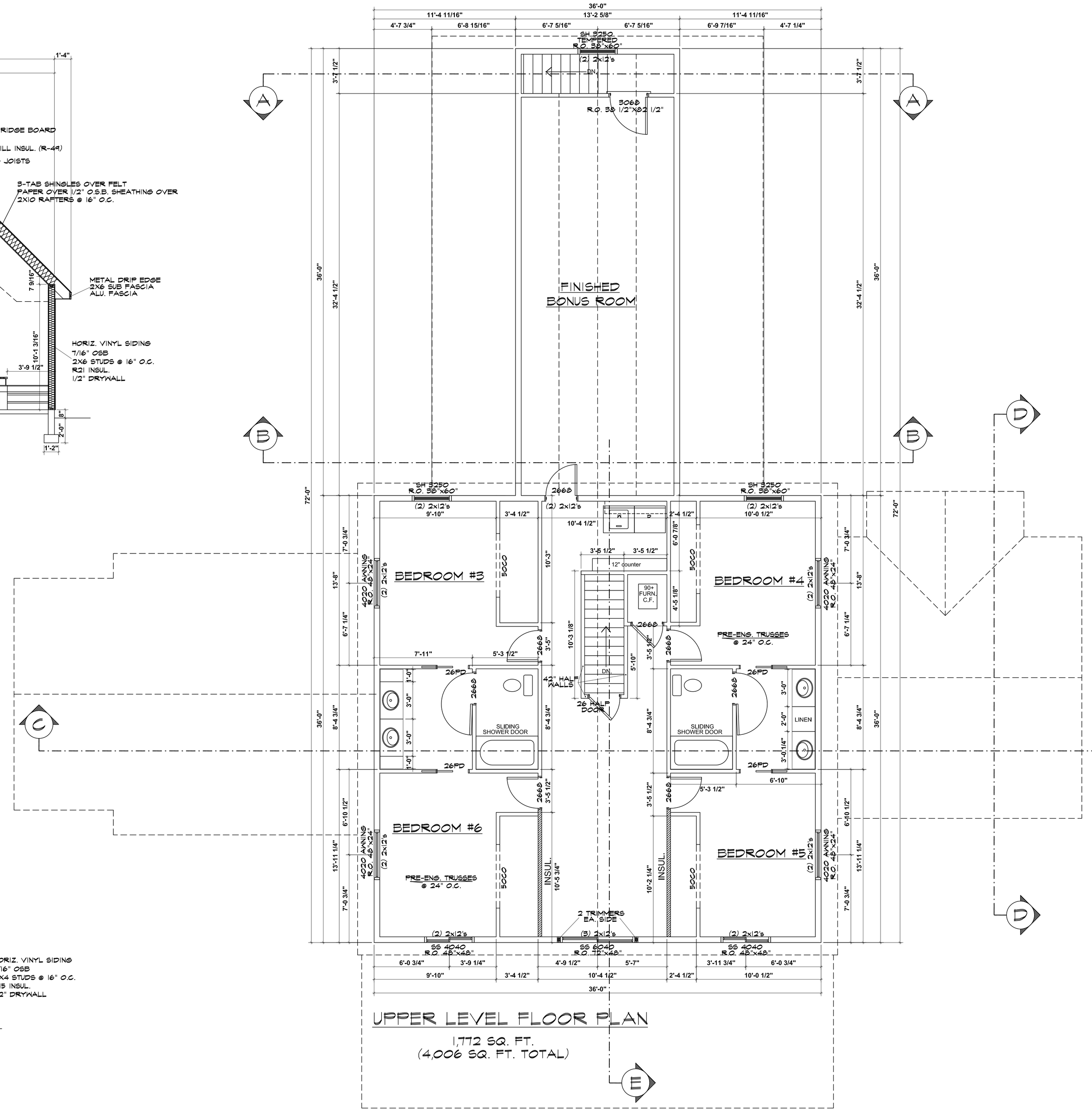


SECTION "A"



SECTION "B"



UPPER LEVEL FLOOR PLAN

1,772 SQ. FT.
(4,006 SQ. FT. TOTAL)

EASTWOOD CUSTOM HOMES INC.
848 US 31 South
Traverse City, Michigan
(231) 941-5046
ALL DRAWINGS © EASTWOOD CUSTOM HOMES

THESE DRAWINGS ARE THE PROPERTY OF EASTWOOD CUSTOM HOMES INC. USE OF THESE DRAWINGS BY OTHERS IS STRICTLY FORBIDDEN AND PUNISHABLE BY LAW.

drawn by: S.M.W.

scale: 1/4"=1'-0"

date: MAR. 24, 2015

revised: APRIL 21, 2015

change order:
1. .
2. .
3. .
4. .

project: MATTHEW & REBECCA LIGON

sheet: 3 OF 8

Eastwood CUSTOM HOMES INC.

Charter Township of Garfield
Planning Department Report No. 2023-54

Prepared:	May 3, 2023	Pages:	2
Meeting:	May 10, 2023 Planning Commission	Attachments:	☒
Subject:	Traverse City Christian School Child Care at Church of the Living God Special Use Permit – Expiration of Application		
File No.	SUP 2022-03	Parcel No.	05-026-014-10
Applicant:	Traverse City Christian School		
Agent:	Chris Butz		
Owner:	Church of the Living God		

BRIEF OVERVIEW:

- Location: 1514 Birmley Road, north side of Birmley Road
- Parcel area: 21.84 acres
- Existing land use: Church
- Existing zoning: A – Agricultural District

PURPOSE OF APPLICATION:

This application by Traverse City Christian School requested the use of an existing church building located at 1514 Birmley Road for a child care center as an additional use, with no new construction planned. Child care centers are permitted via Special Use Permit in the A-Agricultural District.

BACKGROUND:

The project was introduced at the December 14, 2022 Planning Commission regular meeting. The public hearing was scheduled for the January 11, 2023 Planning Commission regular meeting.

At the January 11, 2023 meeting, the applicant indicated that they discovered that the church building would need extensive fire system updates to bring it up to code for the child care use, and these updates may end up being cost prohibitive for them. The Planning Commission tabled this application without holding the public hearing, allowing for the applicant to research if they could continue with this application.

STAFF COMMENT:

Staff followed up with the applicant regarding their intentions to continue with the application or to let it expire. Staff referenced the following section of the Zoning Ordinance:

SECTION 404 EXPIRATION OF APPLICATION
During the course of any administrative, legislative, or quasi-judicial application review, if an applicant has failed to proceed meaningfully towards application completion or application decision for a period of one-hundred and twenty (120) consecutive calendar days, then the application shall be considered expired. Following expiration of an application, the applicant shall be provided with written notice of said expiration.

As calculated by staff, the previous meaningful action towards application completion was at the January 11, 2023 Planning Commission meeting, and 120 days later from January 11 is May 11. The applicant has communicated to Staff in an email that they will not continue with the application; this email is provided as an attachment to this report. Thus, the Planning Commission may consider this application to be expired as of May 11, 2023.

ACTION REQUESTED:
The following motion is offered for consideration:

> MOTION THAT application SUP-2022-03, submitted by Traverse City Christian School for a Special Use Permit for a child care center at Parcel 05-026-014-10, is considered EXPIRED as of May 11, 2023.

Any additional information that the Planning Commission deems necessary should be added to this motion.

***Attachments*:**
1. Email from Chris Butz, Traverse City Christian School, dated May 1, 2023.

Steve Hannon

From: Chris Butz <cbutz@tcchristian.org>
Sent: Monday, May 1, 2023 11:41 AM
To: Steve Hannon
Subject: Re: Garfield Twp. Special Use Permit Application - Child Care Center

Thanks for the follow-up Steve. No, we are going to have to let this go for right now. It is not off the table, just on the back burner as we have so much to do to wrap up the year. I hope to revisit this over the summer and look at possibilities.

Thanks for everything that you and the Commission have done to help!

Be Blessed,

Chris Butz, J.D.
Superintendent, Traverse City Christian School

753 Emerson Rd., Traverse City, MI 49696
231-929-1747 Ext 170 | cbutz@tcchristian.org | tcchristian.org

2022-2023 Theme: Sincerely Faithful! "The goal of this command is love, which comes from a pure heart and a good conscience and a sincere faith" 1 Timothy 1:5 (NIV)

From: Steve Hannon <shannon@garfield-twp.com>
Date: Monday, May 1, 2023 at 9:35 AM
To: Chris Butz <cbutz@tcchristian.org>
Subject: RE: Garfield Twp. Special Use Permit Application - Child Care Center

Hello Chris,

I wanted to follow up on this application, since it is getting close to the expiration date of May 11. If this application is not continuing, then we will put it on the agenda for the May 10 Planning Commission meeting next week to formally recognize that the application will expire on May 11.

If you have any updates on this application, please let me know, and don't hesitate to ask any questions.

Thanks,

Stephen Hannon, AICP
Deputy Planning Director
Charter Township of Garfield

3848 Veterans Drive
Traverse City, MI 49684
shannon@garfield-twp.com
(231) 225-3156

From: Chris Butz <cbutz@tcchristian.org>
Sent: Monday, February 13, 2023 2:54 PM
To: Steve Hannon <shannon@garfield-twp.com>
Subject: Re: Garfield Twp. Special Use Permit Application - Child Care Center

Thanks, Steve. Even if we move forward, I'm pretty sure we might be looking elsewhere as the church is working on other options I believe.

That would obviously require us to start the process over. If we move past May 11, does the application administratively dissolve at that time?

Be Blessed,

Chris Butz, J.D.
Superintendent, Traverse City Christian School

753 Emerson Rd., Traverse City, MI 49696
231-929-1747 Ext 170 | cbutz@tcchristian.org | tcchristian.org

2022-2023 Theme: Sincerely Faithful! "The goal of this command is love, which comes from a pure heart and a good conscience and a sincere faith" 1 Timothy 1:5 (NIV)

From: Steve Hannon <shannon@garfield-twp.com>
Date: Thursday, February 9, 2023 at 10:46 AM
To: cbutz@tcchristian.org <cbutz@tcchristian.org>
Cc: info@tcchristian.org <info@tcchristian.org>
Subject: Garfield Twp. Special Use Permit Application - Child Care Center

Hello Chris,

I'm following up on the Special Use Permit application from TC Christian School for a child care center at Church of the Living God on Birmley Road. This application was tabled at the January 11 Planning Commission meeting and you needed time to determine if you will be moving forward with this application. Applications can be tabled but only for a certain window of time. Please see the following section of the Zoning Ordinance:

SECTION 404 EXPIRATION OF APPLICATION

"During the course of any administrative, legislative, or quasi-judicial application review, if an applicant has failed to proceed meaningfully towards application completion or application decision for a period of one-hundred and twenty (120) consecutive calendar days, then the application shall be considered expired. Following expiration of an application, the applicant shall be provided with written notice of said expiration."

120 days from January 11 is **Thursday May 11**. As you determine your course of action, please keep this date in mind.

If you have any updates on this application, please let me know, and don't hesitate to ask any questions.

Thanks,

Stephen Hannon, AICP
Deputy Planning Director
Charter Township of Garfield

3848 Veterans Drive
Traverse City, MI 49684
shannon@garfield-twp.com
(231) 225-3156

Charter Township of Garfield
Planning Department Report No. 2023-55

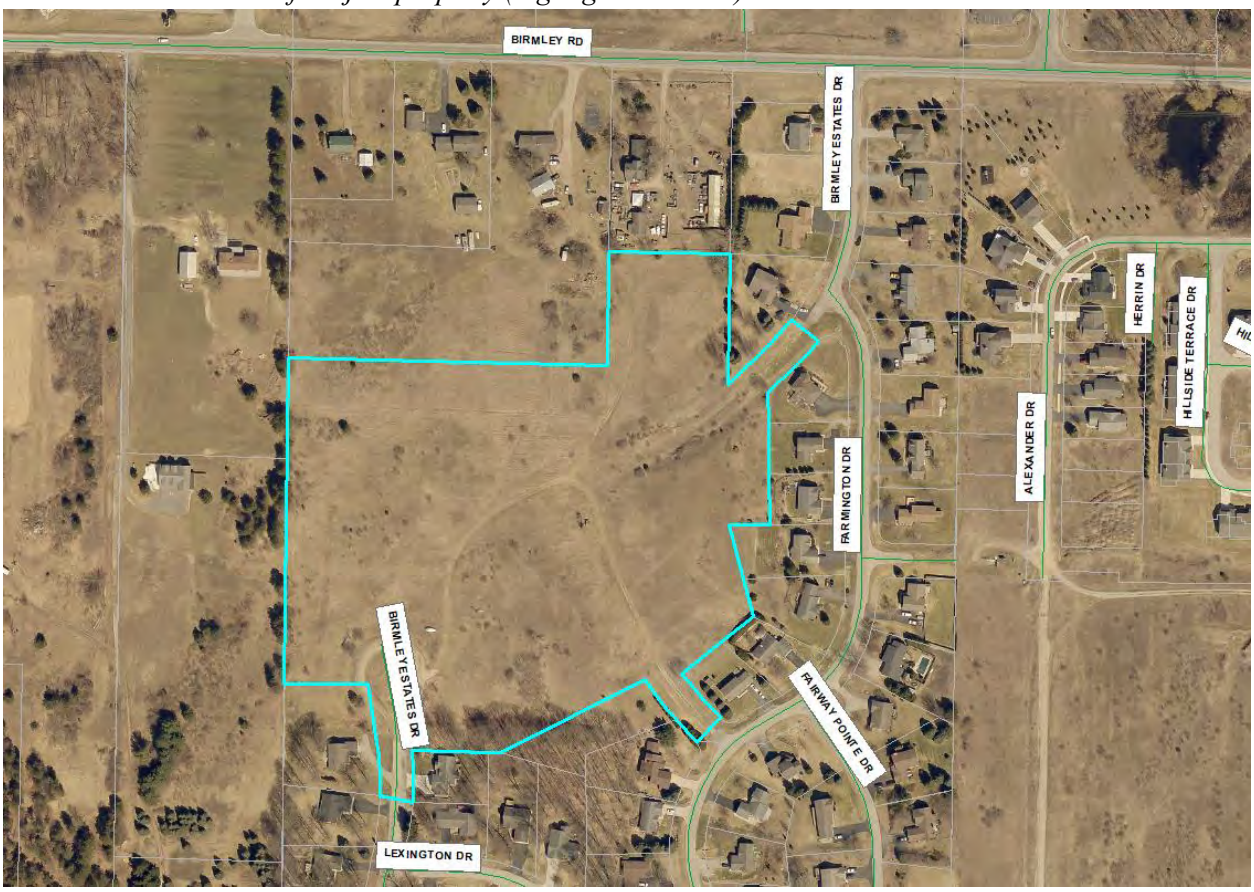
Prepared:	May 3, 2023	Pages:	5
Meeting:	May 10, 2023 Planning Commission	Attachments:	☒
Subject:	SPR 2023-04 Birmley Meadows Site Condominium – Introduction		
File No.	SPR 2023-04	Parcel No. 05-026-020-33	
Owner:	T&R Investments, Steve Zakrajsek		
Agent:	Boyne Engineering and Design		

BACKGROUND:
Birmley Meadows is a proposed 26-lot residential site condominium development immediately adjacent to the north of the existing Birmley Hills Estates subdivision. The site is directly accessed from Birmley Estates Drive and Farmington Drive, which both provide access from Birmley Road. The site is about 16 acres and zoned R-1 One-Family Residential.

PURPOSE OF APPLICATION:
This application is for a site condominium development of 26 single-family residential lots. According to the application, the lots will be between 15,000 and 40,000 square feet, the development will be served by municipal water and sewer, and all utilities will be underground.

Zoomed-out aerial view of the subject property (highlighted in blue):

Zoomed-in aerial view of subject property (highlighted in blue):



<u>SITE CONDOMINIUM REVIEW CONSIDERATIONS</u>:

Consultation

Section 429 B. of the Zoning Ordinance allows for the Planning Commission to consider input from the Township Attorney and Township Engineer as needed in its review of a condominium development plan, especially the master deed, deed restrictions, utility systems and streets, subdivision layout and design, and compliance with the Condominium Act. Other agencies will also review the plan as needed.

The Township Engineer will review storm water and private roads for the application and has provided an estimated amount for escrow for plan review, construction oversight, and project close-out for the water main and sanitary sewer extension.

Review Criteria

Section 429 G. of the Zoning Ordinance described the review criteria for site condominium subdivisions: "For purposes of making a decision to approve, approve with conditions or to deny a site condominium subdivision plan, the Township shall consider and make findings with respect to the following criteria:"

(1) That each condominium lot in a site condominium subdivision shall be considered as a single lot and shall comply with all regulations of the zoning district in which it is located. In a condominium development containing single-family detached dwelling units, not more than one (1) dwelling unit shall be located on a condominium lot, nor shall a dwelling unit be located on a condominium lot with any other principal structure or use. Required yards shall be measured from boundaries of a condominium lot. These requirements shall be made part of the bylaws and recorded as part of the master deed

The application proposes 26 single-family lots on a site with R-1 One-Family Residential zoning. For lots in R-1 with public sewer, the minimum lot area is 15,000 square feet and the minimum lot width is 100 feet. Along the curve of a road, the lot width is measured from the front setback line instead of at the front lot line.

The applicant should include with the site plan a sheet showing all lot widths, including those for lots along the curve of a road, to determine if minimum lot width requirements are met.

(2) That there is a proper relationship between the existing streets and highways within the vicinity, and proposed deceleration lanes, service drives, entrance and exit driveways, and parking areas to assure the safety and convenience of pedestrian and vehicular traffic, and that the proposed streets and access plan conform to any street or access plan adopted by the Township or the County Road Commission

The two proposed roads are Birmley Estates Drive, which would connect the two non-contiguous existing sections of Birmley Estates Drive, and a new road named Springfield Drive. Both roads are proposed as private roads. These roads, along with the existing roads in Birmley Estates and the previously proposed roads in Birmley Hills will form a connected street system and appear to be a logical extension of the street pattern for this area. The street system for this area connects to Birmley Road, serving all three developments. Agencies including Metro Fire will also provide comments on the streets and the impact of this project. The road names are to be reviewed and approved by Grand Traverse County Equalization and the Township Board.

(3) That as many natural features of the landscape shall be retained as possible, particularly where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes, and where they assist in preserving the general appearance of the neighborhood or help control erosion or the discharge of storm waters

The site plan does not indicate any contiguous common open space. The Impact Statement in the application states that the "project will not significantly disturb the existing forested areas of the property outside of homesites. It would not negatively affect wildlife habitats in those areas. Some tree clearing will be required to construct the improvements and create buildable lots but will be minimized to the extent possible." The proposed use and surrounding uses are generally single-family homes of similar scale.

(4) That any adverse effect of the proposed development and activities emanating therefrom upon adjoining residents or owners shall be minimized by appropriate screening, fencing or walls, or landscaping

The proposed development consists of single-family homes, which are compatible with existing single-family homes in the area. To the north and west are several single-family homes on larger lots. No major adverse effects are anticipated from this project.

(5) That all provisions of this ordinance are complied with

Development standards such as fences, lighting, landscaping, and parking are handled as part of the design for each individual condominium lot. The site plan notes no site lighting is proposed for this development, and that parking will be located on individual lots and no additional parking areas are proposed. Details for a proposed Birmley Meadows entrance sign are shown on Sheet C6.0. Signs require sign permit review and are not approved under the site plan review process.

(6) That all site condominium lots shall be provided access by either public or private roads in conformance with the requirements of this ordinance. All site condominium units shall be accessible to emergency vehicles

All lots are proposed to be accessed by either of the two proposed private roads: Birmley Estates Drive (extension) or Springfield Drive. Emergency vehicle access should reflect any comments from the relevant agencies.

(7) That a plan for erosion control and storm water discharge has been approved by the appropriate public agency; and

Review of erosion control and storm water will be handled by the Grand Traverse County Soil Erosion and Sedimentation and the Township Engineer, respectively. Storm water retention areas are shown on the north side of the property between Lot 4 and Lot 5, and along Springfield Drive in front of Lot 21.

(8) That the plan as approved is consistent with the intent and purpose of zoning to promote public health, safety and general welfare; to encourage the use of lands in accordance with their character and adaptability to avoid the overcrowding of population; to lessen congestion on the public roads and streets; to reduce hazards to life and property; to facilitate adequate provisions for a system of transportation, sewage disposal, safe and adequate water supply, education, recreation and other public requirements; and to conserve the expenditure of funds for public improvements and services to conform with the most advantageous uses of land, resources and properties; to preserve property values and natural resources; and to give reasonable consideration to character of a particular area, its suitability for particular uses and the general appropriate trend and character of land, building, and population development and is otherwise in compliance with law.

The proposed development is consistent with the current zoning of R-1 One-Family Residential and the Future Land Use Map designation of Low Density Residential and is consistent with the intent to promote the public health, safety, and welfare and with the provisions of this standard.

PROCESS:

Site condominiums are reviewed by both the Planning Commission and Township Board. The Planning Commission shall hold a public hearing on the application and make a recommendation on the application to the Township Board. The Township Board conducts final review of the application but is not required to hold its own public hearing.

ACTION REQUESTED:

The purpose of the introduction is to accept the application and to identify any concerns that need to be addressed prior to holding a public hearing. As such, following an opportunity for applicant presentation and Commissioner discussion, the following motion is offered for consideration:

> MOTION THAT application SPR-2023-04, submitted by submitted by T&R Investments, for a proposed site condominium development to be known as Birmley Meadows at Parcel No. 05-026-020-33, BE ACCEPTED, and BE SCHEDULED for a public hearing for the June 14, 2023 regular Planning Commission meeting, subject to the following additional information being provided by the applicant:
>
> 1. Include, with the site plan set, a sheet showing all lot widths, including those for lots along the curve of a road, to determine if minimum lot width requirements are met.
> 2. The site plan is subject to review by others, including but not limited to the Township Engineer, Metro Fire, and Grand Traverse County Equalization.

Any additional information the Planning Commission deems necessary should be added to this motion.

***Attachments*:**

1. Application for Site Condominium Subdivision review dated April 5, 2023.
2. Statement of Proposed Use, Impact Statement, and Stormwater Control Plan dated April 5, 2023.
3. Birmley Meadows Site Condominium Site Plan Set dated April 5, 2023.

Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SITE CONDOMINIUM SUBDIVISION (SCSP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

☒ Site Condominium Subdivision Plan Review

PROJECT / DEVELOPMENT NAME: BIRMLEY MEADOWS

APPLICANT INFORMATION

Name:	T & R INVESTMENTS
Address:	841 ASHLAND AVE, TC MI 49696
Phone Number:	(231) 883-3766
Email:	zakrajsekstave@gmail.com

AGENT INFORMATION

Name:	BOYNE ENGINEERING AND DESIGN, PLLC.
Address:	PO BOX 94, BOYNE CITY, MI 49712
Phone Number:	(231) 499-8361
Email:	boyneeng@torchlake.com

OWNER INFORMATION

Name:	T&R
Address:	
Phone Number:	
Email:	

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

☒ Applicant:	STEVE ZAKRAJSEK
☒ Agent:	CARRIE MAY, P.E.
☐ Owner:	

PROPERTY INFORMATION

Property Address:	TBD
Property Identification Number:	05-026-020-33
Legal Description:	SEE PLANS SHEET C0.0
Zoning District:	R1
Master Plan Future Land Use Desigation:	
Area of Property (acres or square feet)	

SITE CONDOMINIUM SUBDIVISION PLAN

The site condominium subdivision plan shall indicate specific unit dimensions with front, rear and side site condominium lot lines allocated to each condominium unit. Parcels shall be referred to as site condominium lots. The description, size, location, and arrangement of the site condominium lots shall conform to the requirements of the Zoning Ordinance. All site condominium subdivision lots shall be deeded as limited common elements for the exclusive use of the owners of the condominium subdivision units. Each condominium dwelling unit shall be located within a condominium lot.

1. Name of the project, name and address of preparer, and date. ✓
2. The plan shall be of a scale not less than one inch (1") equals fifty feet (50'). ✓
3. All plans are to be accurately sealed. ✓
4. Layout and dimensions of all condominium lots. ✓
5. Layout and dimensions of all roadways and pedestrian pathways. ✓
6. Adequate drainage of surface water, stormwater disposal methods. ✓
7. Distribution of telephone, electric, television, and other similar services by underground wire or cable. ✓
8. First floor elevation of buildings (if applicable).
9. Location of gas lines. ✓
10. Location of water lines, and hydrants or other appurtenances. ✓
11. Location of sanitary sewer lines including the location and size of the proposed service. ✓
12. Location of existing and proposed fencing, landscaping, screening, or other buffers required. ✓
13. Location of streetlights and light fixture details. ✓

REQUIRED SUBMITTAL ITEMS

A complete application for a Site Condominium Subdivision Plan consists of the following:

Application Form:

- ☒ One original signed application
- ☒ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

☒ Fee $1,780

Site Condominium Subdivision Plan:

☒ Ten complete stapled 11"x17" paper sets

☒ Two complete bound 24"x36" paper sets

☒ One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

REVIEW PROCEDURE

Subject to the standards of § 429.G of the Zoning Ordinance, a proposed Site Condominium Subdivision shall be reviewed in accordance with § 429.H and generally summarized as follows:

1. Agency Submittal: The applicant shall provide copies of the proposed site condominium subdivision plan to the following Grand Traverse County Agencies: Health Department (or Department of Public Works if proposed on municipal water and/or sanitary sewer), Drain Commissioner (or Township designee), Soil Erosion-Sedimentation Control Director (or Township designee), Road Commission (or Michigan Department of Transportation if proposed on a state highway), and the Metro Fire Department.
2. Independent Review: An independent engineer or other consultant may be hired, at the applicant's expense, to review the project and make recommendations to the Township.
3. Public Hearing: The Planning Commission shall hold a public hearing on the proposed site condominium subdivision plan, for the purpose of reviewing and making a recommendation of approval, approval with conditions, or denial to the Township Board.
4. Planning Commission Determination: If the Planning Commission determines that the proposed plan meets all requirements of this ordinance and the Condominium Act, the Planning Commission shall recommend approval or approval with conditions of the site condominium subdivision plan and shall send notice of action taken with comments to the Township Board. If the Planning Commission determines that the site condominium subdivision plan does not meet all requirements, the Planning Commission shall state its reason in its official minutes, shall forward same to the Township Board, and shall recommend disapproval of the plan by the Township Board until the objections causing disapproval have been changed to meet the requirements of this ordinance and the Condominium Act.
5. Township Board Determination: The Township Board shall approve the site condominium subdivision plan, with or without conditions, reject the plan and give its reasons, table the proceedings pending further review or pending changes to the plan to make it acceptable to the Board, or refer that application back to the Planning Commission for further review and report.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date: 4-5-23

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We JdR Investments am/are the registered owner(s) of the lands that is the subject of this application for a site condominium subdivision.

Owner Signature:

Date: 4-5-23

I/We CARRIE MAY authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application.

Owner Signature:

Date:

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date: 4-5-23

Applicant Signature:

Date:

BOYNE ENGINEERING AND DESIGN, PLLC.
PO BOX 94 Boyne City, MI 49712 (231) 499-8361 boyneeng@torchlake.com

BIRMLEY MEADOWS
A SITE CONDOMINIUM PROPOSAL

April 5, 2023

Applicant / Owner: T & R Investments
841 Ashland Drive
Traverse City, MI 49696

Steve Zakrajsek (231) 883-3766

Meeting Date: May 10, 2023

Package Contents:

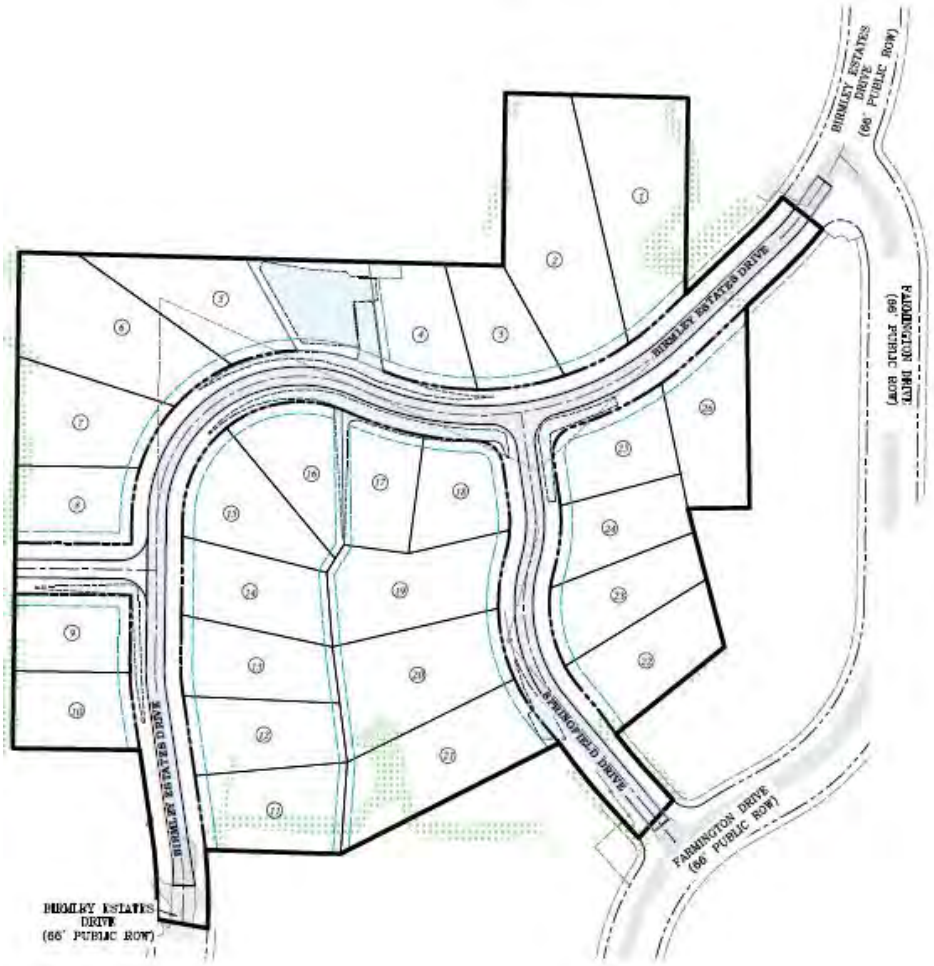
1. Statement of Proposed Use
2. Impact Statement & Traffic Assessment
3. Stormwater Control Plan
4. Engineered Plans 11 Sheets
   Dated 04/05/2023

STATEMENT OF PROPOSED USE

Birmley Meadows is a proposed 26 lot residential site condominium development on 16.02 acres located in Garfield Township's R-1 Residential zoning district. The Tax ID for the property is 05-026-020-33.

The property is part of the Southeast ¼ of Section 26, Township 27 North, Range 11 West and is located between two existing road stubs where Birmley Estates Drive (public) is discontinuous. This proposed development completes that thoroughfare via a new private section of Birmley Estates Drive and connects as originally planned to an existing road stub off Farmington Drive (public) via a new private road - Springfield Drive. The proposed private section of Birmley Estates Drive is approximately 1,616 feet long and the proposed Springfield Drive is approximately 595 feet long. An additional stub road section is provided to the west property line, as required by Garfield Township, which is approximately 183 feet long. All proposed roads in the development are within 66' road easements with additional 15' utility easements on both sides.

The lots in this proposed development are between 15,000 sf and 40,000 sf. The proposed development will be served by municipal water and sewer. All utilities will be underground. A monument sign is proposed for the entry at the northernmost end of Birmley Estates Drive.



IMPACT STATEMENT

T & R Investments
841 Ashland Drive
Traverse City, MI 49696

Contact: Steve Zakrajsek (231) 883-3766

Proposed Birmley Meadows 26 Lot Residential Site Condominium

Tax ID: 05-026-020-33

1.) PROJECT DESCRIPTION:

Birmley Meadows is a proposed 26 lot residential site condominium development located on 16.02 acres in Garfield Township's R-1 Residential zoning district.

The property is part of the Southeast ¼ of Section 26, Township 27 North, Range 11 West and is located between two existing road stubs where Birmley Estates Drive (public) is discontinuous. This proposed development completes that thoroughfare via a new private section of Birmley Estates Drive and connects as originally planned to an existing road stub off Farmington Drive (public) via a new private road - Springfield Drive. The Tax ID for the property is 05-026-020-30.

The lots in this proposed development are between 15,000 sf and 40,000 sf. The development will include 2 new 24' wide private roads which intersect and connect to Birmley Estates Drive and Farmington Drive as described. Both existing roads have partial extensions (stubs) where additional roads have previously been planned. The proposed private section of Birmley Estates Drive is approximately 1,616 ft long and the proposed Springfield Drive is approximately 595 ft long. The proposed development will be served by municipal water and sewer also extending from the same Birmley Estates roads. There is a Garfield Township elevated water storage tank in close uphill proximity to this proposed development. All utilities will be underground. The private road right-of-way easement is 66 feet wide with an additional 15-foot utility easement on each side. Garfield township and Grand Traverse County will have access to both easements as well as all other stormwater easements. There is a monument sign proposed for the entry at the northernmost end of the private section of Birmley Estates Drive. The road grades in this development range between 1.0% and 7.1%. The plans includes a stub road with water and sewer line stubs connecting to the adjacent westerly property line between proposed lots 8 and 9. Homes in the development are expected to average 1,800 square feet with some larger homes. There are a limited number of trees on the existing land, most of which is unmaintained grass. Stormwater will be handled with open ditches along the roadways and basins near the natural discharge locations in keeping with the character of the adjacent development. There is a break in the direction of the stormwater watershed midway through the property. A stormwater control plan has been engineered to meet Garfield Township stormwater regulations which includes detention and infiltration basins with sediment forebays.

2.) DEMAND ON COMMUNITY SERVICES:

A.) The development will be served by municipal sewer which is expected to have capacity for these homes. The plans will be reviewed by the Grand Traverse County Department of Public Works

B.) The development will be served by municipal water which is also expected to have capacity for these homes. There is an elevated storage tank feeding the system nearby and uphill from the development. The plans will be reviewed by the Grand Traverse County Department of Public Works.

C.) According to the Institute of Transportation Engineers (ITE) publication for Trip Generation, 10th Edition, a Single-Family Detached home generates an Average Daily Traffic rate of 9.44 trips per day. This would amount to approximately 246 daily trips for the development. The Peak Hour traffic for this use would occur typically between the hours of 7:00am and 9:00 am with a rate of 0.74 trips per hour per household or 20 trips overall for the development, and between the hours of 4:00pm and 6:00 pm with a rate of 0.99 trips per hour per household or 26 trips overall for the development. These rates include inbound and outbound traffic with outbound traffic accounting for 75% of the morning trips (15 trips) and inbound traffic accounting for 63% of the evening trips (16 trips). Although these trips would be split between the three exit points of the development, all outbound and inbound traffic would use the portion of Birmley Estates Drive between the development and the intersection at Birmley Road. It is unlikely that a formal traffic study would find that this relatively small number of additional trips would reduce the Level of Service on the adjoining public roads. The plans will be reviewed by the Grand Traverse County Road Commission.

D.) According to 2000 census data, this development may house approximately 65 people and add approximately 8 children to local schools.

E.) The Grand Traverse Metro Fire Department will review the plans for this relatively simple residential development. Appropriate home spacing, road grades, paving, access routes, turning radii and fire hydrants are included in the design.

1.) ENVIRONMENTAL IMPACTS:

A.) The Engineered Site Plan includes proposed grading and soil erosion control measures.

B.) The Engineered Site Plan includes a Stormwater Runoff Control Plan which addresses stormwater runoff and control according to the Garfield Township requirements. A soil erosion and sediment control permit will be required for construction of the project.

C.) This project does not border on the shoreline and there are no wetlands in the vicinity of the proposed development.

D.) This project will not significantly disturb the existing forested areas of the property outside of homesites. It would not negatively affect wildlife habitats in those areas. Some tree clearing will be required to construct the improvements and create buildable lots but will be minimized to the extent possible.

E.) This project will not significantly contribute to air pollution due to the fact that it is not a commercial type use and is replacing the same residential uses elsewhere.

F.) It is not anticipated that water pollution will result from this development. Increased runoff due to impervious surfaces is mitigated according to the Stormwater Control Plan and infiltration is planned in what are mostly well draining sandy soils.

G.) The proposed development can be expected to generate noise typical of a residential development which is not considered a harmful noise producing use.

This completes the impact statement for this project. If there are any questions regarding this statement or the project, please contact:
Boyne Engineering and Design - Ms. Carrie May, P.E. at (231) 499-8361.

BOYNE ENGINEERING AND DESIGN, PLLC.
PO BOX 94 Boyne City, MI 49712 (231) 499-8361 boyneeng@torchlake.com

SUMMARY OF
STORMWATER RUNOFF CONTROL PLAN
FOR

BIRMLEY MEADOWS A SITE CONDOMINIUM

GARFIELD TOWNSIP, MI

BED PROJECT NO: 22033

April 5, 2023

STATE OF MICHIGAN
CARRIE
MAY
ENGINEER
No.
42082
LICENSED PROFESSIONAL ENGINEER

4/5/2023

STORMWATER CONTROL PLAN

DESCRIPTION

Birmley Hills is a proposed 26 lot residential site condominium development located in Garfield Township's R-1 Residential zoning district.

The property is part of Southeast ¼ of Section 26, Township 27 North, Range 11 West and is located between two existing road stubs where Birmley Estates Drive (public) is discontinuous. The Tax ID for the property is 05-026-020-33.

Hydrology modeling and runoff calculations were performed by Boyne Engineering and Design using SCS TR-20 Method and Hydrocad software. Detailed model calculations are attached which correspond to the stormwater summary and watershed maps included on the engineered plans (See Sheet C2.1). The following parameters describe the site conditions and modeling assumptions.

WATERSHED

The overall watershed containing this 16.02 acre development is approximately 33 acres and contains three sub-watersheds draining to the north, south and east respectively. Much of the north sub-watershed (approximately 15 acres) is made up of existing upstream farmsteads. Runoff from those areas follows a natural course which passes through this proposed development. This pass-through runoff currently combines with runoff from the largest portion of the land in this development and follows a natural watercourse north towards the system of ditches and culverts running along and crossing under Birmley Road. This natural watercourse is maintained with the proposed development and retention/infiltration has been conservatively sized due to the residential nature of the surrounding land. The sub-watersheds draining to the south and east are confined within the proposed development. Runoff from these watersheds will be directed towards the existing system of retention/infiltration basins and ditches within the existing Birmley Estates subdivision which were originally designed to accommodate that flow. Additional retention/infiltration basins are also provided where feasible. There is no evidence of downstream flooding in the existing development and existing proximate finish floor elevations are above stormwater control facility high water elevations. The proposed developed areas are modeled as 1/3 ac residential, 1/2 ac residential and impervious paved surfaces according to the plan details.

SOILS AND TERRAIN

The USDA Soil Conservation maps of this area show that the soils can be expected to be sandy with the exception of an area shown on the watershed maps which may have a stratified layer of loamy sand. The design plans note that if this material is found in the location of the retention/infiltration basins, it is to be removed and replaced with sandy soil. Soil evaluations and infiltration tests were conducted by Boyne Engineering and GFA in various locations approximate to this development in 2022 and soils were found to be sandy loam and loamy sand with an infiltration

rate of 11.34 in/hr. The slopes on the site vary between 1% and 12% with limited steeper areas in locations which have previously been graded. The proposed drives have been profiled to follow the existing contours to the extent possible and to balance earthwork.

SOIL EROSION

The engineered Grading and Drainage plan (See Sheet C2.1) specifies temporary and permanent soil erosion measures including construction entrances, silt fence, minimum earth disturbance requirements, slope stabilization requirements, 3:1 and 4:1 maximum ditch and basin side slopes, stabilized overflows and level spreader outlets, and seeding requirements.

STORMWATER

REQUIREMENTS:

The following summarizes the stormwater control requirements of Garfield Township and the design components which satisfy those requirements (See the attached detailed calculations and Sheet C2.1 of the engineered plans for more information).

- Runoff generated from site improvements is retained on site in retention/infiltration basins designed to limit outflow from developed areas to less than 0.13 CFS per developed acre for a 25 year, 24 hr storm event.
- The storage volume provided exceeds the requirements which are calculated as the volume of runoff from the developed area for the 25 year, 24 hr storm event minus the volume of runoff from the existing area for the 2 year, 24 hr storm event minus the volume of infiltration over 24 hours in the designed basins for the 25 year, 24 hr storm event.
- Runoff from uncontrolled areas totaling 0.61 acres flows to existing stormwater basins designed to accommodate tht flow.
- Basin slopes do not exceed 3:1.
- Snow storage is indicated on the plans.
- Erosion control measures such as check dams and outlet protection are included where anticipated flows exceed 4 fps and erosion control measures are specified for slopes and watercourses.
- The stormwater facilities are designed to safely pass a 100 year, 24 hr storm event without increasing downstream flooding.
- Basins are designed to drain through infiltration within 72 hours.

CALCULATIONS:

The following summarizes the stormwater calculations found in the attached Hydrocad reports.

SUMMARY OF STORMWATER CONTROL:

WATERSHED (33.06 AC)	ACREAGE	PASS-THROUGH AREA OR AREA CONTROLLED BY EXISTING SYSTEMS	DEVELOPED & CONTROLLED AREA	25 YEAR, 24 HR STORM ALLOWABLE OUTFLOW: 0.13 X DEV ACREAGE PLUS 25 YEAR, 24 HR STORM RUNOFF FROM PASS-THROUGH AREA	25 YR, 24 HR STORM DESIGNED OUTFLOW	REQUIRED STORAGE: 25YR DEV RUNOFF - 2 YR EX RUNOFF - 25 YR INFILTRATED RUNOFF	STORAGE PROVIDED
	AC	AC	AC	CFS	CFS	AF	AF
NORTH	28.57	14.66	13.91	1.81 + 9.72 = 11.53	5.93	*1.01	1.29
EAST	2.85	0.39	2.46	0.32	0.00	0 (100% INFILT)	0.06
SOUTH	1.64	0.22	1.42	0.18	0.16	0.01	0.09
TOTAL	33.06	15.27	17.79	12.03	6.09	1.02	1.44

* REDUCTION FOR INFILTRATION NOT TAKEN

ATTACHMENTS

1. NRCS soil report
2. Watershed maps
3. Hydrocad modeling and runoff calculations
4. Engineered Site Plans

PLANS FOR:

BIRMLEY MEADOWS SITE CONDOMINIUM

PART OF THE SOUTH EAST $\frac{1}{4}$ OF SECTION 26, TOWNSHIP 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY MICHIGAN

GENERAL NOTES

1. THIS CONSTRUCTION PROJECT SHALL AT ALL TIMES AND IN ALL SITUATIONS PROCEED IN A MANNER CONSISTENT WITH THE REQUIREMENTS OF THE GARFIELD TOWNSHIP ZONING ORDINANCE, PART 91 - SOIL EROSION AND SEDIMENTATION CONTROL OF THE NATURAL RESOURCES AND ENVIRONMENTAL PROTECTION ACT, 1994 PA 451, THE CURRENT GRAND TRAVERSE COUNTY CONSTRUCTION STANDARDS, AND ALL OTHER APPLICABLE RULES, REGULATIONS AND LAWS OF ANY OTHER AUTHORITY WITH JURISDICTION TO GOVERN SUCH CONSTRUCTION. THE CONTRACTOR SHALL KEEP A COPY OF THOSE REQUIREMENTS AND ALL CONSTRUCTION DOCUMENTS RELATED TO THIS PROJECT ON THE PROJECT AT ALL TIME AND REFERENCE SHALL BE MADE TO THEM FOR PROPER MATERIALS, METHODS, ETC. REGARDING CONSTRUCTION IMPROVEMENTS.
2. THE CONTRACTOR SHALL CHECK THESE PLANS AND FIELD VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK ON ANY SEGMENT OF THE PROJECT. IF THE CONTRACTOR HAS ANY QUESTIONS OR SUSPECTS THERE IS AN ERROR OR OMISSION WITHIN THE PLANS OR THE CONSTRUCTION STAKES, HE OR SHE SHALL NOT PROCEED UNTIL THE ENGINEER OR HIS OR HER REPRESENTATIVE HAS BEEN FULLY NOTIFIED, HAS RESPONDED, AND HAS SPECIFICALLY STATED THE CONTRACTOR MAY PROCEED.
3. EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWER AND WATER ARE IDENTIFIED BY THE BEST KNOWLEDGE OF THE SURVEYOR, HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND MISS DIG:(800) 482-7171. THE CONTRACTOR SHALL ENSURE THAT THE LOCATIONS OF ALL UTILITIES WITHIN THE VICINITY OF THE PROJECT ARE STAKED AND IDENTIFIED PRIOR TO PROCEEDING WITH WORK IN ANY AREA OF THE PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OR RELOCATION OF EXISTING UTILITIES AND STRUCTURES AND SHALL SAVE THOSE UTILITIES AND STRUCTURES HARMLESS FROM DAMAGE, WHETHER PUBLICLY OR PRIVATELY OWNED. THE CONTRACTOR SHALL REPAIR, AT HIS OR HER COST, ANY DAMAGE TO THOSE UTILITIES AND STRUCTURES. UTILITY POLES, ANCHORING CABLES AND UTILITY FOUNDATIONS SHALL NOT BE DISTURBED OR UNDERMINED. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY AND PROVIDE PROPER SUPPORT OF SUCH UTILITIES IN THE VICINITY OF THE WORK, AND IF NECESSARY, INSTALL TEMPORARY SHEETING OR TRENCH BOXES TO MINIMIZE EXCAVATION LIMITS.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE CAUSED TO THIS OR ADJACENT PROPERTY, AND FOR INJURY TO ANY PERSON, OCCURRING DURING OR AS A RESULT OF THE CONSTRUCTION PROCESS, WHETHER SUCH DAMAGE OR INJURY RESULTS FROM ANY ACTION OR LACK OF ACTION BY PRINCIPALS OF THE COMPANY, EMPLOYEES, SUBCONTRACTORS, OR SUPPLIERS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING CONSTRUCTION SAFETY. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL ALL NECESSARY TEMPORARY SAFETY DEVICES, SAFEGUARDS, AND PROTECTIVE EQUIPMENT AND FOLLOW ALL ADVISABLE SAFETY PRACTICES NECESSARY TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC DURING THE CONSTRUCTION PROCESS. NEITHER THE OWNER OR THE ENGINEER ASSUME ANY LIABILITY FOR MATTERS RELATING TO SAFETY AT THE CONSTRUCTION SITE.
5. ANY DAMAGE TO IMPROVEMENTS NOT CAUSED BY THE OWNER, PRIOR TO FINAL PROJECT ACCEPTANCE BY THE ZONING ADMINISTRATOR AND THE OWNER, SHALL BE REPAIRED OR REPLACED AS NECESSARY TO CONFORM WITH THE DESIGN AT THE EXPENSE OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL NOTIFY THE GRAND TRAVERSE COUNTY CONSTRUCTION SUPERVISOR 3 DAYS PRIOR TO STARTING WORK AND SHALL FIRST PROVIDE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES ASSOCIATED WITH SUCCESSFULLY COMPLETING THE CONSTRUCTION PROCESS, INCLUDING ALL PUBLIC INSPECTION FEES.
7. ALL STUMPS, LARGE ROCKS, CONCRETE, SCRAP MATERIALS, TRASH AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. DURING CONSTRUCTION EXPOSE THE MINIMUM AREA OF SOIL FOR THE MINIMUM TIME POSSIBLE. SEE SOIL EROSION AND STORMWATER CONTROL NOTES.
9. THROUGH TRAFFIC ON ADJACENT ROADWAYS SHALL NOT BE INTERRUPTED WITHOUT EXPLICIT PERMISSION FROM, AND COORDINATION WITH THE GRAND TRAVERSE COUNTY ROAD COMMISSION. ALL WORK WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE COUNTY ROAD COMMISSION CONSTRUCTION SPECIFICATIONS AND PERMIT REQUIREMENTS. PAVEMENT CUTS ARE TO BE MADE WITH A SAW, IMMEDIATELY PRIOR TO PAVING.
10. ALL WORK IS TO BE PERFORMED WITHIN THE PROPERTY, WITHIN THE PUBLIC RIGHT-OF-WAY, OR WITHIN ESTABLISHED EASEMENTS. ALL WORK WITHIN EASEMENTS SHALL BE COORDINATED WITH THE EASEMENT HOLDER AND BE IN ACCORDANCE WITH THE LIMITATIONS AND RESTRICTIONS OF THOSE EASEMENTS. ANY WORK OUTSIDE OF THESE LIMITS SHALL BE COORDINATED AND APPROVED BY THE PROPERTY OWNER AFFECTED. DOCUMENTATION OF THIS ARRANGEMENT SHALL BE PROVIDED TO THE ZONING AUTHORITY. ANY DISRUPTION CAUSED TO ADJACENT PROPERTIES OR TO THE PUBLIC RIGHT-OF WAY SHALL BE PROPERLY RESTORED INCLUDING LAWNS, SIDEWALKS, DRIVEWAYS, PLANTINGS, SIGNS, MAILBOXES, ETC., AT NO ADDITIONAL COST TO THE OWNER.
11. THE CONTRACTOR SHALL PROVIDE ADEQUATE ON-SITE SUPERVISION OF THE WORK AT ALL TIMES DURING THE CONSTRUCTION PROCESS. THERE SHALL BE ONE DESIGNATED ON-SITE SUPERVISOR AVAILABLE WHENEVER CONSTRUCTION IS UNDERWAY WHO HAS THE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR.

** ALL ELEVATIONS ARE BASED ON:
NAVD 88 DATUM REFERENCED TO THE TRAVERSE CITY CORS

LOCATION MAP

NOT TO SCALE

LEGAL DESCRIPTION

PT SE1/4 SEC 26 T27N R11W COM E1/4 COR TH N 89DEG 39'W 1772.02' TH S 00DEG 28'58"E 368.51' TO POB TH S 00 DEG 28'58"E 253.84' TH N 45DEG 10'45"E 119.53' TH 58.01' ALG CRV L (R=407' CHD=N 41DEG 05'46"E) TH S 52DEG 59'12"E 66' TH 67.41' ALG CRV RT (R=473' CHD=S 41DEG 05'46"W) TH S 45DEG 10'45"W 73' TH S 02DEG 05'30"E 260.42' TH S 88DEG 05'45"W 80' TH S 16DEG 00'09"E 185' TH S 49DEG 57'49"W 180' TH 59' ALG CRV L (R=667' CHD= S 41DEG 02'29"E) TH S 43DEG 34'32E 53.88' TH S 40DEG 51'11"W 66.31' TH N 43DEG 34'32"W 60.32' TH 100.08' ALG CRV RT (R=733' CHD=N 39DEG 39'51"W) TH S 61DEG 55'17"W 317.28' TH S 89DEG 31'02"W 25' TH N 89DEG 22'41"W 149.88' TH 101.68' ALG CRV RT (R=687.94' CHD=S 02DEG 54'20"E) TH N 81DEG 07'20"W 66.64' TH 119.01' ALG CRV L (R=621.94' CHD=N 04DEG 57'36"W) TH N 09DEG 39'43"W 101.3' TH S 89DEG 31'02"W 164.23' TH N 00DEG 28'58"W 641.52' TH S 89DEG 39'E 626.42' TH N 00DEG 28'58"W 223.38' TH S 89DEG 39'E 236.41' TO POB BOUNDARY ADJ ON 01/06/2020 FROM 05-026-020-31, 05-026-020-60;

INDEX OF DRAWINGS:

C0.0	COVER
C1.0	EXISTING CONDITIONS SURVEY
C2.0	OVERALL SITE ARRANGEMENT PLAN
C2.1	OVERALL SITE GRADING AND DRAINAGE PLAN
C3.0	SITE UTILITY PLAN
C4.0	BIRMLEY ESTATES DRIVE NE PLAN AND PROFILE
C4.1	BIRMLEY ESTATES DRIVE SW PLAN AND PROFILE
C4.2	SPRINGFIELD DRIVE PLAN AND PROFILE
C6.0	SITE DETAILS
C6.1	UTILITY DETAILS *(BY GRAND TRAVERSE COUNTY DPW)

PUBLIC AUTHORITIES

GARFIELD TOWNSHIP
3848 VETERANS DRIVE
TRAVERSE CITY, MI 49684
Telephone: (231) 941-1620

GRAND TRAVERSE COUNTY D.P.W.
2650 LAFRANIER ROAD
TRAVERSE CITY, MI 49686
Telephone: (231) 995-6039

GRAND TRAVERSE COUNTY ROAD COMMISSION
1881 LAFRANIER ROAD
TRAVERSE CITY, MI 49684
Telephone: (231) 922.4848

GRAND TRAVERSE COUNTY DRAIN COMMISSIONER
2650 LAFRANIER ROAD
TRAVERSE CITY, MI 49686
Telephone: (231) 922.4807

GRAND TRAVERSE COUNTY SOIL EROSION & SEDIMENTATION CONTROL
2650 LAFRANIER ROAD
TRAVERSE CITY, MI 49686
Telephone: (231) 995-6051

GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT
2650 LAFRANIER ROAD
TRAVERSE CITY, MI
Telephone: (231) 995-6051

EGLE - CADILLAC
120 W CHAPIN STREET
CADILLAC, MI 49601
Telephone: (231) 775-3960

UTILITY AGENCIES

CONSUMERS ENERGY ELECTRIC
Telephone: (231) 929-6242

DTE ENERGY NATURAL GAS
Telephone: (231) 932-2823

CHARTER COMMUNICATIONS CABLE
Telephone: (231) 929-7012

AT&T MICHIGAN TELEPHONE
Telephone: (231) 941-2707

EMERGENCY SERVICES

EMERGENCY CALLS

AMBULANCE SERVICE / POLICE / FIRE: 911

GRAND TRAVERSE METRO FIRE DEPARTMENT: 231.947-3000

GRAND TRAVERSE COUNTY SHERIFF: 231.995-5000

MISS DIG: 1.800.482.7171

811 Know what's below. Call before you dig.

OWNER / APPLICANT

T&R INVESTMENTS
841 ASHLAND DRIVE
TRAVERSE CITY, MI 49696

STEVE ZAKRAJSEK
(231) 883-3766

ENGINEER

BOYNE ENGINEERING AND DESIGN
PO BOX 94
BOYNE CITY, MI 49712
CONTACT CARRIE MAY, P.E.
PRINCIPAL ENGINEER
PHONE: (231) 499-8361

SURVEYOR

GOURDIE-FRASER
123 W FRONT ST
TRAVERSE CITY, MI 49684
PHONE: (231) 946-5874

STATE OF MICHIGAN
CARRIE MAY
ENGINEER
No. 42082
LICENSED PROFESSIONAL ENGINEER
4/5/2023

PLAN APPROVAL

THESE CONSTRUCTION PLANS HAVE BEEN REVIEWED AND APPROVED BY THE GARFIELD TOWNSHIP WITH THE EXCEPTIONS, CONDITIONS AND MODIFICATIONS INDICATED BY ME ON THIS PLAN SET

GARFIELD TOWNSHIP PLANNER OR ZONING ADMINISTRATOR DATE

BOYNE ENGINEERING AND DESIGN
P.O. Box 94
Boyne City, MI 49727
(231) 499-8361
boyneengineering.com

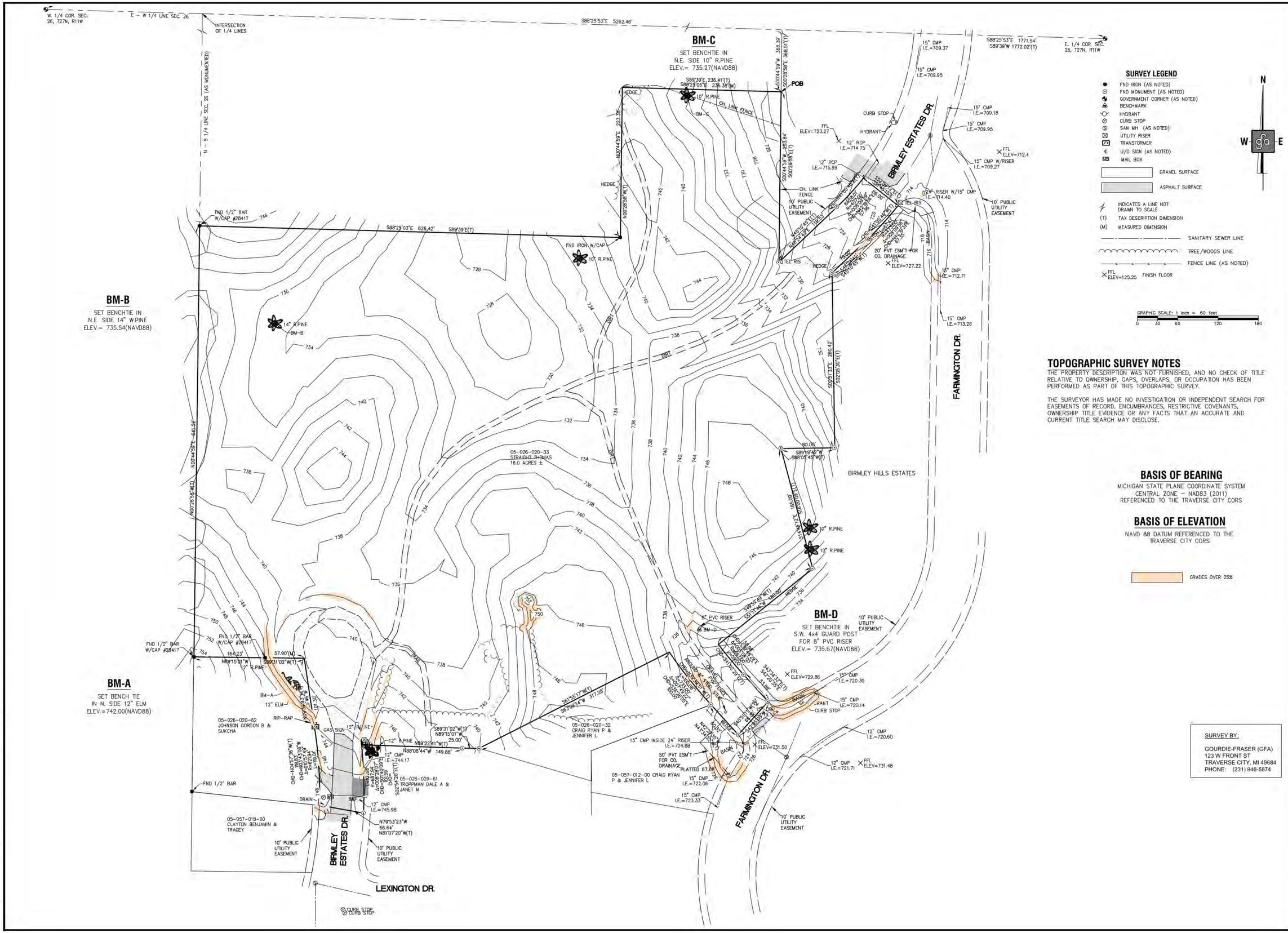
BIRMLEY MEADOWS SITE CONDOMINIUM
PREPARED FOR:
T&R INVESTMENTS
841 Ashland Drive Traverse City, MI

REVISIONS			
NO:	DATE	APP'D	ISSUE / REVISION DESCRIPTION

COVER

ORIGINAL ISSUE DATE: 04/05/2023
SCALE:
BED JOB NO. 22033
DRAWING NUMBER
C0.0

C:\USERS\CARRIE MAY\GOOGLE DRIVE\BOYNE ENGINEERING\2022 JOBS\22033 BIRMLEY FAIRFIELD\DWG\BIRMLEY MEADOWS S.DWG, 04/05/2023 9:56 AM, CARRIE MAY



SURVEY LEGEND

- FND IRON (AS NOTED)
- FND MONUMENT (AS NOTED)
- GOVERNMENT CORNER (AS NOTED)
- BENCHMARK
- HYDRANT
- CURB STOP
- SAN MH (AS NOTED)
- UTILITY RISER
- TRANSFORMER
- U/G SIGN (AS NOTED)
- MAIL BOX
- GRAVEL SURFACE
- ASPHALT SURFACE
- INDICATES A LINE NOT DRAWN TO SCALE
- (T) TAX DESCRIPTION DIMENSION
- (M) MEASURED DIMENSION
- SANITARY SEWER LINE
- TREE/WOODS LINE
- FENCE LINE (AS NOTED)
- FFL ELEV=125.25 FINISH FLOOR

TOPOGRAPHIC SURVEY NOTES

THE PROPERTY DESCRIPTION WAS NOT FURNISHED, AND NO CHECK OF TITLE RELATIVE TO OWNERSHIP, GAPS, OVERLAPS, OR OCCUPATION HAS BEEN PERFORMED AS PART OF THIS TOPOGRAPHIC SURVEY.

THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

BASIS OF BEARING

MICHIGAN STATE PLANE COORDINATE SYSTEM
CENTRAL ZONE – NAD83 (2011)
REFERENCED TO THE TRAVERSE CITY CORS

BASIS OF ELEVATION

NAVD 88 DATUM REFERENCED TO THE TRAVERSE CITY CORS

GRADES OVER 25%

SURVEY BY:

GOURDIE-FRASER (GFA)
123 W FRONT ST
TRAVERSE CITY, MI 49684
PHONE: (231) 946-5874

BOYNE ENGINEERING AND DESIGN
P.O. Box 94
Boyne City, MI 49727
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boyneengineering.com

BIRMLEY MEADOWS SITE CONDOMINIUM

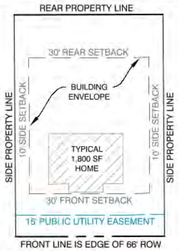
PREPARED FOR:
T&R INVESTMENTS
841 Ashland Drive
Traverse City, MI

REVISIONS

NO:	DATE	APP'D	ISSUE / REVISION DESCRIPTION

EXISTING CONDITIONS

ORIGINAL ISSUE DATE: 04/05/2023
SCALE: 1"=50'
BED JOB NO. 22033
DRAWING NUMBER
C1.0



REPRESENTATIVE LOT CONFIGURATION

INDIVIDUAL SITE CONFIGURATIONS VARY
MINIMUM AREA = 1,500 SF
SCALE: 1"=50'

COVERAGE AREAS

SITE ELEMENT	AREA	UNIT	% OF COVERAGE	NOTES
OVERALL SITE	16.02 697,621	AC SF		GROSS AREA (SEE CALCULATION THIS SHEET)
EX BUILDINGS	0	SF		VACANT
NEW BUILDINGS	0	SF		
PAVEMENT	52,098	SF	7.5%	

PARCEL

05-026-020-33

GROSS/NET AREA

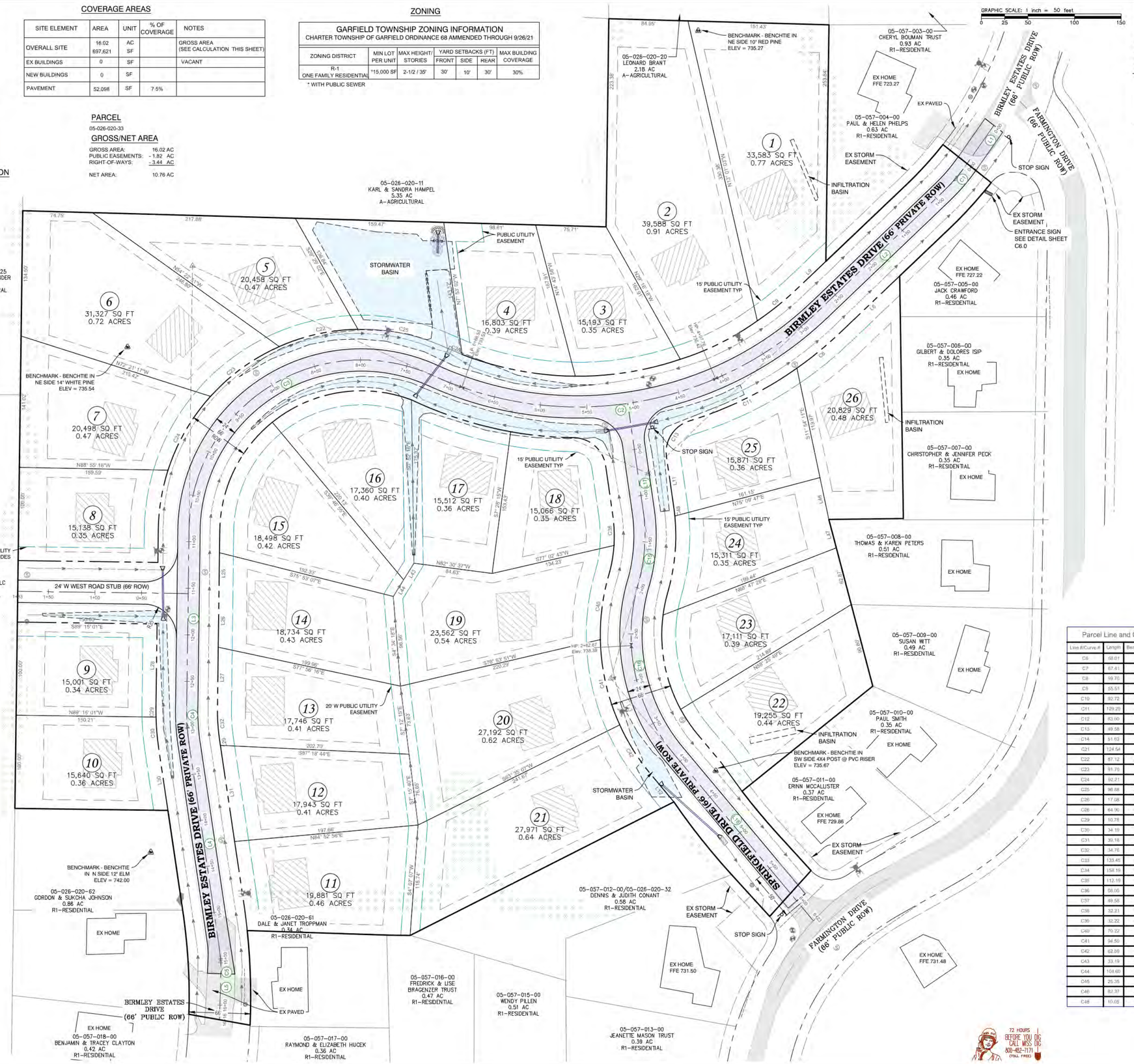
GROSS AREA:	16.02 AC
PUBLIC EASEMENTS:	- 1.82 AC
RIGHT-OF-WAYS:	- 3.44 AC
NET AREA:	10.76 AC

ZONING

GARFIELD TOWNSHIP ZONING INFORMATION
CHARTER TOWNSHIP OF GARFIELD ORDINANCE 68 AMMENDED THROUGH 9/26/21

ZONING DISTRICT	MIN LOT PER UNIT	MAX HEIGHT/ STORIES	YARD SETBACKS (FT) FRONT	SIDE	REAR	MAX BUILDING COVERAGE
R-1 ONE FAMILY RESIDENTIAL	*15,000 SF	2-1/2 / 35'	30'	10'	30'	30%

* WITH PUBLIC SEWER



LEGEND

- PROPERTY LINE
- LOT LINE
- SETBACK
- EASEMENT
- EXISTING EASEMENT
- RIGHT OF WAY
- PROP ROADWAY CENTER
- EDGE OF PAVEMENT
- STORMWATER FLOW
- TREE LINE
- EX PAVING / GRAVEL
- STORMWATER BASIN
- TH-1 SOIL BORING
- BENCHMARK
- HYDRANT ASSEMBLY
- GATE VALVE
- BLOW OFF
- SANITARY MANHOLE

SOILS

SOILS ON THIS PROPERTY HAVE BEEN OBSERVED TO BE SANDY – CONSISTENT WITH NRCS SOIL SURVEY MAPPING

SEE SHEET C2.1

LIGHTING

NO SITE LIGHTING IS PROPOSED FOR THIS DEVELOPMENT

PARKING

PARKING FOR THIS DEVELOPMENT WILL BE LOCATED ON INDIVIDUAL LOTS. NO ADDITIONAL PARKING AREAS ARE PROPOSED

BIRMLEY ESTATES DRIVE PVT

Number	Radius	Length	Line/Chord Direction	Start Station
L1		60.34	S34° 59' 02.50"W	0+30.00
C1	200.00	59.42	S40° 37' 48.03"W	0+59.34
L2		183.83	S46° 16' 33.56"W	0+99.76
C2	375.00	446.55	S85° 23' 22.64"W	2+73.61
C3	185.00	367.09	S57° 37' 35.53"W	7+20.16
L3		100.36	S0° 44' 59.34"W	10+87.46
C4	250.00	40.05	S3° 50' 23.16"E	12+77.81
L4		217.00	S8° 26' 45.66"E	13+17.86
C5	200.00	35.89	S3° 19' 02.84"E	15+34.86
L5		45.02	S1° 47' 39.09"W	15+70.54

SPRINGFIELD DRIVE

Number	Radius	Length	Line/Chord Direction	Start Station
L17		149.82	S8° 13' 07.42"E	0+33.00
C16	185.00	78.43	S3° 55' 37.12"W	1+16.82
C18	200.00	195.37	S11° 51' 42.53"E	1+85.25
L18		222.00	S39° 53' 48.88"E	3+80.62

Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
C6	68.01	8.17	477.00
C7	67.41	8.17	473.00
C8	59.70	8.38	408.00
C9	55.51	9.30	342.00
C10	92.72	18.33	289.83
C11	129.29	18.18	408.00
C12	63.90	10.55	342.00
C13	69.58	81.17	35.00
C14	51.63	8.65	342.00
C21	124.54	20.72	344.41
C22	87.12	22.00	218.00
C23	91.70	24.10	218.00
C24	92.21	24.23	218.00
C25	96.88	25.46	218.00
C26	17.08	0.01	144749.28
C28	64.90	17.06	218.00
C29	10.78	2.18	283.00
C30	34.19	6.92	283.00
C31	39.18	3.29	682.88
C32	34.76	9.18	217.00
C33	133.45	50.30	152.00
C34	158.19	59.49	152.36
C35	112.19	14.87	432.41
C36	58.05	9.56	408.00
C37	69.58	81.17	35.00
C38	32.21	11.22	164.56
C39	32.22	12.18	152.00
C40	70.72	17.27	233.00
C41	94.50	23.24	233.00
C42	62.06	15.46	233.00
C43	33.19	11.39	167.00
C44	104.60	35.89	167.00
C45	25.35	8.70	167.00
C46	62.37	21.65	216.00
C48	10.05	2.84	216.00

Parcel Line and Curve Table

Line #/Curve #	Length	Bearing/Delta	Radius
C53	119.01	10.86	621.84
C56	101.68	8.47	687.94
C57	59.00	5.02	687.00
C58	100.08	7.62	753.00
L6	119.53	S46° 24' 42.34"W	
L7	73.00	N46° 24' 42.34"E	
L8	88.65	N46° 24' 58.92"E	
L9	42.12	S46° 24' 42.34"W	
L10	54.07	S8° 12' 07.40"E	
L11	54.07	N8° 13' 07.40"W	
L12	58.57	S39° 53' 48.88"E	
L13	38.57	N39° 53' 48.88"W	
L14	38.28	N38° 06' 52.44"W	
L15	53.88	N42° 20' 34.66"W	
L16	60.32	S42° 20' 34.66"E	
L23	35.14	S0° 44' 59.34"W	
L24	23.67	N0° 44' 59.34"E	
L25	44.20	N0° 44' 59.34"E	
L26	57.11	N0° 44' 59.34"E	
L27	65.11	N0° 44' 59.34"E	
L28	89.22	S0° 44' 59.34"W	
L29	5.64	N8° 25' 45.66"W	
L30	66.86	S8° 25' 44.01"E	
L31	104.30	N8° 25' 45.66"W	
L32	101.30	N8° 25' 45.66"W	
L33	37.41	N8° 25' 45.66"W	
L34	8.65	N79° 53' 23.66"W	
L35	25.27	N79° 53' 22.66"W	
L43	20.93	S31° 51' 50.84"W	
L44	20.99	S31° 51' 50.84"W	
L45	33.00	N0° 44' 59.34"E	
L46	33.00	N0° 44' 59.34"E	
L47	31.53	S14° 46' 11.66"E	
L48	48.95	S11° 54' 11.26"E	

Parcel Area Table

Parcel #	SQ FT	ACRES
1	33582.61	0.77
2	39587.84	0.91
3	15192.93	0.35
4	16803.37	0.39
5	20458.03	0.47
6	31327.12	0.72
7	20498.39	0.47
8	15138.25	0.35
9	15000.74	0.34
10	15639.59	0.36
11	19880.57	0.46
12	17943.29	0.41
13	17745.55	0.41
14	18734.41	0.43
15	18497.80	0.42
16	17359.67	0.40
17	15511.58	0.36
18	15065.51	0.35
19	23562.10	0.54
20	27192.50	0.62
21	27971.32	0.64
22	19255.50	0.44
23	17111.13	0.39
24	15310.56	0.35
25	15871.32	0.36
26	20828.58	0.48

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BIRMLEY MEADOWS SITE CONDOMINIUM

PREPARED FOR:
T&R INVESTMENTS
841 Ashland Drive
Traverse City, MI

REVISIONS

NO:	DATE	APP'D	ISSUE / REVISION DESCRIPTION

OVERALL SITE ARRANGEMENT PLAN

ORIGINAL ISSUE DATE: 04/05/2023
SCALE: 1"=50'
BED JOB NO. 22033
DRAWING NUMBER
C2.0

72 HOURS BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

C:\USERS\CARRIE MAY\DOCUMENTS\BOYNE ENGINEERING\2022_JOBS\22033 BIRMLEY MEADOWS\ DWG (04/05/23 9:00 AM) CARRIE MAY

SOIL EROSION AND STORM WATER CONTROL NOTES

1. THE CONTRACTOR IS ADVISED THAT ALL SOIL EROSION MEASURES AND STORMWATER FACILITIES SHALL BE CONSTRUCTED AT THE EARLIEST FEASIBLE SCHEDULE. NO OTHER CONSTRUCTION ACTIVITIES SHALL PROCEED WHICH DO NOT PHYSICALLY DRAIN TO THESE FACILITIES UNLESS ADDITIONAL TEMPORARY FACILITIES ARE INSTALLED. PRIOR TO ACCEPTANCE OF THE PROJECT AS COMPLETE, ALL PERMANENT STORMWATER FACILITIES USED DURING CONSTRUCTION SHALL BE RESTORED TO OPERATE IN THEIR DESIGNED CONDITION AT NO ADDITIONAL COST TO THE PROJECT.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. WITH THE USE OF SILT FENCE AND OTHER TEMPORARY MEASURES THE CONTRACTOR SHALL PROTECT THE ADJACENT AREA FROM ACCELERATED EROSION AND SEDIMENTATION FLOWS RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT.
3. SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED TO BE NECESSARY BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER THEY SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR FOR THE PROJECT. IF NOT PLACED IN 24 HOURS OR LESS ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES ARE INSTALLED AND APPROVED BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER.
4. ALL DISTURBED NON-HARD SURFACE AREAS TO BE STABILIZED WITH TOPSOIL, SEEDED, FERTILIZED AND MULCHED. DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH NOT LESS THAN FOUR (4) INCHES. SLOPES WHICH ARE BETWEEN 3:1 AND 2:1 GRADE SHALL BE SODDED AND STAKED OR RECEIVE SEEDING IN COMBINATION WITH DOUBLE NET, BIODEGRADABLE EROSION CONTROL BLANKET (EXCEL GC-4 OR EQUAL). IN NO CASE SHALL CONSTRUCTED SLOPES IN EXCESS OF 2:1 BE ALLOWED ON THE PROJECT. ALL SLOPES GREATER THAN 3:1 GRADE AND SUBJECT TO CONCENTRATED FLOWS SHALL RECEIVE PERMANENT TURF REINFORCING MATTING (EXCEL PP5-10 OR EQUAL). INSTALLATION OF EROSION CONTROL BLANKETS AND TURF REINFORCING MATS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. STORMWATER CHANNELS AND BASINS SHALL BE TREATED ACCORDING TO THE DESIGNATION ON THE PLANS AND DETAILS.
5. CONTRACTOR SHALL STABILIZE DISTURBED EARTH IMMEDIATELY UPON ESTABLISHMENT OF FINAL GRADE AND SHALL BE SOLELY RESPONSIBLE FOR ESTABLISHMENT OF A HEALTHY STAND OF GRASS PRIOR TO THE ONSET OF COLD WEATHER. ALL PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE WITHIN 5 DAYS OF COMPLETION OF EARTH CHANGES
6. ALL NEW STORM DRAINAGE PIPE SHALL BE CORRUGATED GALVANIZED STEEL PIPE, SMOOTH LINED CORRUGATED HDPE (CPE) OR APPROVED EQUAL. A MINIMUM OF TWO (2) FEET OF COVER FROM FINISHED ELEVATIONS SHALL BE MAINTAINED OVER ALL STORM DRAIN PIPES.
7. ALL DRAINAGE PIPES THAT OUTLET AT GROUND SURFACE SHALL INCLUDE END SECTIONS.
8. ALL EXISTING STORM DRAINS WITHIN THE CONSTRUCTION ZONE TO BE INSTALLED/MONITORED WITH SILT SACKS. SACKS TO BE PULLED AS NEEDED TO KEEP SEDIMENT OUT.
10. EXISTING STORM DRAINAGE DITCHES SHALL BE REBUILT IF FILLED IN OR REMOVED DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
11. THE CONTRACTOR SHALL REMOVE ALL SEDIMENT OR SOILS THAT HAVE BEEN DROPPED, WASHED ONTO OR TRACKED OUT ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE ROADS AT THE END OF EACH WORKING DAY OR AFTER EACH RAIN EVENT ON NON-WORK DAYS.
12. ALL REMOVED TOPSOIL WILL BE STOCKPILED WITHIN THE PROJECT AREA. IF ADDITIONAL TOPSOIL IS AVAILABLE AFTER TOPSOILING THE CONSTRUCTION AREA, IT WILL BE STOCKPILED WITHIN 1000 FEET OF THE CONSTRUCTION AREA AS DIRECTED BY THE OWNER OR ENGINEER.
13. THE CONTRACTOR SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AT NO ADDITIONAL COST TO THE OWNER.
14. IF REQUESTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, A WATER TRUCK SHALL BE KEPT ON STAND-BY ON SITE DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE WATER TRUCK SHALL BE USED AS DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER TO CONTROL DUST AND WIND EROSION.

BASIN B1A SEDIMENT FOREBAY

TOP OF BASIN:	EL = 731.25
BOTTOM OF BASIN:	EL= 727.00
40'L X 2'W OVERFLOW WEIR:	EL = 729.52
100 YEAR HW ELEV:	EL = 730.58
VOLUME PROVIDED:	7,766 CF

BASIN B1B RETENTION/INFILTRATION

TOP OF BASIN:	EL = 731.25
BOTTOM OF BASIN:	EL= 726.50
10'L X 2'W LEVEL STABILIZED OVERFLOW WEIR:	EL = 730.00
20 LF OF 15" Ø CPE OUTLET @ 2% - END SECTION 1 SIDE TO RADIAL ENERGY DISSAPATING DAM/LEVEL SPREADER (SEE DETAIL SHEET C6.0)	
100 YEAR HW ELEV:	EL = 730.58
VOLUME PROVIDED:	34,619 CF

BASIN B2 RETENTION/INFILTRATION

TOP OF BASIN:	EL = 735.00
BOTTOM OF BASIN:	EL= 731.25
60 LF OF 12" Ø CPE OUTLET @ 6.25% END SECTIONS 2 SIDES	
100 YEAR HW ELEV:	EL = 732.48
VOLUME PROVIDED:	2,785 CF

INFILTRATION BASINS I1, I26, I22 RETENTION/INFILTRATION

3 EA 70' LONG X 2' DEEP INFILTRATION TRENCHES W/ 2' WIDE FLAT BOTTOM AND 3:1 OR SHALLOWER SIDE SLOPES
VOLUME PROVIDED: 1,240 CF EA = 3,720 CF

STORMWATER CONTROL:

A STORM WATER DRAINAGE STUDY OF THE EXISTING AND PROPOSED DEVELOPED CONDITIONS FOR THIS SITE HAS BEEN PERFORMED USING THE SCS TR-20 METHOD AND HYDROCAD VERSION 10. STORM WATER CONTROL FACILITIES HAVE BEEN DESIGNED TO MEET THE GARFIELD TOWNSHIP STORM WATER CONTROL ORDINANCE – PER THAT CODE:

- 3 DEVELOPED WATERSHEDS ARE EVALUATED: NORTH, EAST AND SOUTH (SEE TABLE OF VALUES BELOW)
- RUNOFF GENERATED FROM SITE IMPROVEMENTS IS RETAINED ON SITE IN RETENTION/INFILTRATION BASINS DESIGNED TO LIMIT OUTFLOW FROM DEVELOPED AREAS TO LESS THAN 0.13 CFS PER DEVELOPED ACRE FOR A 25 YEAR, 24HR STORM EVENT:
- THE STORAGE VOLUME PROVIDED EXCEEDS REQUIREMENTS (*INFILTRATION DEDUCTION NOT TAKEN ON NORTH WATERSHED)
- RUNOFF FROM UNCONTROLLED AREAS TOTALING 0.61 AC FLOWS TO EXISTING STORMWATER BASINS DESIGNED TO ACCOMMODATE THAT FLOW
- THERE IS NO EVIDENCE OF DOWNSTREAM FLOODING IN THE EXISTING DEVELOPMENT AND EXISTING PROXIMATE FINISH FLOOR ELEVATIONS ARE ABOVE STORMWATER CONTROL FACILITY HIGH WATER ELEVATIONS
- BASIN SLOPES DO NOT EXCEED 3:1, NO SLOPES EXCEEDING 2:1
- SNOW STORAGE AREAS ARE INDICATED ON PLAN
- CHECK DAMS ARE PROVIDED AT DITCH LOCATIONS WITH ANTICIPATED FLOWS > 4FT/S AND EROSION CONTROL ON BASINS AND SLOPES IS SPECIFIED
- THE STORMWATER FACILITIES ARE DESIGNED TO SAFELY PASS A 100 YEAR, 24HR STORM EVENT WITHOUT INCREASING DOWNSTREAM FLOODING
- BASINS ARE DESIGNED TO DRAIN THROUGH INFILTRATION WITHIN 72 HOURS

SUMMARY OF STORMWATER CONTROL:

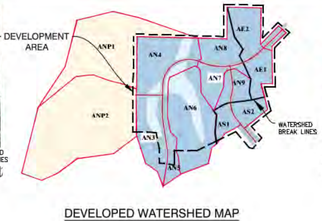
WATERSHED (33.06 AC)	ACREAGE	PASS-THROUGH AREA OR AREA CONTROLLED BY EXISTING SYSTEMS	DEVELOPED & CONTROLLED AREA	25 YEAR, 24 HR STORM ALLOWABLE OUTFLOW: 0.13 X DEV ACREAGE PLUS 25 YEAR, 24 HR STORM RUNOFF FROM PASS-THROUGH AREA	25 YR, 24 HR STORM DESIGNED OUTFLOW	REQUIRED STORAGE, 25YR DEV RUNOFF - 2 YR EX RUNOFF - 25 YR INFILTRATED RUNOFF	STORAGE PROVIDED
	AC	AC	AC	CFS	CFS	AF	AF
NORTH	28.57	14.66	13.91	1.81 + 9.72 = 11.53	5.93	*1.01	1.29
EAST	2.85	0.39	2.46	0.32	0.00	0 (100% INFILT)	0.06
SOUTH	1.64	0.22	1.42	0.18	0.16	0.01	0.09
TOTAL	33.06	15.27	17.79	12.03	6.09	1.02	1.44

* REDUCTION FOR INFILTRATION NOT TAKEN

ROAD CONSTRUCTION NOTES

1. ALL WORK PERFORMED AND ALL MATERIALS SUPPLIED SHALL BE IN ACCORDANCE WITH THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS AND CURRENT GRAND TRAVERSE COUNTY ROAD COMMISSION STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE INDICATED ON THE PLANS AND CONTRACT DOCUMENTS. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF/HERSELF WITH THESE SPECIFICATIONS.
2. THE ENGINEER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO BITUMINOUS PAVING.
3. THE PREPARED SUBBASE MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT OF BASE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE GRAVEL TO BE USED ON THIS PROJECT IS APPROVED PRIOR TO PLACEMENT.
5. THE PREPARED GRAVEL WIDTH, DEPTH, AND COMPACTION MUST BE REVIEWED AND APPROVED BY THE OWNERS ENGINEER PRIOR TO BITUMINOUS PAVING.
6. ALL CONSTRUCTION SIGNING SHALL MEET M.M.U.T.C.D. STANDARDS.
7. THROUGH TRAFFIC ON CONNECTING ROADS MUST BE MAINTAINED AT ALL TIMES. ANY LANE CLOSURE MUST BE APPROVED BY THE GRAND TRAVERSE COUNTY ROAD COMMISSION AT NO ADDITIONAL COST TO THE PROJECT.
9. ALL PAVEMENT CUTS ARE TO BE MADE WITH SAW, IMMEDIATELY PRIOR TO PAVING.
10. THE CONTRACTOR SHALL NOTIFY RESIDENTS 24 HOURS (EXCLUDING SATURDAYS AND SUNDAYS) IN ADVANCE OF DISRUPTION TO SERVICE, SUCH AS DRIVEWAY CLOSING.
12. PAVEMENT MARKING SHALL MEET M.D.O.T. SPECIFICATION AND STANDARDS.

EXISTING WATERSHED MAP
SCALE: 1'=600'



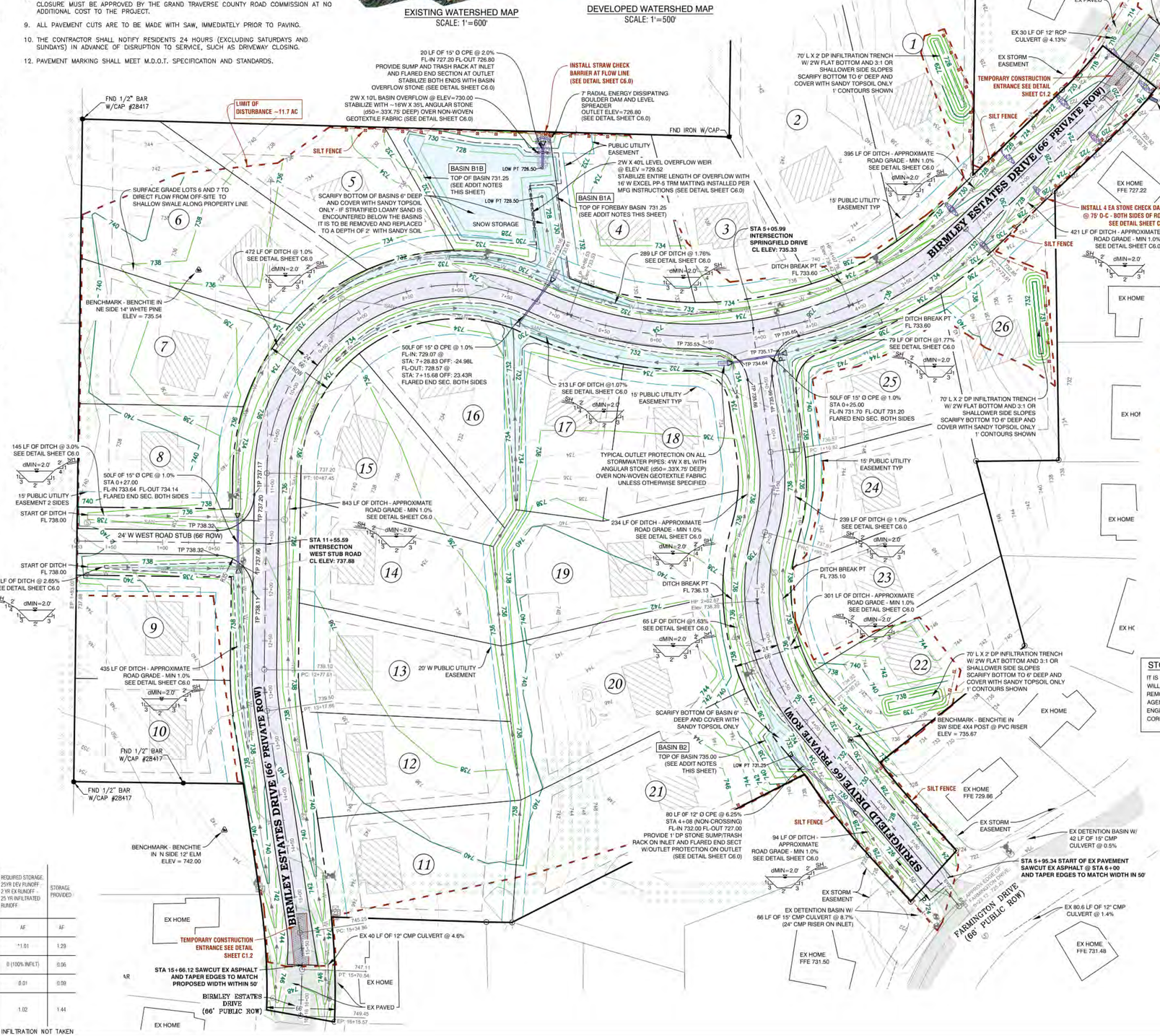
DEVELOPED WATERSHED MAP
SCALE: 1'=500'

KEY

- BLUES: RESIDENTIAL SOIL A/ RESIDENTIAL SOIL B/D
- GREENS: MEADOW SOIL A/ MEADOW SOIL B/D
- TANS: EX FARMSTEAD SOIL A/ NA
- GRAYS: PAVED/GRAVEL

* DETAILED STORM WATER CALCULATIONS ARE PROVIDED SEPARATELY AND REFERENCE WATERSHED MAPS AND AREA NUMBERS SHOWN ON THIS SHEET

GRAPHIC SCALE: 1 inch = 50 feet
0 25 50 100 150



LEGEND

- PROPERTY LINE
- LOT LINE
- SETBACK
- EASEMENT
- RIGHT OF WAY
- PROP. ROADWAY CENTER
- EDGE OF PAVEMENT
- STORMWATER FLOW
- 900 EXIST. 10' CONTOUR LINE
- 900 EXIST. 2' CONTOUR LINE
- 900 PROP. 10' CONTOUR LINE
- 900 PROP. 2' CONTOUR LINE
- TREE LINE
- LIMIT OF DISTURBANCE
- EXIST. PAVING / GRAVEL
- SILT FENCING
- STORMWATER BASIN
- TH-1 SOIL BORING
- BENCHMARK
- HYDRANT ASSEMBLY
- GATE VALVE
- BLOW OFF
- SANITARY MANHOLE

SOILS

SOIL EVALUATIONS AND INFILTRATION TESTS WERE CONDUCTED BY BOYNE ENGINEERING AND DESIGN AND GFA IN VARIOUS LOCATIONS APPROXIMATE TO THIS DEVELOPMENT IN 2022 AND SOILS WERE FOUND TO BE SANDY LOAM AND LOAMY SAND. THE TESTED INFILTRATION RATE WAS 11.34 IN/HR.

STORMWATER FACILITY MAINTENANCE NOTE:

IT IS UNDERSTOOD BY ALL PARTIES INVOLVED THAT THE DETENTION BASINS WILL BE MAINTAINED BY THE PROPERTY OWNER (MOWED, SEDIMENT REMOVAL, ETC.,) AND WILL BE SUBJECT TO REVIEW BY GOVERNING AGENCIES. NO ALTERATION MAY BE PERFORMED ON THE BASINS WITHOUT ENGINEERING APPROVAL ONCE THE BASIN HAS BEEN ACCEPTED AS CORRECTLY BUILT BY THE DESIGN ENGINEER.

EARTH STABILIZATION

SEED AND STRAW REQUIRED AS FOLLOWS:
STRAW: 75 LBS PER 1,000 SQ. FT.
10-10-10 FERTILIZER: 200 LBS PER ACRE
SEED MIX: 220 LBS PER ACRE
SEED MIX BY %:
60% KENTUCKY BLUEGRASS
20% PERENNIAL RYEGRASS
20% CREEPING RED FESCUE

72 HOURS BEFORE YOU DIG CALL: MISS DIG 800-482-7171 (TOLL FREE)

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BIRMLEY MEADOWS SITE CONDOMINIUM

PREPARED FOR:
T&R INVESTMENTS

841 Ashland Drive Traverse City, MI

NO:	DATE	APP'D	ISSUE / REVISION DESCRIPTION

REVISIONS

OVERALL SITE GRADING AND DRAINAGE PLAN

ORIGINAL ISSUE DATE: 04/05/2023
SCALE: 1"=50'
BED JOB NO. 22033
DRAWING NUMBER
C2.1

C:\USERS\GARRE\ARY\DOCUMENTS\BOYNE ENGINEERING\2022_JOBS\22033 BIRMLEY MEADOWS S.DWG 04/05/23 10:42 AM; CARRIE LAKY

WATERMAIN NOTES

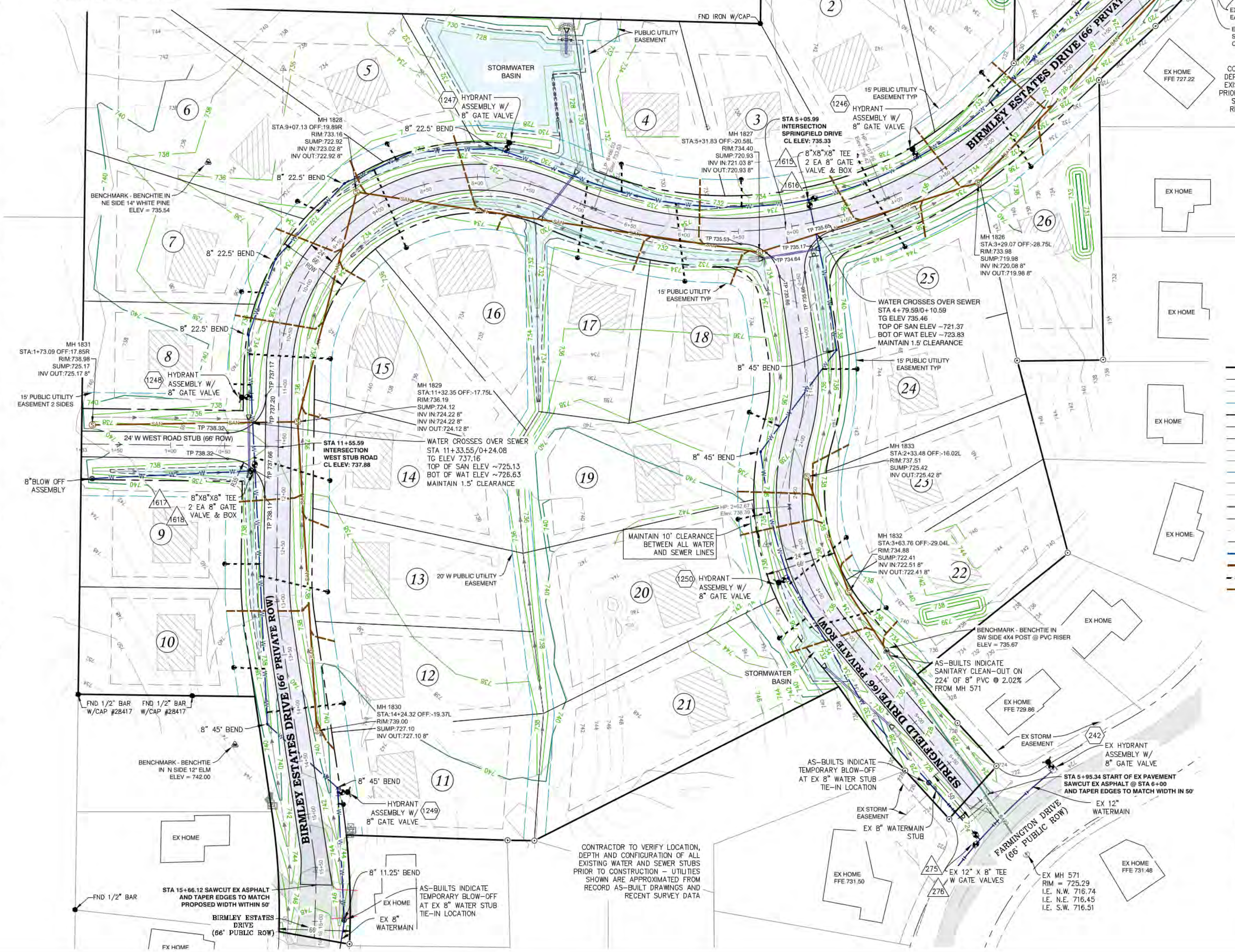
1. ALL CONSTRUCTION MATERIALS AND PROCEDURES MUST CONFORM WITH CURRENT DPW STANDARDS, SPECIFICATIONS AND DETAILS.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF THE WATER MAIN. CONTRACTOR SHALL ISSUE A WORK SCHEDULE TO THE ENGINEER PRIOR TO THE START OF WATER MAIN CONSTRUCTION.
3. ALL WATER MAIN SHALL BE DR 18 C900 PVC MEETING CURRENT AWWA STANDARDS.
4. WATER MAIN SHALL HAVE A MINIMUM OF SIX (6) FEET OF COVER BELOW EXISTING OR PROPOSED GRADE, UNLESS NOTED OTHERWISE ON THE PLANS.
5. THE ALIGNMENT OF THE PROPOSED WATER MAIN IS PROVIDED FOR REFERENCE ONLY. CONTRACTOR MAY DEVIATE/DEFLECT AS NECESSARY TO AVOID CONFLICTS FOR EASIER CONSTRUCTION. COST FOR ADDITIONAL PIPE, FITTINGS, ETC. ARE INCLUDED IN THE COST OF THE PROJECT.
6. LENGTH OF WATER MAIN SHALL BE DETERMINED ON A CASE BY CASE BASIS IN ORDER TO CONSTRUCT ACCORDING TO THE PLANS AND SPECIFICATIONS. COSTS FOR THE MAIN ARE INCLUDED IN THE COSTS OF THE PROJECT.
7. RETAINER GLANDS SHALL BE USED ON ALL MECHANICAL JOINT FITTINGS.
8. BURLAP, PLASTIC OR POLY (20 MILLS) OR APPROVED EQUAL SHALL BE PLACED BETWEEN THE CONCRETE THRUST BLOCK AND DEAD-END MAINS OR DEAD-END PLUGS, TEES, HYDRANTS AND CROSSES TO FACILITATE THE REMOVAL OF THE THRUST BLOCK FOR FUTURE EXTENSION AND MAINTENANCE.
9. A PHYSICAL GAP SHALL BE MAINTAINED BETWEEN THE PROPOSED WATER MAIN AND THE EXISTING WATER MAIN UNTIL ALL WATER MAIN TESTING HAS BEEN COMPLETED AND APPROVED BY THE ENGINEER AND THE DPW.
10. THE CONTRACTOR SHALL COORDINATE THE CONNECTION TO THE EXISTING WATER MAIN WITH THE DPW AND THE ENGINEER. THE DPW SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE PRIOR TO ANY CONNECTIONS.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN WATER FOR FLUSHING AND TESTING PURPOSES. CONTRACTOR SHALL COORDINATE WITH THE DPW, IF WATER IS OBTAINED FROM THE CITY/VILLAGE/TOWNSHIP WATER SYSTEM, THE DPW SHALL BE GIVEN 24 HOURS NOTICE PRIOR TO USING ANY WATER FROM THE TOWNSHIP WATER SYSTEM.
12. TO FACILITATE WATER SAMPLING, THE CONTRACTOR MAY INSTALL TWO (2) INCH CORPORATION STOPS AND TYPE K COPPER TUBE FROM THE TWO (2) INCH CORPORATION TO APPROXIMATELY FOUR (4) FEET ABOVE THE FINISH GRADE IN LOCATIONS APPROVED BY THE FIELD ENGINEER. AFTER THE WATER MAIN HAS BEEN FLUSHED AND SATISFACTORY BACTERIOLOGICAL ANALYSIS TESTS HAVE PASSED, THE TYPE 'K' COPPER TUBE SHALL BE REMOVED AND THE TWO (2) INCH CORPORATION WILL BE CLOSED. CONTRACTOR WILL INFORM THE FIELD REPRESENTATIVE/CONSTRUCTION REPRESENTATIVE TO ALLOW HIM TO WITNESS THE REMOVING OF THE COPPER TUBING AND THE CLOSING OF THE CORPORATION.
13. PRIOR TO PIGGING AND FLUSHING ALL LINES SHALL BE CHARGED WITH WATER.
14. ALL PERMANENT BLOW-OFF ASSEMBLIES SHALL BE CUT OFF BELOW GRADE AFTER TESTING IS COMPLETE. THE STANDING WATER WITHIN THE BLOW-OFF SHALL BE PUMPED OUT OF THE RISER CAPPED, BOLTED AND BURIED.
15. CONTRACTOR SHALL PROPERLY DISPOSE OF CHLORINATED WATER USED IN TESTING OPERATIONS.
16. ACTUAL WATER MAIN, HYDRANT AND GATE VALVE LOCATIONS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANTS AND VALVE BOXES TO THE FINISHED GRADE.
18. THE CONTRACTOR MUST OBTAIN APPROVAL BEFORE DIRECTING ANY FLUSHING AND TESTING WATERS TO ANY COUNTY STORM WATER DRAINAGE DITCH SYSTEM. CONTRACTOR SHALL PROTECT THE DITCH FROM EROSION WHICH MAY REQUIRE THE USE AN ENERGY DISSIPATER ON THE DISCHARGE OF THE FLUSHING VALVE. ALL FLUSHING WATERS SHALL BE CONTAINED WITHIN THE DITCH AND SHALL NOT IMPACT THE ROADWAY OR ADJACENT LANDOWNERS. IF NOT APPROVED, AN ALTERNATE METHOD MUST BE DETERMINED AND APPROVED. ALL COSTS ASSOCIATED WITH FLUSHING, TESTING, AND DISCHARGING ARE INCLUDED IN THE COST OF THE PROJECT.
19. WATER SERVICE LEADS SHOWN ARE FOR REFERENCE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY THE DPW AND ENGINEER PRIOR TO PLACEMENT, IF APPLICABLE.
20. CONTRACTOR MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ALL SANITARY SEWER AND STORM SEWER WHEN INSTALLING THE WATER MAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.
21. CONTRACTOR MUST MAINTAIN A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES AT ALL SANITARY SEWER AND STORM SEWER CROSSINGS WHEN INSTALLING THE WATER MAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.
22. IT WILL BE REQUIRED THAT THE CONTRACTOR INSTALL ALL NEW WATER MAIN BELOW EXISTING WATER MAIN WHEN A CROSSING IS ENCOUNTERED. MAINTAIN A MINIMUM SIX (6) INCH SEPARATION FROM EXISTING WATER MAIN WITH PROPER BACKFILL/COMPACTION.
23. FIRE HYDRANT ASSEMBLY SHALL CONSIST OF:

    1-8"X6" TEE OR 1-8"X6" REDUCER
    1-6" GATE VALVE
    1-FIRE HYDRANT

24. CONTRACTOR TO MAINTAIN WATER SERVICE TO CUSTOMERS AT ALL TIME WITH THE EXCEPTION OF LEAD TRANSFERS, IF APPLICABLE.
25. CONTRACTOR TO PROTECT EXISTING WATER MAIN AND SERVICES DURING THE INSTALLATION OF THE PROPOSED WATER MAIN. IF EXISTING WATER MAIN IS DAMAGED, CONTRACTOR IS TO REPAIR TO MAINTAIN SERVICE TO RESIDENCE. ALL COST FOR THIS ARE INCLUDED IN THE COST OF THE PROJECT.
26. ALL OPERATIONS OF EXISTING EQUIPMENT, VALVES, ETC. TO BE PERFORMED BY THE DPW STAFF ONLY.
27. CONTRACTOR TO SUBMIT A CONSTRUCTION SCHEDULE AND SEQUENCE FOR APPROVAL PRIOR TO PERFORMING ANY WORK.

SANITARY SEWER/FORCE MAIN NOTES

1. ALL CONSTRUCTION MATERIALS AND PROCEDURES MUST CONFORM WITH CURRENT DPW STANDARDS, SPECIFICATIONS AND DETAILS.
2. ALL SANITARY SEWER SHALL BE SDR-35 PVC UNLESS DEEPER THAN 16 FT. SANITARY SEWER DEEPER THAN 16 FT SHALL BE SDR-26 AND MEET THE ASTM D 3034 REQUIREMENTS UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS PRIOR TO THE START OF CONSTRUCTION OF THE SANITARY SEWER. CONTRACTOR SHALL ISSUE A WORK SCHEDULE TO THE ENGINEER PRIOR TO THE START OF SANITARY SEWER CONSTRUCTION.
4. NO CONNECTION RECEIVING STORM WATER OR GROUND WATER SHALL BE MADE TO SANITARY SEWERS.
5. NO CONNECTION TO THE EXISTING SANITARY SEWER SHALL BE MADE UNTIL THE NEW SEWER HAS BEEN INSTALLED, TESTED, INSPECTED, AND APPROVED BY THE ENGINEER AND THE DPW.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE MANHOLE RIMS TO THE FINISH GRADE ELEVATIONS. THE ELEVATIONS SHOWN ARE BASED UPON PLAN GRADES AND ARE SUBJECT TO CHANGE.
7. THE ALIGNMENT OF THE PROPOSED SANITARY SEWER/FORCE MAIN IS SHOWN FOR REFERENCE ONLY. CONTRACTOR MAY DEVIATE/DEFLECT AS NECESSARY TO AVOID CONFLICTS FOR EASIER CONSTRUCTION. COSTS FOR ADDITIONAL PIPING, FITTINGS, ETC. SHALL BE INCLUDED IN THE COST OF THE PROJECT.
8. CONTRACTOR MUST MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM ALL WATER MAIN WHEN INSTALLING THE SANITARY SEWER/FORCE MAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.
9. CONTRACTOR MUST MAINTAIN A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES AT ALL WATER MAIN CROSSINGS WHEN INSTALLING THE SANITARY SEWER/FORCEMAIN, AS MEASURED FROM OUTSIDE TO OUTSIDE.
10. CONTRACTOR SHALL MAINTAIN A MINIMUM FIVE (5) FEET OF COVER OVER GRAVITY SANITARY SEWER AND SIX (6) FEET OF COVER OVER FORCE MAIN.
11. IF THE CONTRACTOR CREATES HIGH POINTS IN THE FORCE MAIN DUE TO CONSTRUCTION METHODS, THE CONTRACTOR IS TO INSTALL ADDITIONAL AIR RELEASE STRUCTURES, AS PER SPECIFICATIONS, AT NO ADDITIONAL COST TO THE PROJECT.
12. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING SANITARY SEWER/FORCE MAIN PRIOR TO MAKING ANY CONNECTIONS.
13. CONTRACTOR SHALL MAINTAIN SEWER FLOWS AT ALL TIMES. PUMPING AND HAULING MAY BE REQUIRED TO TRANSFER FLOWS TO NEW LIFT STATION DURING CONNECTION TO EXISTING SANITARY SEWER/FORCE MAIN. STATION EXPERIENCES PEAK HOUR FLOWS UP TO XXX GPM AND EXISTING WET WELL HAS AVAILABLE HOLDING CAPACITY OF XXXX GALLONS, CONTRACTOR MUST VERIFY RATES. ALL COSTS FOR HAULING/TRANSFERING FLOWS ARE TO BE INCLUDED IN THE COST OF THE PROJECT.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY BY-PASS PUMPING AT NO ADDITIONAL COST TO PROJECT. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR HAVING A BACKUP METHOD IN THE EVENT THE PRIMARY BY-PASS PUMPING METHOD FAILS.
15. ALL WORK TO BE COORDINATED WITH THE DPW AND ENGINEER.
16. CONTRACTOR TO SUBMIT A CONSTRUCTION SCHEDULE AND SEQUENCE FOR APPROVAL PRIOR TO PERFORMING ANY WORK.



GRAPHIC SCALE: 1 inch = 50 feet

LEGEND

- PROPERTY LINE
- LOT LINE
- SETBACK
- EASEMENT
- RIGHT OF WAY
- PROPOSED ROADWAY CENTER
- EDGE OF PAVEMENT
- STORMWATER FLOW
- EX PAVING / GRAVEL
- EX WATER LINE
- EXISTING 10' CONTOUR LINE
- EXISTING 2' CONTOUR LINE
- PROPOSED 10' CONTOUR LINE
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- TREE LINE
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- WATER LINE
- SANITARY SEWER
- WATER SERVICE LEAD
- WASEWER SERVICE LEAD
- HYDRANT NUMBER
- VALVE NUMBER
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- GATE VALVE
- BLOW OFF
- UTILITY RISER
- TRANSFORMER
- SIGN
- GAS LINE MARKER
- BENCHMARK

***EXISTING UTILITY NOTE:**

EXISTING UTILITIES SHOWN HERE ARE ACCORDING TO HISTORICAL SURVEY AND PLAN DATA AND SHOULD NOT BE TAKEN AS PRECISE. THIS INFORMATION IS PROVIDED FOR GENERAL KNOWLEDGE ONLY. CONTRACTOR SHALL HAVE UTILITIES MARKED AND SHALL INDEPENDENTLY VERIFY LOCATIONS OF CONNECTION POINTS.

OTHER UTILITIES

ALL NEW UTILITIES SHALL BE UNDERGROUND

LOCATIONS OF ELECTRIC, GAS, ETC. TO BE COORDINATED WITH THE UTILITY AGENCIES AND LOCATIONS TO BE DETERMINED SUBSEQUENT TO APPROVAL OF UTILITIES SHOWN HERE

72 HOURS BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

BOYNE ENGINEERING AND DESIGN
P.O. Box 94
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T&R INVESTMENTS

841 Ashland Drive
Traverse City, MI

REVISIONS

NO:	DATE	APP'D	ISSUE / REVISION DESCRIPTION

SITE UTILITY PLAN

ORIGINAL ISSUE DATE: 04/05/2023

SCALE: 1"=50'

BED JOB NO. 22033

DRAWING NUMBER

C3.0

C:\USERS\CARRIE MAY\DOCUMENTS\BOYNE ENGINEERING\2022 JOBS\22033 BIRMLEY 1\DESIGN\WORKING CAD - CURRENT\22033 BIRMLEY MEADOWS S.DWG (04/05/23 11:47 AM) CARRIE MAY

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ADDITIONAL NOTES:

SEE PLAN SHEETS FOR ADDITIONAL NOTES:
SHEET C0.0 – GENERAL NOTES
SHEET C2.1 – SITE GRADING AND DRAINAGE
SHEET C3.0 – UTILITIES

PAVING INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF READINESS FOR THE FOLLOWING INSPECTIONS 48 HOURS IN ADVANCE:

1. EXCAVATION TO SUBGRADE OF PAVING
2. COMPLETION OF PAVING BASE COURSE
3. COMPLETION OF PAVING
4. SUBSTANTIAL COMPLETION OF PROJECT

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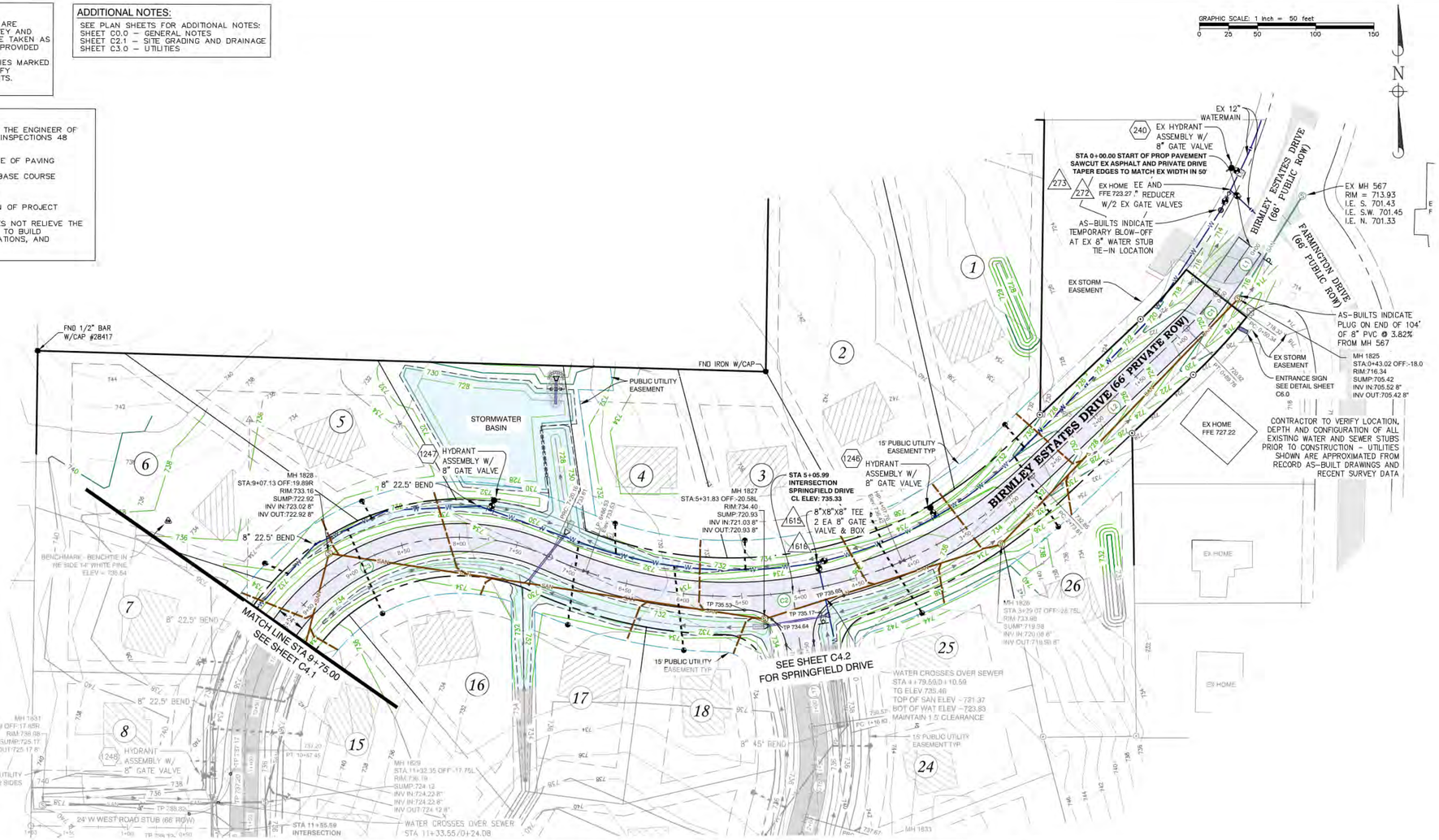

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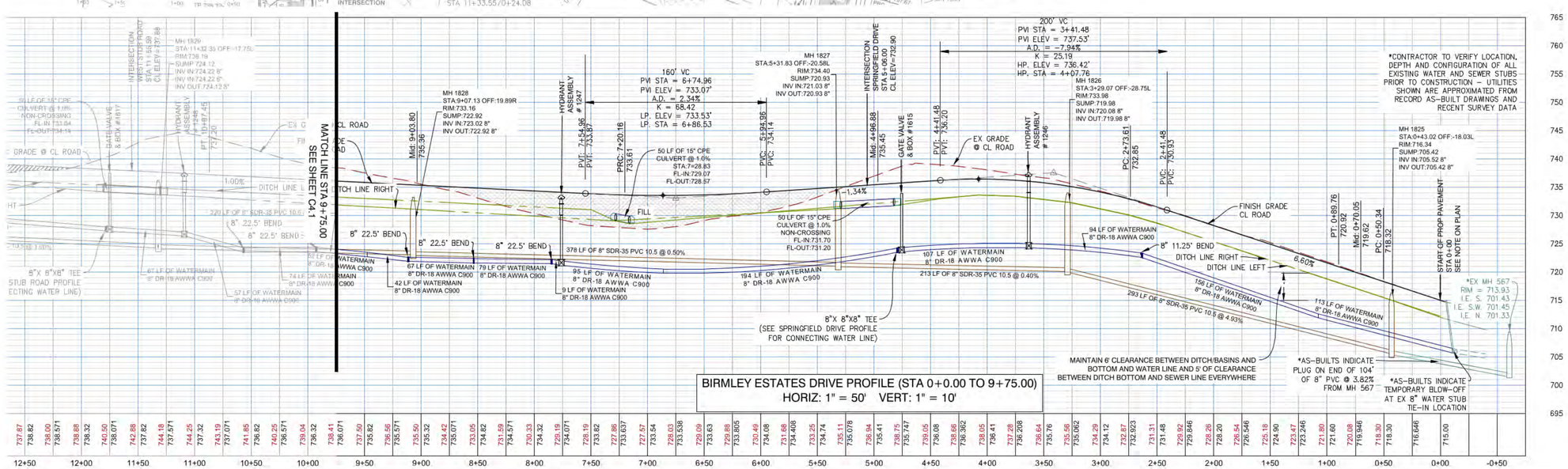
BIRMLEY ESTATES DRIVE PVT

Number	Radius	Length	Line/Chord Direction	Start Station
L1		50.34	S34° 59' 02.50"W	0+00.00
C1	209.00	59.42	S40° 37' 48.03"W	0+50.34
L2		183.85	S46° 16' 33.56"W	0+89.76
C2	375.00	446.55	S80° 23' 22.64"W	2+73.61
C3	165.00	367.29	S57° 37' 35.53"W	7+20.16
L3		180.98	S0° 44' 59.34"W	10+87.45
C4	250.00	40.00	S3° 50' 23.16"E	12+77.81
L4		217.03	S8° 25' 45.68"E	13+17.88
C5	200.00	55.69	S3° 19' 02.84"E	15+34.86
L5		45.02	S1° 47' 39.99"W	15+70.54



BIRMLEY ESTATES DRIVE PROFILE (STA 0+00 TO 9+75.00)
HORIZ: 1" = 50' VERT: 1" = 10'

72 HOURS BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

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841 Ashland Drive
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REVISIONS

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BIRMLEY ESTATES DRIVE (NE) PLAN & PROFILE

ORIGINAL ISSUE DATE: 04/05/2023
SCALE: 1"=50'
BED JOB NO. 22033
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C4.0

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2. COMPLETION OF PAVING BASE COURSE
3. COMPLETION OF PAVING
4. SUBSTANTIAL COMPLETION OF PROJECT

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BIRMLEY ESTATES DRIVE PVT

Number	Radius	Length	Line/Chord Direction	Start Station
L1		80.34	S34° 59' 02.50"W	-0+30.00
C1	200.00	39.42	S46° 37' 48.03"W	0+50.34
L2		183.88	S46° 16' 33.58"W	0+89.76
C2	275.00	448.55	S89° 23' 22.64"W	2+73.61
C3	185.00	367.29	S57° 37' 35.33"W	7+20.16
L3		190.38	S9° 44' 59.34"W	10+87.45
C4	250.00	90.05	S3° 50' 23.16"E	12+77.83
L4		217.00	S8° 25' 45.69"E	13+17.88
C5	200.00	38.88	S3° 18' 02.84"E	15+34.88
L5		45.02	S11° 47' 39.93"W	16+70.54

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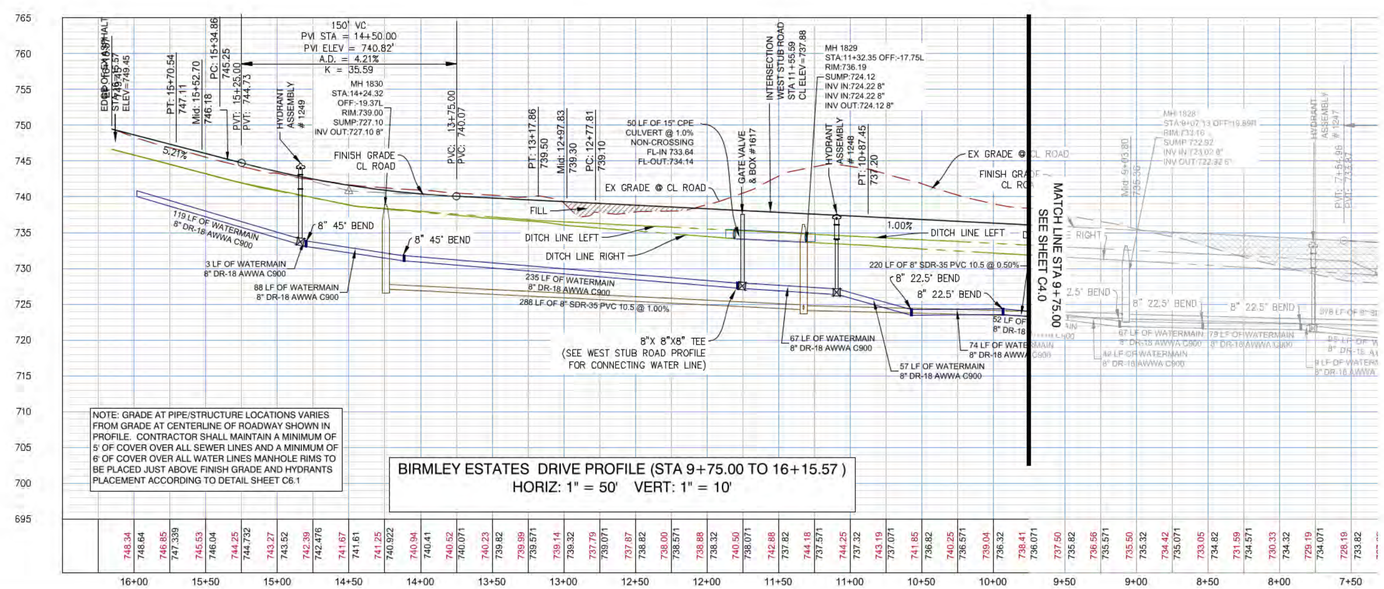
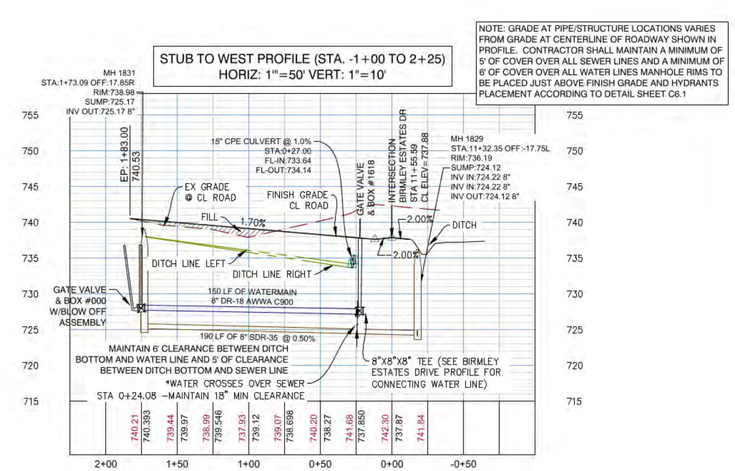


NOTE: GRADE AT PIPE/STRUCTURE LOCATIONS VARIES FROM GRADE AT CENTERLINE OF ROADWAY SHOWN IN PROFILE. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5' OF COVER OVER ALL SEWER LINES AND A MINIMUM OF 6' OF COVER OVER ALL WATER LINES MANHOLE RIMS TO BE PLACED JUST ABOVE FINISH GRADE AND HYDRANTS PLACEMENT ACCORDING TO DETAIL SHEET C6.1

BIRMLEY ESTATES DRIVE PROFILE (STA 9+75.00 TO 16+15.57)
HORIZ: 1" = 50' VERT: 1" = 10'



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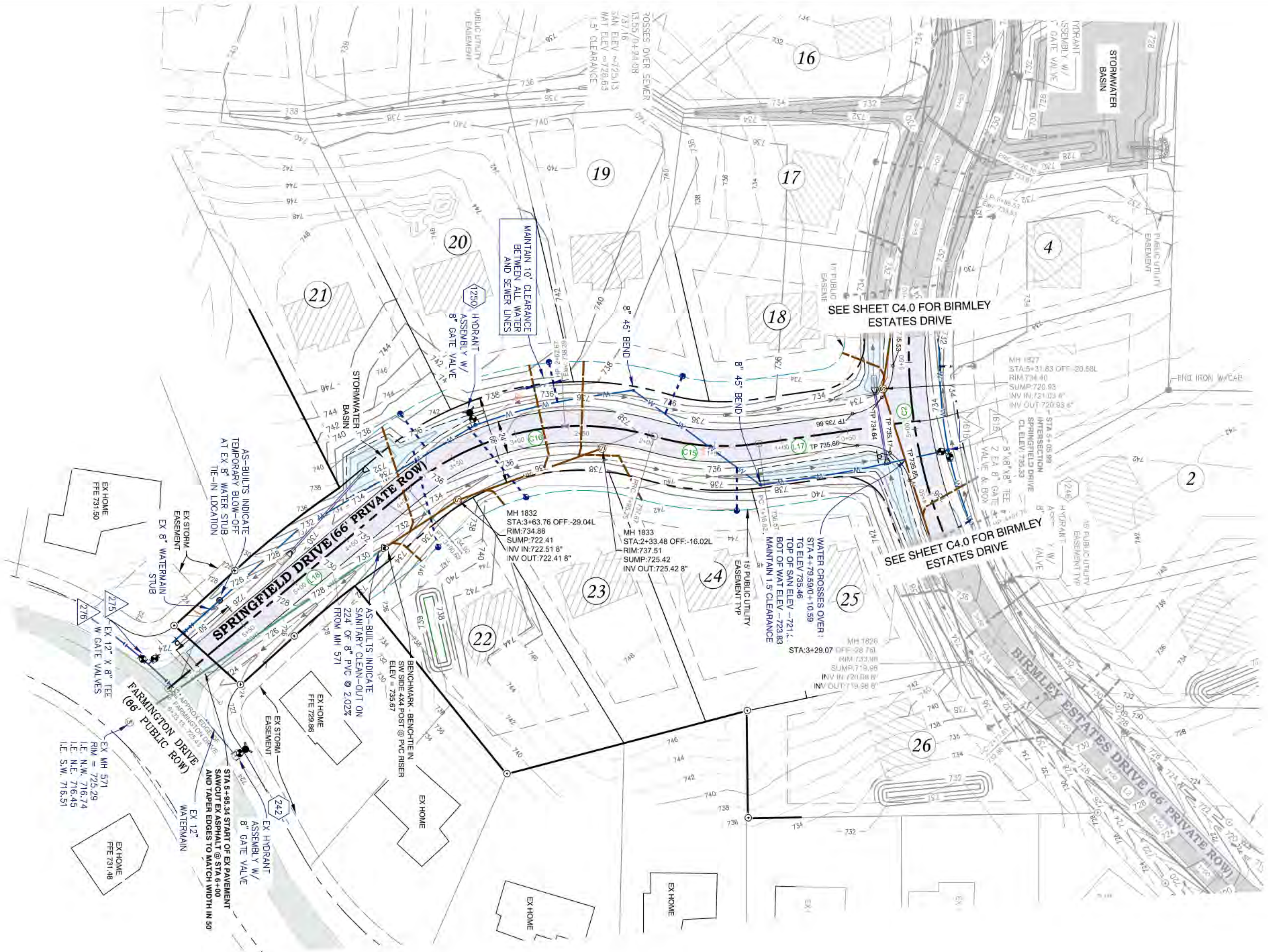

GRAPHIC SCALE: 1 inch = 50 feet (0, 25, 50, 100, 150)

LEGEND

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- BENCHMARK

SPRINGFIELD DRIVE				
Number	Radius	Length	Line/Chord Direction	Start Station
L17		149.82	S8° 13' 07.40"E	-0+33.00
C15	185.00	78.43	S3° 55' 37.12"W	1+16.82
C16	200.00	195.37	S11° 54' 42.53"E	1+95.25
L18		232.50	S39° 53' 46.68"E	3+90.62

SPRINGFIELD DRIVE PROFILE (STA. -1+50 TO 7+25)
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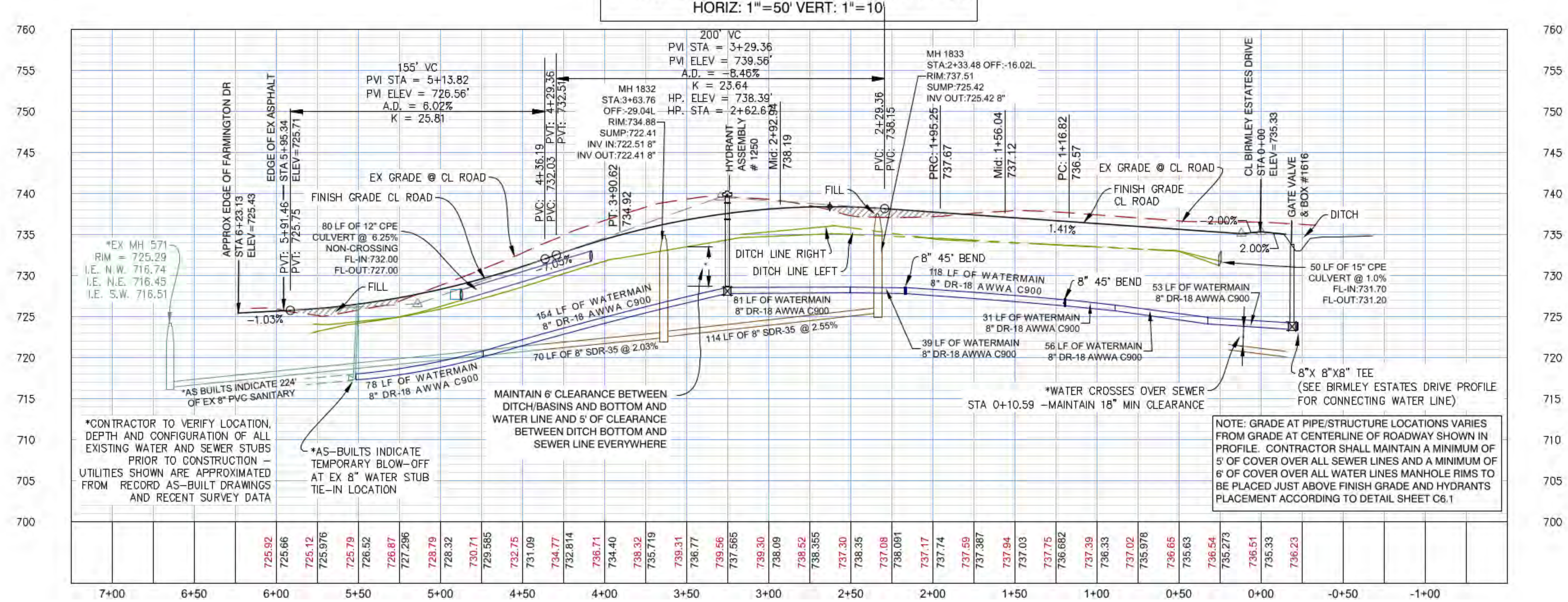

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SPRINGFIELD DRIVE PLAN & PROFILE

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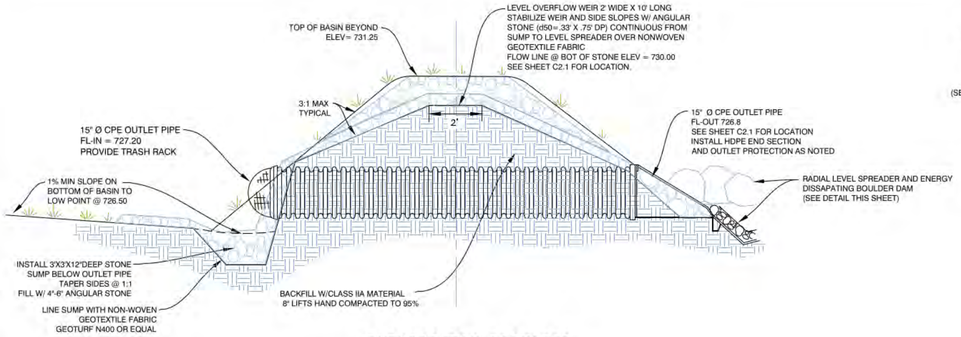
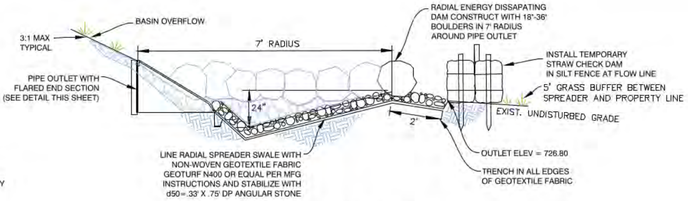
C4.2

C:\USERS\CARRIE MAY\DOCUMENTS\BOYNE ENGINEERING\2022 JOBS\22033 BIRMLEY II\DESIGN\WORKING CAD - CURRENT\22033 BIRMLEY MEADOWS S.DWG (04/05/23 12:00 PM) CARRIE MAY



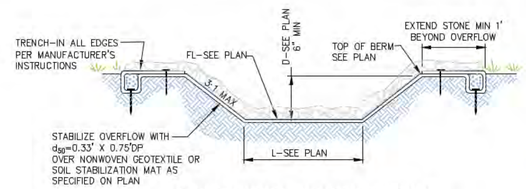
OUTLET DETAIL BASIN B2B

NO SCALE



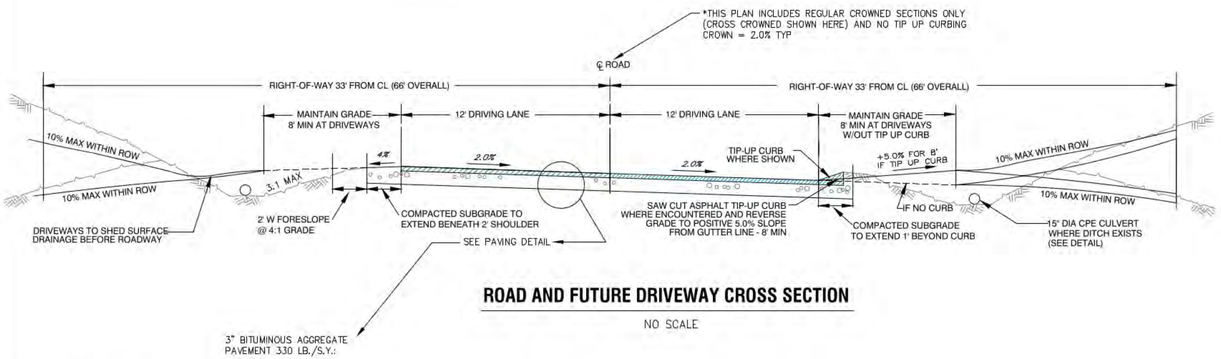
RADIAL LEVEL SPREADER DETAIL

NOT TO SCALE



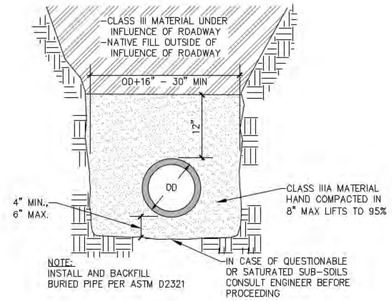
LEVEL OVERFLOW WEIR SECTION

NO SCALE



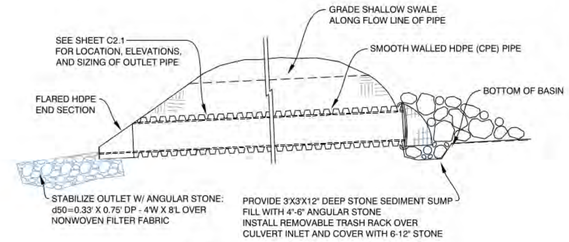
ROAD AND FUTURE DRIVEWAY CROSS SECTION

NO SCALE



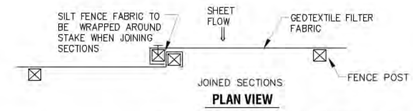
CULVERT BEDDING DETAIL

SMOOTH LINED CORRUGATED HDPE (CPE)
NO SCALE

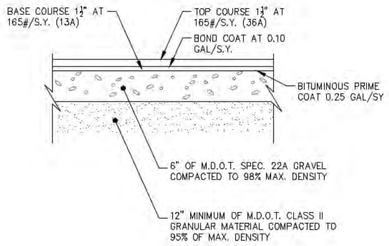


OUTLET STRUCTURE BASIN B2

NO SCALE

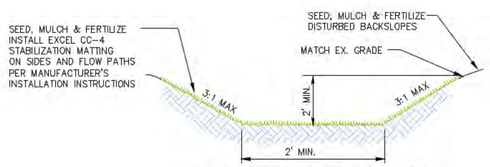


PLAN VIEW



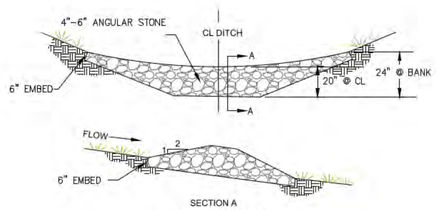
PAVING DETAIL

NOT TO SCALE



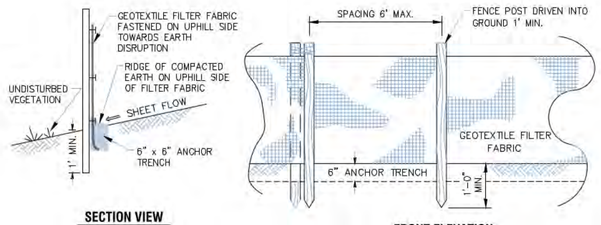
DETENTION BASIN/DITCH DETAIL

NO SCALE



CHECK DAM

NO SCALE



SECTION VIEW

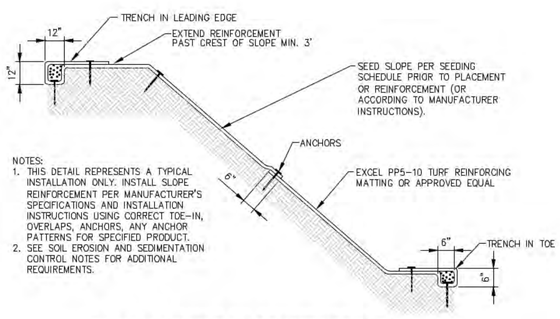
FRONT ELEVATION

SILT FENCE DETAIL

NO SCALE

ENTRANCE SIGN

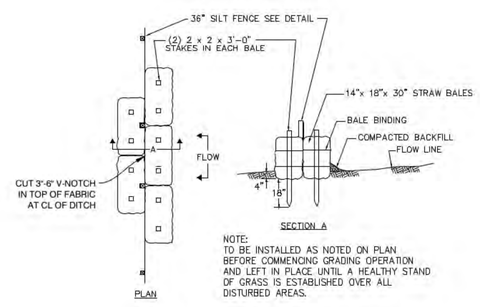
NO SCALE



NOTES:
1. THIS DETAIL REPRESENTS A TYPICAL INSTALLATION ONLY. INSTALL SLOPE REINFORCEMENT PER MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS USING CORRECT TOE-IN, OVERLAPS, ANCHORS, ANY ANCHOR PATTERNS FOR SPECIFIED PRODUCT.
2. SEE SOIL EROSION AND SEDIMENTATION CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.

REINFORCEMENT ON CONSTRUCTED 2:1 SLOPES

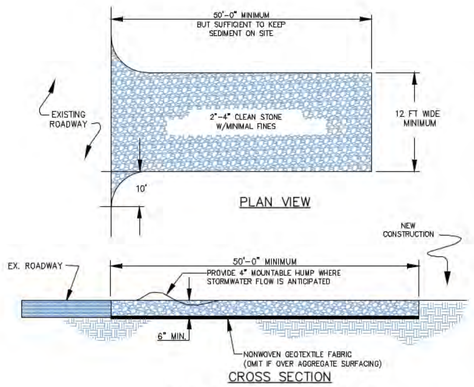
NO SCALE



NOTE:
TO BE INSTALLED AS NOTED ON PLAN BEFORE COMMENCING GRADING OPERATION AND LEFT IN PLACE UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED OVER ALL DISTURBED AREAS.

STRAW BALE DITCH CHECK

NO SCALE



CROSS SECTION

CONSTRUCTION ENTRANCE

NO SCALE

BOYNE ENGINEERING AND DESIGN
P.O. Box 94
Boyne City, MI 49727
(231) 499-8361
boyneengineering.com

BIRMLEY MEADOWS SITE CONDOMINIUM

PREPARED FOR:
T&R INVESTMENTS
841 Ashland Drive Traverse City, MI

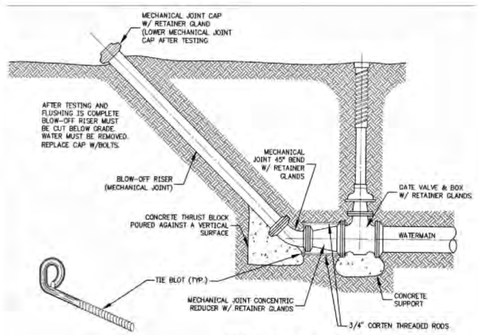
REVISIONS

NO:	DATE	APP'D	ISSUE / REVISION DESCRIPTION

SITE DETAILS

ORIGINAL ISSUE DATE: 04/05/23
SCALE:
BED JOB NO. 22033
DRAWING NUMBER
C6.0

C:\USERS\CARRIE.MAY\DOCUMENTS\BOYNE ENGINEERING\2022_JOBS\22033 BIRMLEY MEADOWS\CURRENT\22033 BIRMLEY MEADOWS.DWG (04/05/23 12:21PM) CARRIE.MAY

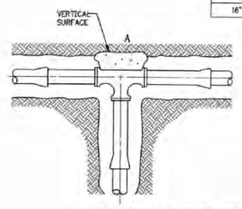


BLOW-OFF DETAIL

NO SCALE

PIPE SIZE	MIN. BEARING SURFACE ON UNDISTURBED SOIL FOR THRUST BLOCKS
	SURFACE A
4"	1'-5"x 1'-6" = 2.3 SQ. FT.
6"	1'-9"x 1'-9" = 3.1 SQ. FT.
8"	2'-4"x 2'-4" = 5.4 SQ. FT.
10"	2'-8"x 2'-8" = 7.1 SQ. FT.
12"	3'-0"x 3'-0" = 9.0 SQ. FT.
16"	4'-5"x 4'-5" = 19.5 SQ. FT.

ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS

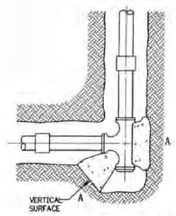


TYPICAL TEE CONNECTION DETAIL

NO SCALE

PIPE SIZE	MIN. BEARING SURFACE ON UNDISTURBED SOIL FOR THRUST BLOCKS
	SURFACE A
4"	1'-4"x 0'-8" = 0.9 SQ. FT.
6"	1'-6"x 1'-4" = 2.2 SQ. FT.
8"	2'-0"x 1'-9" = 3.5 SQ. FT.
10"	2'-4"x 2'-4" = 5.4 SQ. FT.
12"	2'-8"x 2'-8" = 7.1 SQ. FT.
16"	3'-8"x 3'-8" = 13.5 SQ. FT.

ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS

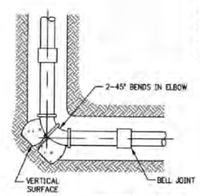


TYPICAL TEE AND PLUG DETAIL

NO SCALE

PIPE SIZE	MIN. BEARING SURFACE ON UNDISTURBED SOIL FOR THRUST BLOCKS
	SURFACE A
4"	1'-9"x 1'-4" = 2.3 SQ.FT.
6"	2'-3"x 2'-0" = 4.5 SQ.FT.
8"	2'-8"x 2'-8" = 7.1 SQ.FT.
10"	3'-0"x 3'-0" = 9.0 SQ.FT.
12"	3'-6"x 3'-6" = 13.5 SQ.FT.
16"	5'-0"x 5'-0" = 25 SQ.FT.

ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS

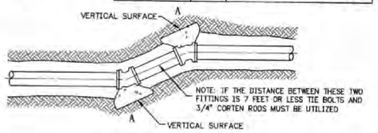


TYPICAL BEND DETAIL

NO SCALE

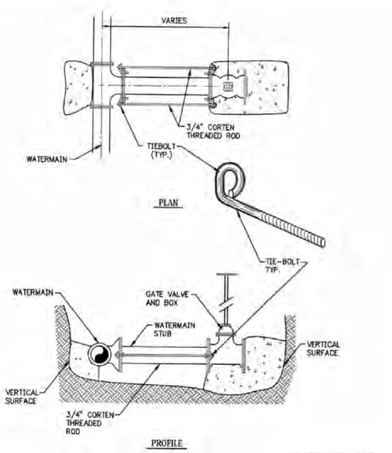
DEGREE OF BEND IN ELBOW	PIPE SIZE	MIN. BEARING SURFACE ON UNDISTURBED SOIL FOR THRUST BLOCKS
		SURFACE A
45°	4"	1'-4"x 1'-0" = 1.3 SQ. FT.
45°	6"	1'-8"x 1'-4" = 2.2 SQ. FT.
45°	8"	2'-0"x 2'-0" = 4.0 SQ. FT.
45°	10"	2'-4"x 2'-4" = 5.4 SQ. FT.
45°	12"	2'-8"x 2'-8" = 7.1 SQ. FT.
45°	16"	3'-8"x 3'-8" = 13.5 SQ. FT.
22.5° OR 11.25°	4"	1'-0"x 0'-8" = 0.7 SQ. FT.
22.5° OR 11.25°	6"	1'-4"x 1'-0" = 1.3 SQ. FT.
22.5° OR 11.25°	8"	1'-8"x 1'-4" = 2.2 SQ. FT.
22.5° OR 11.25°	10"	1'-8"x 1'-8" = 2.8 SQ. FT.
22.5° OR 11.25°	12"	1'-10"x 1'-10" = 3.4 SQ. FT.
22.5° OR 11.25°	16"	2'-8"x 2'-8" = 7.1 SQ. FT.

ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS



TYPICAL OFFSET DETAIL

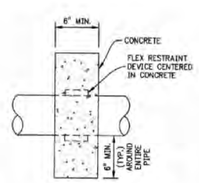
NO SCALE



ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS

THRUST RESTRAINT DETAIL FOR ALL VALVES ON STUBBED LINES

NO SCALE



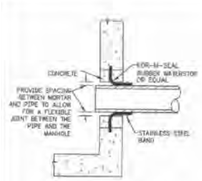
NOTE:

TO BE PLACED AT EACH SERVICE LEAD AND WHERE SPECIFIED BY FIELD ENGINEER. AS SUPPLIED BY CENTRAL PLASTICS, OR EQUAL, PER PIPE MANUFACTURER'S SPECIFICATIONS.

SERVICE LEAD THRUST RESTRAINT DETAIL

(APPLICABLE FOR HDPE/PVC WATERMAIN ONLY)

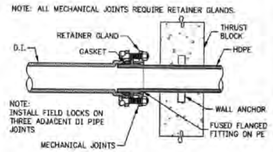
NO SCALE



MANHOLE/WETWELL WATERSTOP DETAIL

NO SCALE

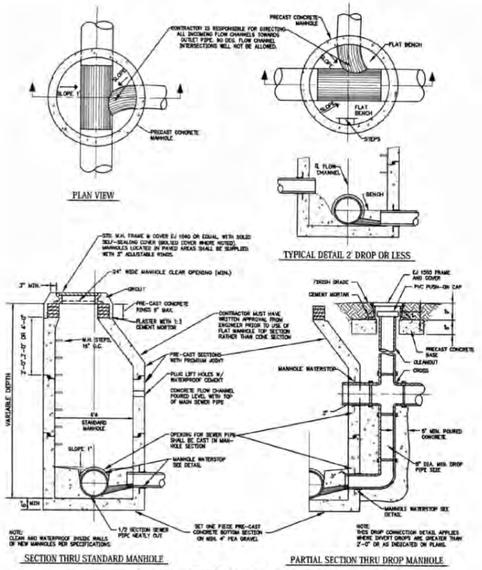
NOTE: ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS.



NOTE:
INSTALL FIELD LOCKS ON THREE ADJACENT DI PIPE JOINTS

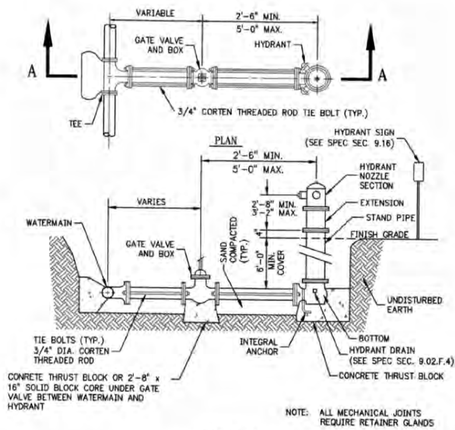
HDPE TO DI (MJ) ADAPTER DETAIL

NO SCALE



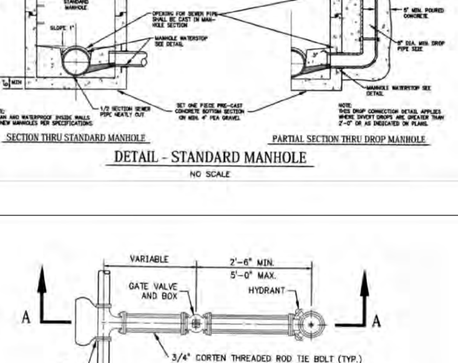
DETAIL - STANDARD MANHOLE

NO SCALE



HYDRANT ASSEMBLY DETAIL

NO SCALE



NOTE:
ALL 2" BLOWOFFS AT WATERMAIN STUBS TO BE LOCATED BY ENGINEER/FIELD REPRESENTATIVE.

SERVICE CONNECTION DETAIL

NO SCALE

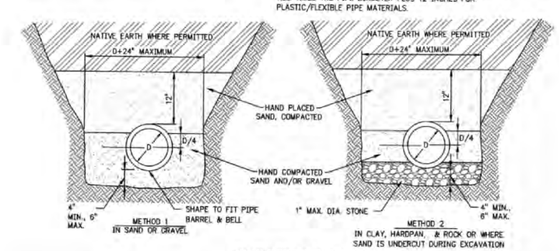
*THIS DETAIL ALSO APPLIES TO SEWER PIPE

NOTE:

ALL BACKFILL MATERIAL SHALL CONFORM TO AWWA C600 OR C605 AS APPROPRIATE.

NOTE:

WATERMAIN TRENCHES NEED TO PROVIDE A MINIMUM WIDTH OF PIPE DIAMETER PLUS 16 INCHES FOR 8 INCH TO 18 INCH DIAMETER PLASTIC/FLEXIBLE PIPE MATERIALS. FOR 18 INCH AND LARGER PIPE DIAMETERS, THE MINIMUM TRENCH WIDTH IS 1.25 TIMES THE PIPE DIAMETER PLUS 12 INCHES FOR PLASTIC/FLEXIBLE PIPE MATERIALS.



PIPE BEDDING DETAIL

(CLASS B) NO SCALE

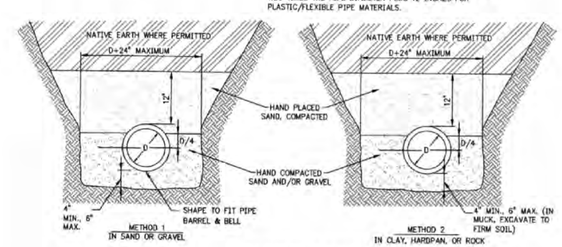
*THIS DETAIL ALSO APPLIES TO SEWER PIPE

NOTE:

ALL BACKFILL MATERIAL SHALL CONFORM TO AWWA C600 OR C605 AS APPROPRIATE.

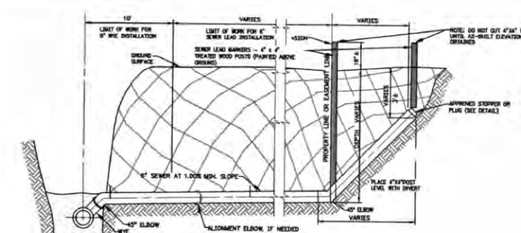
NOTE:

WATERMAIN TRENCHES NEED TO PROVIDE A MINIMUM WIDTH OF PIPE DIAMETER PLUS 16 INCHES FOR 8 INCH TO 18 INCH DIAMETER PLASTIC/FLEXIBLE PIPE MATERIALS. FOR 18 INCH AND LARGER PIPE DIAMETERS, THE MINIMUM TRENCH WIDTH IS 1.25 TIMES THE PIPE DIAMETER PLUS 12 INCHES FOR PLASTIC/FLEXIBLE PIPE MATERIALS.



PIPE BEDDING DETAIL

(CLASS A) NO SCALE



NOTES:

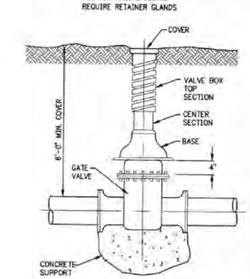
1. THE POSITION OF WYES SHOWN ON DRAWINGS IS APPROXIMATE AND IS INTENDED ONLY AS AN INDICATION THAT A WYE IS REQUIRED. ACTUAL POSITIONS WILL BE DETERMINED IN THE FIELD TO MOST CONVENIENTLY SERVE THE PROPERTY INTENDED AND WILL BE RECORDED ON A SET OF AS-BUILT DRAWINGS.

2. WHEN SEWER LEAD ENDS BENEATH DRIVEWAY, PARKING LOT, ETC., (GRAVEL, CONCRETE, ASPHALT) TOP OF SEWER LEAD MARKER POST SHALL BE 6" BELOW SURFACE. FASTEN 3 – 1/2"x 1/4" STEEL PLATE ON TOP OF POST SO IT CAN BE LOCATED WITH A METAL DETECTOR.

WYE AND SEWER LEAD INSTALLATION DETAIL

NO SCALE

ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS



VALVE BOX INSTALLATION DETAIL

NO SCALE

*DETAILS AND SPECIFICATIONS ON THIS SHEET ARE STANDARD DETAILS FROM THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS

N W E S

BOYNE ENGINEERING AND DESIGN
P.O. Box 94
Boyne City, MI 49727
(231) 499-8361
boyneengineering.com

BIRMLEY MEADOWS SITE CONDOMINIUM

PREPARED FOR:

T&R INVESTMENTS

841 Ashland Drive Traverse City, MI

REVISIONS

NO:	DATE	APP'D	ISSUE / REVISION DESCRIPTION

UTILITY DETAILS

ORIGINAL ISSUE DATE: 04/05/2023

SCALE:

BED JOB NO. 22033

DRAWING NUMBER

C6.1

7b.

Charter Township of Garfield
Planning Department Report No. 2023-56

Prepared:	May 3, 2023	Pages:	8
Meeting:	May 10, 2023	Attachments:	☒
Subject:	Ridge 45 Phase I-III and Ridge 45 Phase IV (South 22) SUP Amendments - Introduction		
File Nos.	SUP-2021-02-B and SUP 2015-01-E	Parcel Nos.: 05-023-026-50, 05-023-025-60, and 05-023-026-45	
Applicant:	Hammond Investment Properties, LLC		
Agent:	Scott Jozwiak/Jozwiak Consulting, Inc.		
Owner:	Hammond Investment Properties, LLC		

BRIEF OVERVIEW:

Phase I-III

- Location: 1555 Ridge Boulevard, west off LaFranier Road
- Parcel area: 37.8 acres
- Existing land use: multi-family housing
- Existing zoning: R-3 Multi Family Residential
- Existing development: 16 multi-family residential buildings with a total of 400 dwelling units

Phase IV

- Location: 1532 West Hammond Road, west of LaFranier Road
- Parcel area: 21.85 acres
- Existing land use: undeveloped land
- Existing zoning: R-3 Multi Family Residential
- Proposed development: 7 multi-family residential buildings with a total of 196 dwelling units

PURPOSE OF APPLICATION:

Ridge45 Phase I-III were developed as follows:

Ridge45 Multi-family Housing Development Phases I-III			
Phase	***Year Approved by Planning Commission***	***Total Number of Apartment Buildings***	***Total Number of Apartment Units***
I	2015	9	232
II	2017	3	72
III	2018	4	96
	Total	**16**	**400**

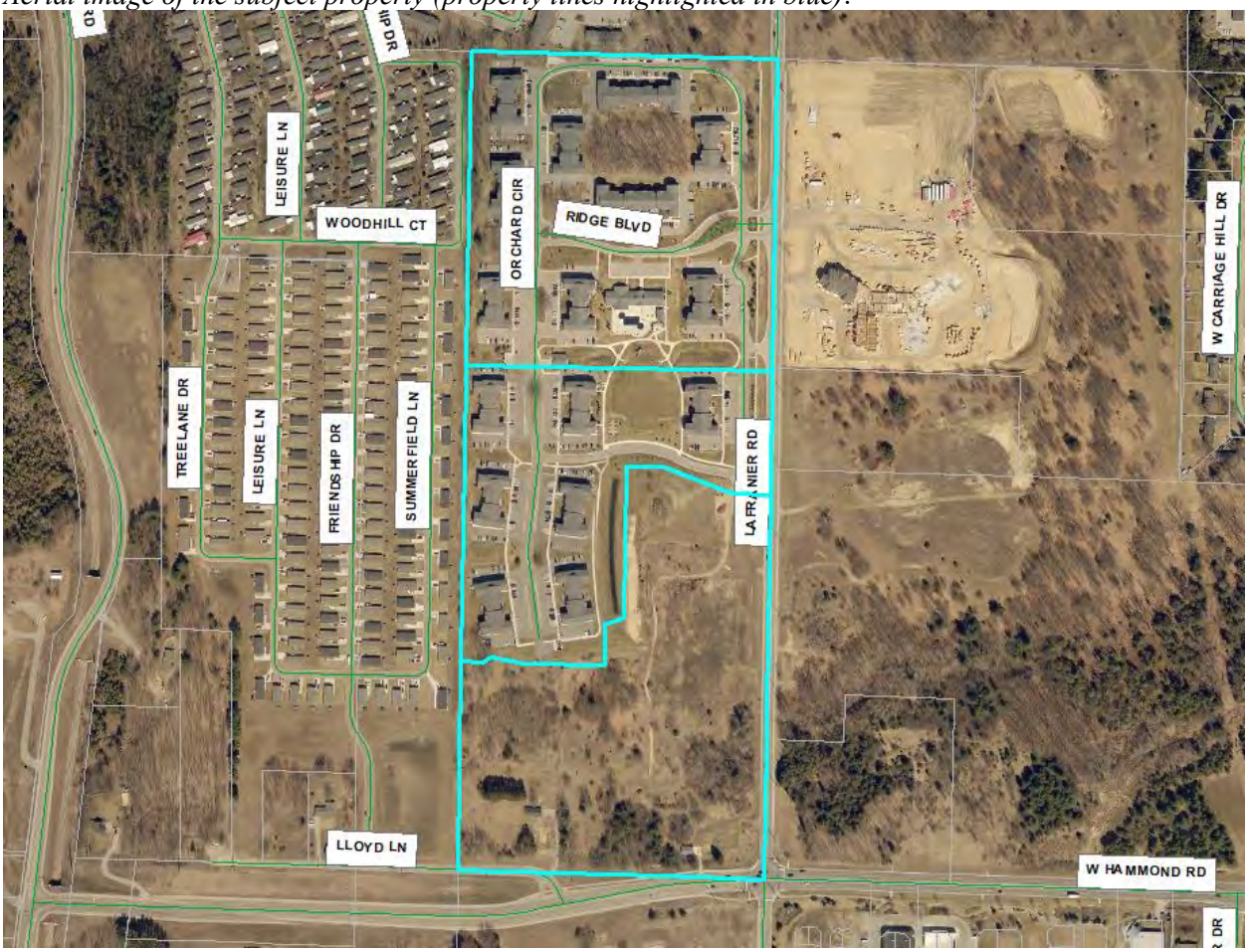
In 2021, the South22 Special Use Permit (now Phase IV) was approved by the Planning Commission for a 216-unit multi-family housing development. In 2022, an administrative amendment to the Special Use Permit was approved. As part of the amendment, the number of multi-family units was reduced to 204 based on internal reconfiguration of the floor plans for the three proposed apartment buildings.

Initial site preparation has been underway. Currently, the developer, Westwind, is seeking an alternative layout that follows the same form as the current Ridge45 development. Ridge45 is a separate development built by Westwind. Essentially, Westwind wants to combine both South22 and Ridge45 into one continuous development.

After initial review of the Zoning Ordinance, it was unclear if combining the two Special Use Permits was permitted. A review by Township Attorney, Scott Howard, determined that combining the two Special Use Permits into one Special Use Permit is permissible. The written opinion from Mr. Howard is forthcoming.

The new application for Ridge45 Phase IV proposes seven apartment buildings containing 28 units each for a total of 196 dwelling units. This new application has 20 fewer units than the South22 plan approved in 2021.

Aerial image of the subject property (property lines highlighted in blue):



ORIGINAL APPROVED SITE PLAN FOR PHASE IV:

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

a) Financing;
b) Availability of adequate public facilities or services;
c) Dedication of land;
d) Reservation of land;
e) Creation of special assessment districts;
f) Creation of restrictive covenants or easements;
g) Special setbacks;
h) Yard requirements;
i) Increased screening or landscaping requirements;
j) Area requirements;
k) Development phasing; or
l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

STAFF COMMENTS FOR PHASE IV:
Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Building Density
The proposed multi-family housing development consists of 196 dwelling units on 21.85 acres of land resulting in 8.97 units per acre.

Building Types
The proposed buildings are as follows:

Ridge45 Multi-family Housing Development Phase IV					
Building Type	***Number of Units***	***Number of Buildings***	***Square Feet Footprint Each***	***Total Number of Units***	***Total Square Feet***
3-story apartment building	28 each	7	11,600	196	81,200
Maintenance building	n/a	1	4,000	n/a	4,000
			Total	**196**	**85,200**

Building façade elevations have been provided. Maximum building height in the R-3 District is 3 stories or 40 feet. Dimensions should be noted, or other documentation provided to ensure that the buildings are in conformance. As presented, proposed buildings appear to meet all height requirements.

Maximum lot coverage or the percentage of the lot occupied by a building, including accessory buildings, is 35%. At 21.85 acres or 951,786 square feet, proposed lot coverage is 9%.

Proposed new amenities include a dog park and sidewalks. By incorporating this development as Phase IV of Ridge45, residents will have access to the existing clubhouse and pool in Ridge45. The Phase IV site plan identifies an area that states, "Community space and future area for amenities such as a second community building, pool, playground or other needs derived from future capacity constraints at existing facilities."

Setbacks
The front setback is 25 feet in the R-3 District. Side and rear yards in the R-3 District shall be 20 feet. The proposed buildings and structures meet all setback requirements.

Ingress and Egress
Ingress and egress for the site will be provided from the existing Lloyd Lane to the south and from the existing Parkside Boulevard in the Ridge45 development to the north. Lloyd Lane provides access to Hammond Road, and Parkside Boulevard provides access to LaFranier Road.

Traffic Impact Report
A traffic impact report shall be required for any major development, special use permit, or site plan under the following described conditions:

(1) A proposed rezoning that could generate 150 or more directional trips during the peak hour or at least 1,000 more trips per day than the most intensive use that could be developed under existing zoning;
(2) A proposed development that will generate 150 or more directional trips during the peak hour or at least 500 trips per day; or
(3) A proposed development for a 5-acre or larger site; or

(4) Upon determination by the Director of Planning, or by the Planning Commission, that a report is necessary to determine needed road improvements or to determine that unsafe or hazardous conditions will not be created by the development as proposed.

The requirements for a traffic impact report may be waived in whole or in part by the Director of Planning, or by the Planning Commission, upon a determination that such report is not necessary to determine needed road improvements or that no unsafe or hazardous conditions will be created by the development as proposed.

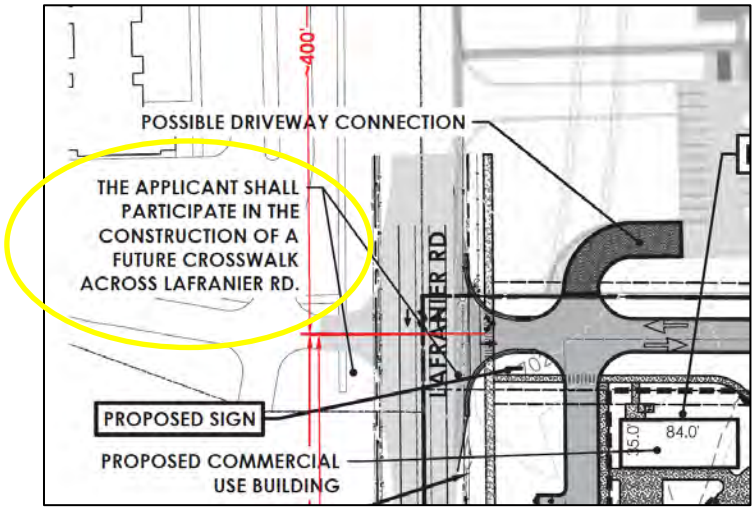
The proposed development exceeds 5 acres and is a development expected to generate more than 500 trips per day. While a new driveway will be proposed on Lloyd Lane, no new driveways are proposed for Hammond or LaFranier Roads. Considering this driveway configuration and design, Staff recommends waiving the requirement for a traffic impact report.

Parking and Bicycle Racks
Parking areas for multiple family dwellings have a minimum parking requirement of 1.5 spaces per dwelling unit to a maximum of 2.0 spaces per dwelling unit. With 196 proposed units, a minimum of 294 parking spaces is required and a maximum of 392 parking spaces are permitted. 385 parking spaces are proposed. An additional four parking spaces are provided for the proposed maintenance building for a total of 389 parking spaces onsite. Of the proposed multi-family parking spaces, 273 are outdoor surface spaces and 112 are indoor garage spaces.

Wherever off-street parking is required, a minimum of two bicycle parking spaces are required. For parking areas with greater than twenty-five (25) motor vehicle spaces, bicycle parking shall be provided on a basis of two spaces per twenty-five motor vehicle parking spaces. Two bicycle racks are proposed at each of the seven apartment buildings for a total of 14 racks. Typical details on the racks should be provided.

Sidewalks
Sidewalks are proposed on the site. Dimensions and type of construction materials must be provided in compliance with Township requirements.

A crosswalk connection to the BATA/TCHC Transit-Oriented Mixed-Use Planned Unit Development located on the east side of LaFranier Road is required. Construction of the crosswalk would be shared by the applicant and BATA/TCHC. The crosswalk will provide access to the new BATA transfer station planned on the east side of LaFranier Road.



Wetlands
Approximately 0.12 acres of wetlands located near LaFranier Road have been delineated and verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE). A 25-foot buffer has been provided as required by the Township.

Landscaping
Landscaping requirements are described by the following for each length of greenspace area (e.g., without including ingress and egress drives):

Greenspace (Length)	***Buffer Planting Requirement***	***Amount Required***	***Amount Provided***
East (1,100 ft.)	Type "D" Buffer – ground cover as specified in Section 530.J, plus 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area, and a minimum width of 20 feet.	44 large trees 33 med/small trees 33 evergreens 20 ft. min width	-- large trees -- existing large trees -- med/small trees -- existing small trees -- evergreens -- existing evergreens 20 ft. min width shown
South (900 ft.)		36 large trees 27 med/small trees 27 evergreens 20 ft. min width	-- large trees -- existing large trees -- med/small trees -- existing small trees -- evergreens -- existing evergreens 20 ft. min width shown
West (600 ft.)	Type "C" Buffer – ground cover as specified in Section 530.J, plus 3 large trees, 3 medium or small tree, and 1 evergreen or coniferous per 100 linear feet of greenspace area, and a minimum width of 10 feet.	18 large trees 18 med/small trees 6 evergreens 10 ft. min width	-- large trees -- existing large trees -- med/small trees -- existing med/small trees -- evergreens -- existing evergreens 10 ft. min width shown

A north buffer is not required since the proposed development is a continuation of the Ridge45 development. A complete landscaping plan shall be provided in accordance with the Zoning Ordinance. Credit is given for existing vegetation.

Lighting
A photometric site plan shall be included with the site plan. The lighting standards of Section 517 of the Zoning Ordinance are described by the following:

Zoning Ordinance Lighting Standard	***Subject Site***
A. Applicability – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions are expected to apply to this site, so all lighting for this site is subject to the requirements of this section.

Zoning Ordinance Lighting Standard	***Subject Site***
B. Shielding and Filtration – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	Information to be provided.
C. Illumination – Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.	Information to be provided.
D. Color Temperature – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.	Information to be provided.
E. Prohibitions – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	Information to be provided.
F. Pole Height – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.	Information to be provided.

Snow Storage
Snow storage is to be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area. Snow storage areas have been identified and meet the minimum requirements.

Dumpster Enclosures
Two dumpster enclosures are proposed. One proposed enclosure is located adjacent to the proposed Maintenance Building. The other proposed enclosure is located on Orchard Circle where an existing enclosure is located 75 feet to the north. Staff recommends that the proposed enclosure on Orchard Circle be consolidated with the existing enclosure. Details of the construction of the enclosures noted on the site plan meet the requirements.

Other Reviews
The application is subject to additional reviews, including but not limited to the Township Engineer, Grand Traverse County Road Commission, and Metro Fire. Sewer and water utility improvements and stormwater improvements will be reviewed by the Township Engineer. Escrow for these reviews is needed as determined by the Township Engineer. Signs are reviewed by the Township Zoning Administrator.

STAFF COMMENTS FOR PHASE I-III:
Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Changes
No changes are proposed to the Ridge45 Phases I-III multi-family housing development. However, the previously required landscaping buffer along the southern parcel line will no longer be required. Also, a new Report and Decision Order will be required to acknowledge the merged developments.

Ridge Boulevard Entrance
Ridge Boulevard, the primary entrance to Ridge45 Phases I-III needs to be corrected to meet Road Commission standards and match the entrance to the Village of LaFranier Woods on the east side of LaFranier Road. An approved plan and Road Commission permit has been obtained by the applicant. Any amendment to the Ridge45 Phases I-III will include the condition that the Ridge Boulevard entry will be completed.

ACTION REQUESTED:
The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. Following an opportunity for applicant presentation and Commissioner discussion, the following motion is offered for consideration:

> MOTION THAT applications SUP-2021-02-B and SUP-2015-01-E, submitted by Jozwiak Consulting, Inc., for a Major Amendment to two Special Use Permits for a multi-family housing complex at Parcel 05-023-026-50, 05-023-025-60, and 05-023-026-45 BE ACCEPTED, and BE SCHEDULED for a public hearing for the June 14, 2023 Regular Planning Commission meeting, subject to the following additional information being provided by the applicant:
>
> 1. A complete landscaping plan shall be provided in accordance with the Zoning Ordinance.
> 2. A complete lighting plan shall be provided in accordance with the Zoning Ordinance.
> 3. Amendment to Ridge45 Phases I-III shall require that the correction to the Ridge Boulevard entry be completed.
> 4. The Ridge45 Phase IV site plan shall be subject to agency reviews, including but not limited to the Township Engineer, Grand Traverse County Road Commission, and Metro Fire.

Any additional information the Planning Commission deems necessary should be added to this motion.

***Attachments*:**
1. Ridge45 Phases I-III Application dated April 10, 2023.
2. Ridge45 Phase IV (South22) Application dated April 10, 2023.
3. Ridge45 Phases I-III and Phase IV Narrative dated April 11, 2023
4. Ridge45 Phase IV (South22) Written Impact Statement dated April 23, 2023.
5. Ridge45 Phase IV (South22) Site Plan set dated April 24, 2023.
6. Ridge45 Phases I-IV Site Plan dated April 24, 2023.

Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☐ New Special Use Permit
- ☑ Major Amendment
- ☐ Minor Amendment
- ☐ Administrative Amendment

PROJECT / DEVELOPMENT NAME

Ridge45 Multi-Family Apartment Community (Ridge 45 Phases 1 - 3)

APPLICANT INFORMATION

Name:	Midwest MFD - South, LLC
Address:	1435 Fulton, 2nd Floor, Grand Haven, MI 49417
Phone Number:	616-842-2030
Email:	scott@westwind.build

AGENT INFORMATION

Name:	Scott Jozwiak, Jozwiak Consulting
Address:	13300 S. West Bay Shore Dr, Traverse City, MI 49684
Phone Number:	231-218-1201
Email:	scott@jozwiakconsulting.com

OWNER INFORMATION

Name:	Midwest MFD - South, LLC
Address:	1435 Fulton, 2nd Floor, Grand Haven, MI 49417
Phone Number:	616-842-2030
Email:	scott@westwind.build

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	
Agent:	Scott Jozwiak
Owner:	

PROPERTY INFORMATION

Property Address:	1555 Ridge Blvd
Property Identification Number:	05-023-026-40
Legal Description:	see attached
Zoning District:	R1-M
Master Plan Future Land Use Designation:	
Area of Property (acres or square feet):	15.012 acres

Existing Use(s):	Multi-Family
Proposed Use(s):	(minor amendment request to allow privacy fence in lieu of some req'd plantings

PROJECT TIMELINE

Estimated Start Date:	N/A
Estimated Completion Date:	November, 2021

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- ☐ One original signed application
- ☐ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

- ☐ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- ☐ Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Written Information:

- ☐ Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- ☐ One digital copy of the Approval Criteria (PDF only)
- ☐ Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- ☐ One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstates that:ecial use is permitted only if the applicant demonstrates that:

- ☐ The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- ☐ The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- ☐ The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- ☐ Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- ☐ The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- ☐ Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- ☐ The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- ☐ The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- ☐ Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- ☐ Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- ☐ The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- ☐ A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- ☐ Types of uses and other man-made facilities.
- ☐ The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- ☐ Phasing of the project including ultimate development proposals.
- ☐ Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- ☐ The method to be used to serve the development with water and sanitary sewer facilities.
- ☐ The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- ☐ If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- ☐ The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- ☐ An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- ☐ The proposed density in units per acre for residential developments.
- ☐ Name(s) and address(es) of person(s) responsible for preparation of statement.
- ☐ Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- ☐ Type, direction, and intensity of outside lighting.
- ☐ General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	Yes	No	Not Applicable
A. Sanitary Sewer Service			
1. Does project require extension of public sewer line?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community wastewater system be installed?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	☐	☑	☐
If yes, is it depicted on plan?	☐	☐	☐
B. Water Service			
1. Does project require extension of public water main?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community water supply be installed?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
C. Public utility easements required?	☐	☐	☑
If yes, show on plan.			
D. Stormwater Review/Soil Erosion			
1. Soil Erosion Plans approved by Soil Erosion Office?	☐	☐	☑
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☐
2. Stormwater Plans approved by Township Engineer?	☐	☐	☑
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☐

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed?	☐	☐	☑
If yes, has Road Commission approved (attach letter)?	☐	☐	☑
2. Will public streets connect to adjoining properties or future streets?	☐	☐	☑
3. Are private roads or interior drives proposed?	☐	☐	☑
4. Will private drives connect to adjoining properties service roads?	☑	☐	☐
5. Has the Road Commission or MDOT approved curb cuts?	☐	☐	☑
If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date: 4-11-2023

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We MIDWEST MFD authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date: 4-10-2023

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date: 4-10-2023

Applicant Signature:

Date: 4-10-2023

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	**SD**	**ASP/ SDP**
A. Basic Information		
1. Applicant's name, address, telephone number and signature	☐	☐
2. Property owner's name, address, telephone number and signature	☐	☐
3. Proof of property ownership	☐	☐
4. Whether there are any options or liens on the property	☐	☐
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	☐	☐
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	☐	☐
7. A vicinity map showing the area and road network surrounding the property		☐
8. Name, address and phone number of the preparer of the site plan	☐	☐
9. Project title or name of the proposed development	☐	☐
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	☐	☐
11. Land uses and zoning classification on the subject parcel and adjoining parcels	☐	☐
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		☐
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	☐	☐
2. Boundary dimensions of natural features		☐
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		☐
4. Proposed alterations to topography and other natural features		☐
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		☐
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	☐	☐
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		☐
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		☐
9. Proposed finish floor and grade line elevations of any structures **Required only for habitable construction within the floodplain on site diagrams and administrative site plans.*	☐ *	☐
10. Existing and proposed driveways, including parking areas	☐	☐
11. Neighboring driveways and other vehicular circulation features adjacent to the site		☐
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	☐	☐
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		☐
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		☐
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		☐
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		☐
17. Location of water supply lines and/or wells	☐	☐
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	☐	☐
19. Location, specifications, and access to a water supply in the event of a fire emergency		☐
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		☐
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		☐
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		☐
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		☐
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		☐
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		☐
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		☐
27. Changes or modifications required for any applicable regulatory agencies' approvals		☐

Charter Township of Garfield

Grand Traverse County

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TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

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ACTION REQUESTED

- ☐ New Special Use Permit
- ☑ Major Amendment
- ☐ Minor Amendment
- ☐ Administrative Amendment

PROJECT / DEVELOPMENT NAME

Ridge45 - Phase 4 (formerly South22)

APPLICANT INFORMATION

Name:	Hammond Investment Properties, LLC
Address:	1435 Fulton St., 2nd Floor, Grand Haven, MI 49417
Phone Number:	616-842-2030
Email:	pete@westwind.build

AGENT INFORMATION

Name:	Scott Jozwiak, PE of Jozwiak Consulting, Inc.
Address:	PO Box 5342, Traverse City, MI 49696
Phone Number:	231-218-1201
Email:	scott@jozwiakconsulting.com

OWNER INFORMATION

Name:	Hammond Investment Properties, LLC
Address:	1435 Fulton St., 2nd Floor, Grand Haven, MI 49417
Phone Number:	616-842-2030
Email:	pete@westwind.build

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	Pete Oleszczuk
Agent:	
Owner:	Pete Oleszczuk

PROPERTY INFORMATION

Property Address:	1532 W Hammond Rd., Traverse City, MI 49686
Property Identification Number:	28-05-023-026-50
Legal Description:	See attached site plan C0
Zoning District:	R-3 Multi Family Residential
Master Plan Future Land Use Designation:	High Density Residential
Area of Property (acres or square feet):	19.5 ac. (net)

Existing Use(s):	vacant residences
Proposed Use(s):	Multi-family Development

PROJECT TIMELINE

Estimated Start Date:	July. 2023
Estimated Completion Date:	Nov./Dec., 2026

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- ☑ One original signed application
- ☑ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please make check out to Charter Township of Garfield.

- ☑ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- ☐ Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Written Information:

- ☐ Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- ☐ One digital copy of the Approval Criteria (PDF only)
- ☐ Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- ☐ One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (http://www.garfield-twp.com). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstates that:ecial use is permitted only if the applicant demonstrates that:

- ☐ The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- ☐ The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- ☐ The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- ☐ Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- ☐ The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- ☐ Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- ☐ The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- ☐ The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- ☐ Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- ☐ Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- ☐ The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- ☐ A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- ☐ Types of uses and other man-made facilities.
- ☐ The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- ☐ Phasing of the project including ultimate development proposals.
- ☐ Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- ☐ The method to be used to serve the development with water and sanitary sewer facilities.
- ☐ The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- ☐ If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- ☐ The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- ☐ An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- ☐ The proposed density in units per acre for residential developments.
- ☐ Name(s) and address(es) of person(s) responsible for preparation of statement.
- ☐ Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- ☐ Type, direction, and intensity of outside lighting.
- ☐ General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	Yes	No	Not Applicable
A. Sanitary Sewer Service			
1. Does project require extension of public sewer line?	☑	☐	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community wastewater system be installed?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	☐	☑	☐
If yes, is it depicted on plan?	☐	☐	☐
B. Water Service			
1. Does project require extension of public water main?	☑	☐	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
2. Will a community water supply be installed?	☐	☑	☐
If yes, has a Utility Agreement been prepared?	☐	☐	☐
If yes, provide construction plans and specifications			
C. Public utility easements required?	☑	☐	☐
If yes, show on plan.			
D. Stormwater Review/Soil Erosion			
1. Soil Erosion Plans approved by Soil Erosion Office?	☑	☐	☐
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☐
2. Stormwater Plans approved by Township Engineer?	☐	☑	☐
If so, attach approval letter.			
If no, are alternate measures shown?	☐	☐	☐

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed?	☐	☑	☐
If yes, has Road Commission approved (attach letter)?	☐	☐	☐
2. Will public streets connect to adjoining properties or future streets?	☐	☐	☑
3. Are private roads or interior drives proposed?	☑	☐	☐
4. Will private drives connect to adjoining properties service roads?	☑	☐	☐
5. Has the Road Commission or MDOT approved curb cuts?	☑	☐	☐
If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date: 4-11-2021

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We HAMMOND INVESTMENTS authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date: 4-10-2023

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date: 4-10-2023

Applicant Signature:

Date: 4-10-2023

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	**SD**	**ASP/ SDP**
A. Basic Information		
1. Applicant's name, address, telephone number and signature	☐	☐
2. Property owner's name, address, telephone number and signature	☐	☐
3. Proof of property ownership	☐	☐
4. Whether there are any options or liens on the property	☐	☐
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	☐	☐
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	☐	☐
7. A vicinity map showing the area and road network surrounding the property		☐
8. Name, address and phone number of the preparer of the site plan	☐	☐
9. Project title or name of the proposed development	☐	☐
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	☐	☐
11. Land uses and zoning classification on the subject parcel and adjoining parcels	☐	☐
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		☐
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	☐	☐
2. Boundary dimensions of natural features		☐
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		☐
4. Proposed alterations to topography and other natural features		☐
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		☐
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	☐	☐
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		☐
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		☐
9. Proposed finish floor and grade line elevations of any structures **Required only for habitable construction within the floodplain on site diagrams and administrative site plans.*	☐ *	☐
10. Existing and proposed driveways, including parking areas	☐	☐
11. Neighboring driveways and other vehicular circulation features adjacent to the site		☐
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	☐	☐
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		☐
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		☐
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		☐
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		☐
17. Location of water supply lines and/or wells	☐	☐
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	☐	☐
19. Location, specifications, and access to a water supply in the event of a fire emergency		☐
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		☐
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		☐
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		☐
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		☐
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		☐
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		☐
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		☐
27. Changes or modifications required for any applicable regulatory agencies' approvals		☐

Ridge45, Phases 1-3

Midwest MFD, LLC and Midwest MFD - South, LLC dba Ridge45 built a 16-building, 400-unit multifamily housing development on 40 acres of land with a vison of expansion to meet housing needs in the area. The owners and operators have completed Phases 1-3 and are the same principles as the developers and owners of the Phase 4 housing project to the south on approximately 22 acres.

Ridge45 is applying for a special use amendment to remove the landscaping along the south property line where Phase 4 joins it. The aim is to connect sidewalks and roadways, create a sense of community among the residents, create visual cohesion between the properties, and serve the practical purpose of connecting amenities for all residents to enjoy (i.e. community center, fitness center, playground, dog park, maintenance buildings, offices, etc.). Residents of Ridge45 Phase 1-3 will be able to walk to Phase 4 on sidewalks, which is right across the street from the future BATA transit station, making public transportation all the more readily available. The joined properties in theory/plan, will now be joined physically.

Ridge 45, Phase 4

Hammond Investment Properties, LLC, "Hammond Investment Properties," was formed in December 2018 to develop roughly 22 acres of land in Garfield Township. Hammond Investment Properties is owned and operated by the same principals as the developers and owners of the Ridge45 Phase 1-3 project located just north of the subject property. Sidewalks, roadways, and amenities will connect between all Ridge45 phases, cultivating a sense of community and visual cohesion between the properties. Planned features in Phase 4 support and enhance Ridge45 Phase 1-3 with a spacious maintenance building and dog park. Additionally, Phase 4 will provide expansion opportunities for Ridge45 amenities – such as multi-sport courts, pool additions, and a community gardens expansion.

On the acreage, seven new multifamily housing structures are being constructed, which will be under the same Ridge45 name. In total, this new development will provide 196 housing units, including various studio, 1-bedroom, 2-bedroom, and 3-bedroom layouts.

Hammond Investment Properties is requesting a special use major amendment for the updated layout to join Ridge45 Phase 4 with Phases 1-3.

Received by Garfield Twp - April 11, 2023

SOUTH22 APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- *Both current Zoning Map and Future Land Use Map indicate this area as a multi-family/high density zoning designation. Currently the R-3 District allows for Multi-family residential, allowing 1 unit / 4,000 sf. The Master Plan (Future Land Use Map) allows for High Density Residential, 6-10 units per acre.*

The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

- *This proposed development is compatible to all the surrounding uses and characteristics of this area and is allowed by Special Land Use. Surrounding neighborhoods include mobile home park, multi-family developments, and proposed BATA transfer station with additional multi-family house proposed. Further, this development will now be combined with Ridge45. Although it will be under separate special use permits, Ridge45 and South22 will operate as a single entity.*

The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

- *South22, a multi-family housing development will not create any detrimental impacts. Traffic is handled by internal private drives and entrances onto public rights-of-way are limited to reduce congestion.*

Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

- *This development's intent is to operate in conjunction with Ridge45 and continue to create a community that includes amenities, parking and landscaping to create the sense of neighborhood. This layout benefits the area by eliminating adverse effects to adjacent properties. Landscaping and screening create a buffer*

around the development.

The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

- *The parcel is generally vacant, open land. The south end of the property has some established vegetations (both deciduous and coniferous trees) and a regulated wetland as identified and delineated by Environment, Great Lake and Energy (EGLE). The proposed layout maintains the wetlands, and maintains a 25' setback from said wetlands. Some vegetation will be necessary to be removed but the layout has addressed keeping as much as possible to provide the scenery and buffering.*

Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

- *Permits were acquired for the previous layout. The proposed amendment will result in a slightly lower apartment unit density and therefore result in less impact to all items in this section. Both sewer and water utilities have the capacity for the proposed use. Drainage will be contained on site.*

The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

- *South22 is not detrimental or an endangerment but rather provides the community with much needed multi-family housing in an area that has been designated for such a development.*

The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

- *The continual growth of the Grand Traverse region requires housing of all types, with a high demand in multi-family housing options. South22 provides 196 dwelling units that are similar to Ridge45. A mix of unit sizes are included to offer choices to clients. This use supports the public interest and welfare greatly.*

Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

- *South22 has direct connection to Ridge45, with shared internal drives. This network allows for sharing the main entrances that are already constructed on LaFranier. The south end of the development fronts on Lloyd Lane (public) where a new curb cut is designed to service not only South22 but will provide access to Ridge45.*

Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

- *Vehicular drives are interconnected with Ridge45, sized for the amount of traffic and configured to calm traffic within the development. The pedestrian flow follows the same principle- providing connectivity between developments and with the sidewalk along the public roads for use to surrounding areas, providing safe passage for all users in, through and around the area.*

The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

- *South22 completes the zoning district with creating a safe multi-family housing community that helps meet the needs of the area AND fulfils the intent of the zoning district.*

IMPACT ASSESSMENT

South22, a proposed multi-family housing development located in Garfield Township is comprised 7 multi-family apartment buildings containing a mx of unit sizes. All buildings are three stories. Each building will have 28 units for a total of 196 dwelling units. This equates to 10.05 units per acre density (using 19.50 acres net). This site is adjacent to the Ridge 45 apartment complex which includes amenities such as a community building, workout facility, pool and playground.

Hammond Investment Properties, LLC, "Hammond Investment Properties," was formed in December 2018 to develop roughly 22 acres of land in Garfield Township. Hammond Investment Properties is owned and operated by the same principals as the developers and owners of the Ridge45 (Midwest MFD, LLC) project located just north of the subject property. Sidewalks, roadways, and amenities will connect all Ridge45 phases and the proposed South22 development, cultivating a sense of community and visual cohesion between the properties. Planned features in South22 support and enhance Ridge45 with a spacious maintenance building and dog park.

Additionally, South22 will provide expansion opportunities for more amenities to be constructed – such as multi-sport courts, pool additions, and a community gardens expansion as needs arise. The continued evolution of the apartment industry require us to be able to provide amenities in order to remain competitive with other communities and thus we have set aside substantial areas to adapt to these requests. While apartment communities are necessary, they are a competitive business whereby clients seek out certain amenities. Our desire to lead in this market requires us to be constantly looking forward to identifying new or expanded amenity options. Use of existing amenities in Ridge45 are under capacity and therefore can support the additional capacity from South22. Having adequate green space in the South22 development affords the opportunity to adapt to changing needs. Ideas of pickleball courts, additional playground equipment or even the need to construct a second community building and pool are all plausible.

Due to the financial implications, committing to the construction of such amenities should come on a "need" basis so as not to incur expenses which are passed through to the customer. Carrying costs for underutilized facilities have to be absorbed somewhere and that is contradictory to keeping rent as low as possible. We wish to work with township staff as future amenities are decided on.

Hammond Investment Properties is requesting a special use major amendment for the updated layout to South22 and to join Ridge45 into a common community that shares amenities and operates as a single entity.

The plan is for a one phase development, with construction to continue Summer of 2023 with site grading followed by utilities and vertical construction commencing upon final permitting.

The southeast corner of the site has a regulated wetland as identified and delineated by Environment, Great Lake and Energy (EGLE). Site work will necessitate removing some of the vegetation to perform site grading but no work is proposed in or near the regulated wetlands.

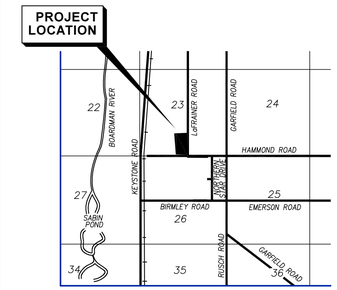
Working with Garfield Township Engineers, it has been determined that the public sanitary sewer and water system have capacity for the proposed development as is evident by the previous layout being permitted for both utilities.

SPECIAL USE PERMIT AMENDMENT FOR **SOUTH 22**

MULTI-FAMILY HOUSING DEVELOPMENT

		SF Footprint	Length	Width	Eave Height	Stories	Units	Parking Req'd	Parking Prov'd	Surface Pkg	Indoor Pkg
South22	Building Q	11600	105	164	30	3	28	56	55	39	16
	Building R	11600	105	164	30	3	28	56	55	39	16
	Building S	11600	105	164	30	3	28	56	55	39	16
	Building T	11600	105	164	30	3	28	56	55	39	16
	Building U	11600	105	164	30	3	28	56	55	39	16
	Building V	11600	105	164	30	3	28	56	55	39	16
	Building W	11600	105	164	30	3	28	56	55	39	16
	Maintenance Building	4000	100	40	16	1	0	4	4	4	
						196 Dwelling Units		396	389		
						19.5 Acres 10.05 Units/Acre					

BUILDING SYNOPSIS



PROJECT LOCATION MAP

APPLICANT
Hammond Investment Properties, LLC
1435 Fulton St., 2nd Floor
Grand Haven, MI 49417
616-842-2030
Peter Oleszcsuk

SITE:
Parcel ID: 28-05-023-026-50
Address: 1532 W. Hammond Rd.

Current Zoning: R-1M

SITE DATA

OVERALL DEVELOPMENT MAP

jozwiak consulting
p.o. box 5342 traverse city, mi 49696 231-218-1201
www.jozwiakconsulting.com

PLAN DATE:
4-24-2023 SUP MAJOR AMENDMENT INTRODUCTION SUBMITTAL

PROJECT:
SOUTH22
AMENDMENT TO SPECIAL USE PERMIT

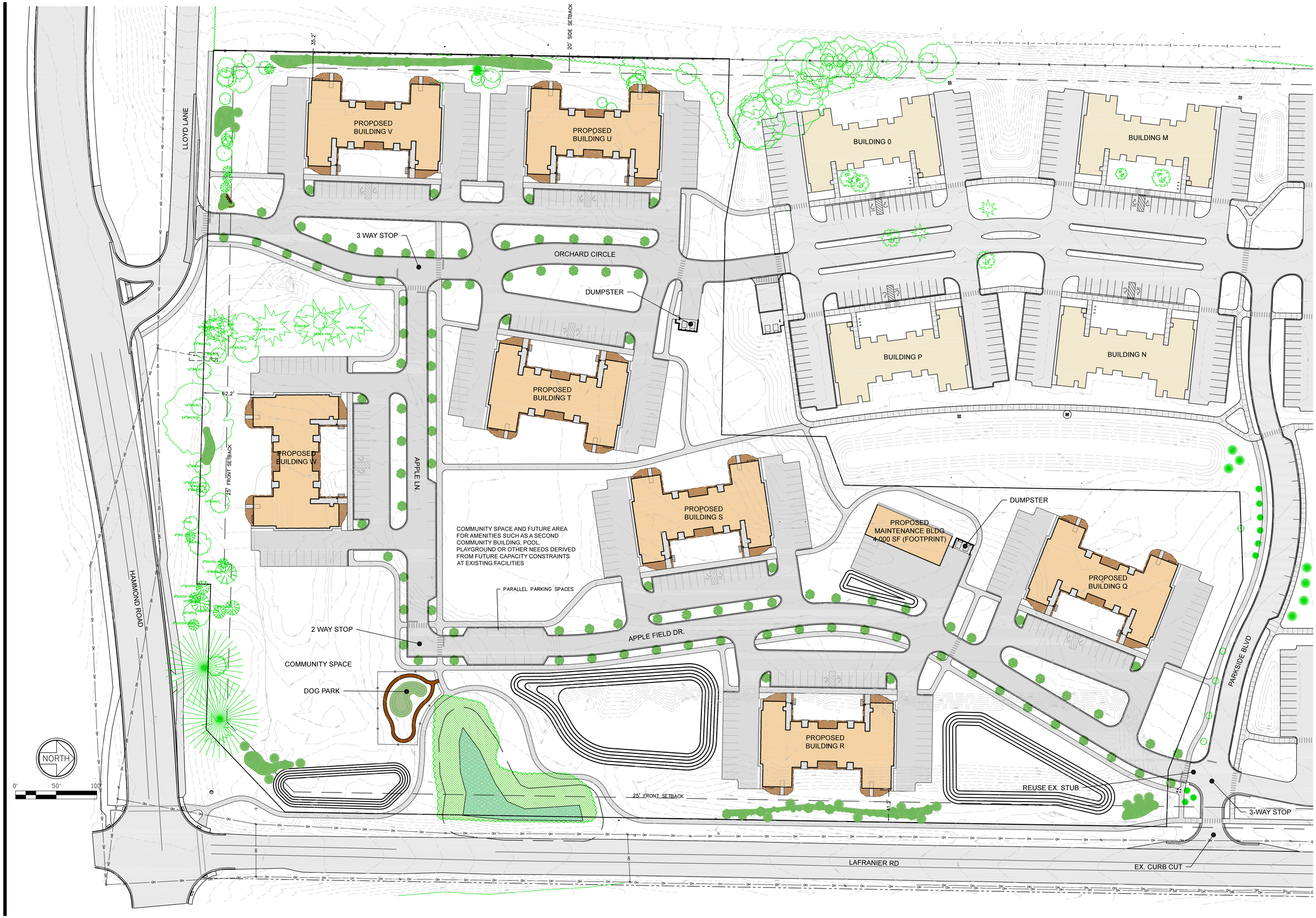
LOCATION:
SECTION 23, T27N - R11W, GARFIELD TWP,
GRAND TRAVERSE COUNTY, MICHIGAN

CLIENT:
HAMMOND INVESTMENT PROPERTIES, LLC
1435 FULTON ST.
GRAND HAVEN, MI 49417

PROJECT NO.:
2016-161_2

GENERAL PLAN INFORMATION

C100



jozwiak consulting
p.o. box 5342 | traverse city, mi 49696 | 231-218-1201
www.jozwiakconsulting.com

PLAN DATE:
4-24-2023 SUP MAJOR AMENDMENT INTRODUCTION SUBMITTAL

PROJECT:
SOUTH22
AMENDMENT TO SPECIAL USE PERMIT

LOCATION:
SECTION 23, T27N - R11W, GARFIELD TWP,
GRAND TRAVERSE COUNTY, MICHIGAN

CLIENT:
HAMMOND INVESTMENT PROPERTIES, LLC
1435 FULTON ST.
GRAND HAVEN, MI 49417

PROJECT NO.:
2016-161_2

OVERALL SITE PLAN

C102

jozwiak consulting
p.o. box 5342 traverse city, mi 49696 231-218-1201
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PLAN DATE:
4-24-2023 SUP MAJOR AMENDMENT INTRODUCTION SUBMITTAL

PROJECT:
SOUTH22
AMENDMENT TO SPECIAL USE PERMIT

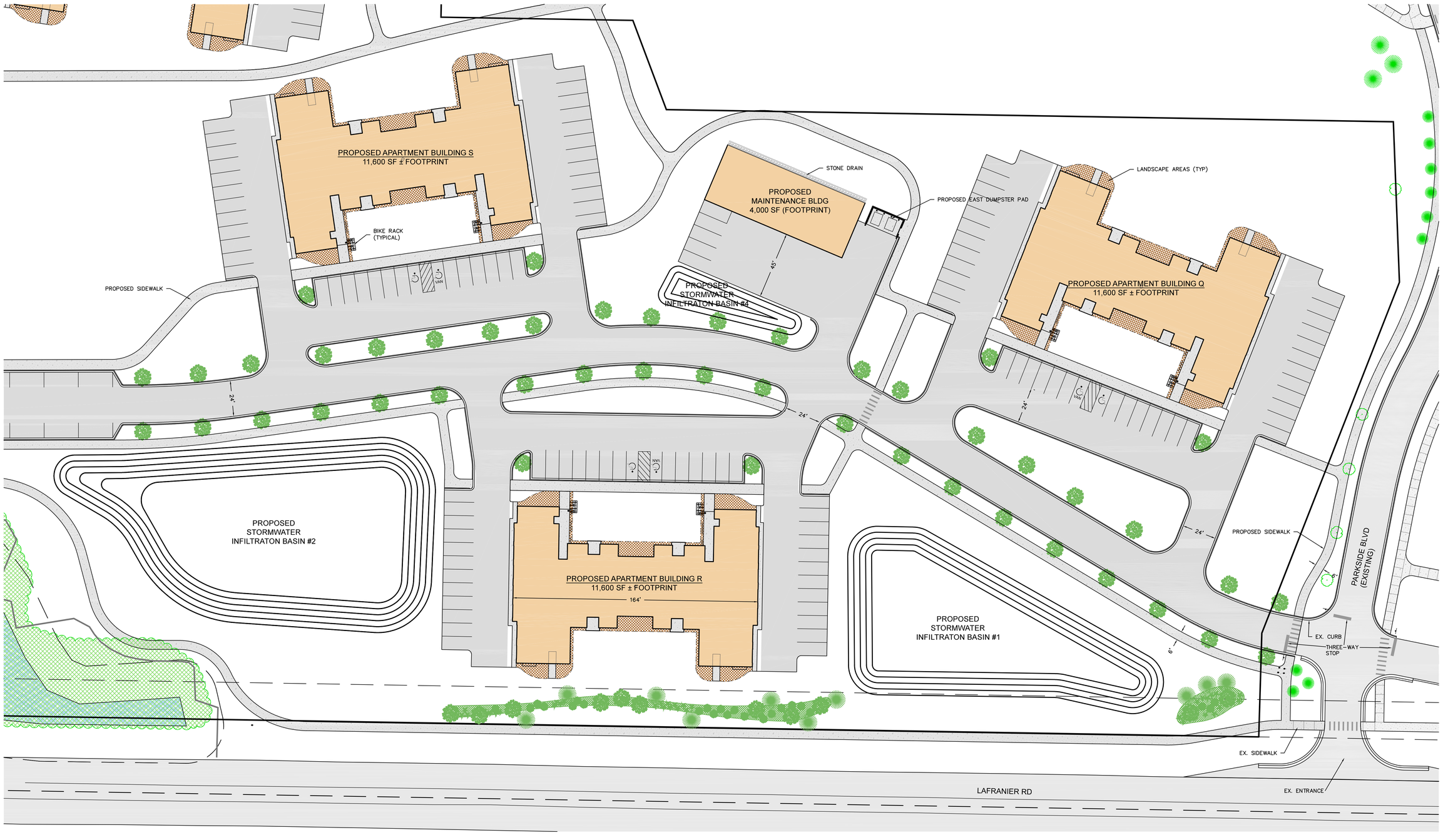
LOCATION:
SECTION 23, T27N - R11W, GARFIELD TWP,
GRAND TRAVERSE COUNTY, MICHIGAN

CLIENT:
HAMMOND INVESTMENT PROPERTIES, LLC
1435 FULTON ST.
GRAND HAVEN, MI 49417

PROJECT NO.:
2016-161_2

UTILITY PLAN

C104



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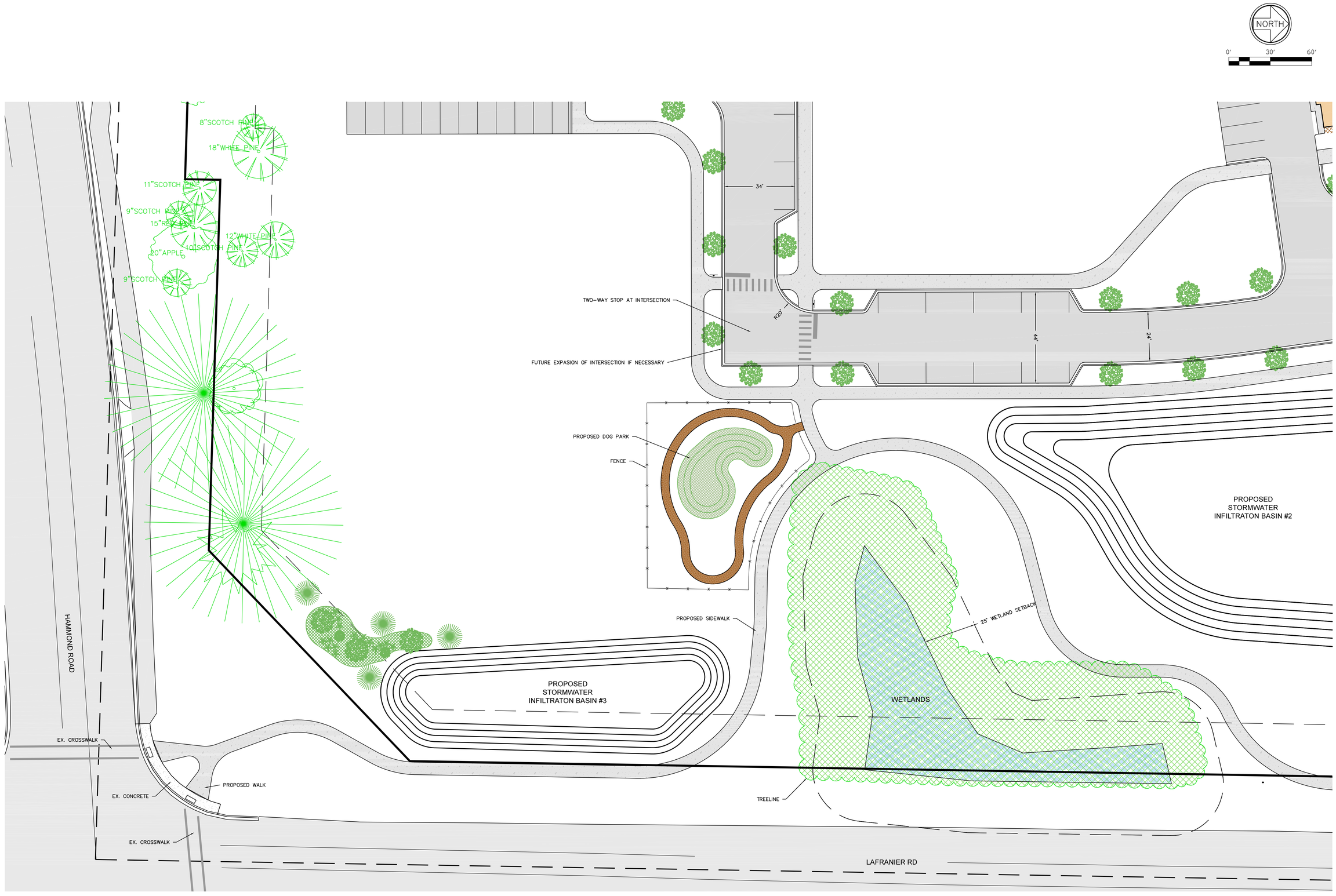
SITE PLAN
DETAIL
NORTHEAST

C301



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PROJECT NO.:
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SITE PLAN
DETAIL
SOUTHEAST

C302

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PROJECT NO.:
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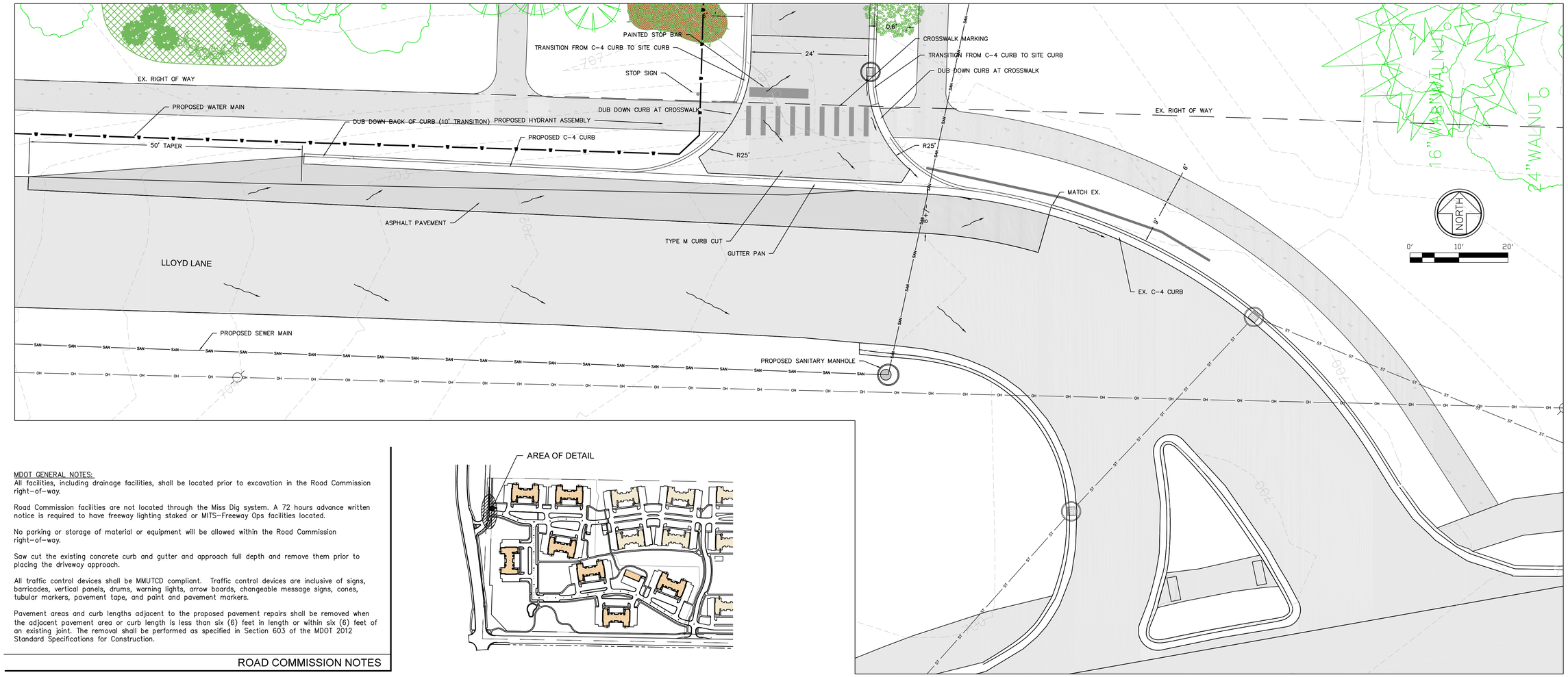
SITE PLAN
DETAIL
SOUTHWEST

C303



MDOT GENERAL NOTES:
All facilities, including drainage facilities, shall be located prior to excavation in the Road Commission right-of-way.

Road Commission facilities are not located through the Miss Dig system. A 72 hours advance written notice is required to have freeway lighting staked or MITS-Freeway Ops facilities located.

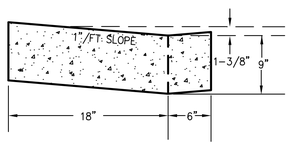
No parking or storage of material or equipment will be allowed within the Road Commission right-of-way.

Saw cut the existing concrete curb and gutter and approach full depth and remove them prior to placing the driveway approach.

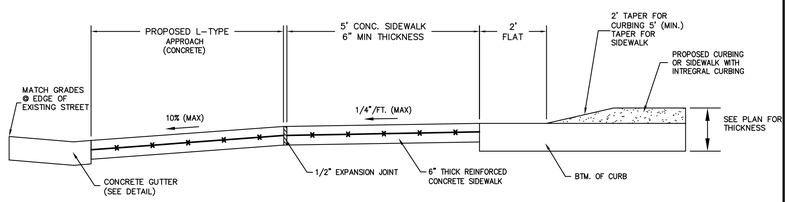
All traffic control devices shall be MMUTCD compliant. Traffic control devices are inclusive of signs, barricades, vertical panels, drums, warning lights, arrow boards, changeable message signs, cones, tubular markers, pavement tape, and paint and pavement markers.

Pavement areas and curb lengths adjacent to the proposed pavement repairs shall be removed when the adjacent pavement area or curb length is less than six (6) feet in length or within six (6) feet of an existing joint. The removal shall be performed as specified in Section 603 of the MDOT 2012 Standard Specifications for Construction.

ROAD COMMISSION NOTES



CONCRETE GUTTER
NO SCALE



ENTRANCE PROFILE DETAIL
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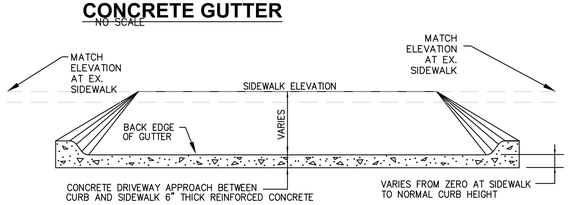
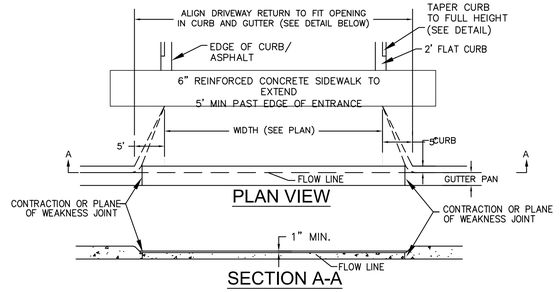
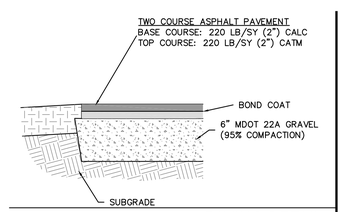
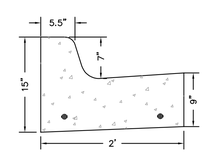




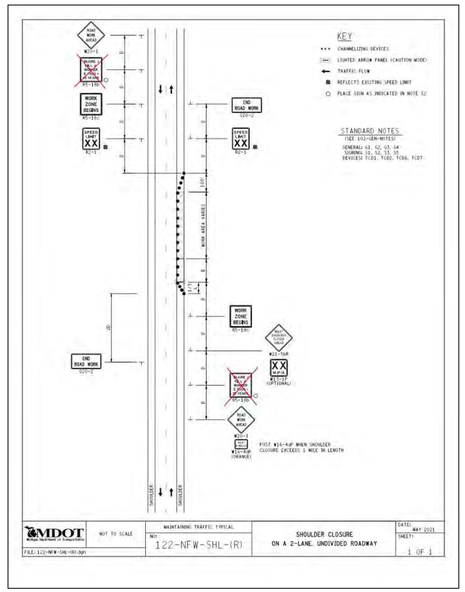
SOUTH AIRPORT ENTRANCE DETAIL



PAVING DETAIL



C-4 CURB DETAIL



TEMPORARY TRAFFIC CONTROL FOR SHOULDER CLOSURE

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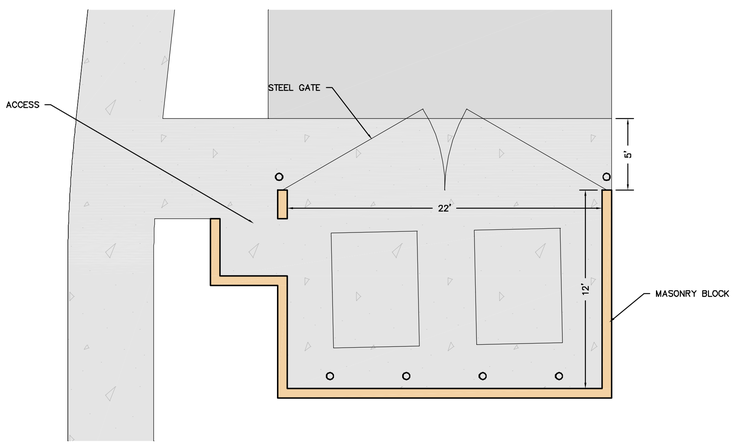
GRAND HAVEN, MI 49417

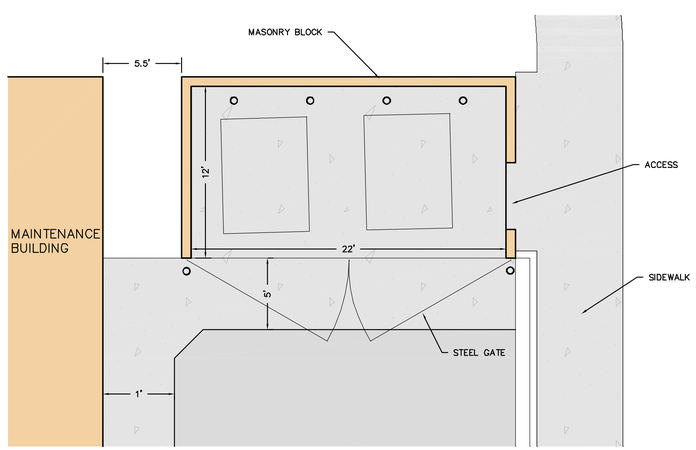
PROJECT NO.:
2016-161_2

LLOYD LANE
ENTRANCE
DETAIL

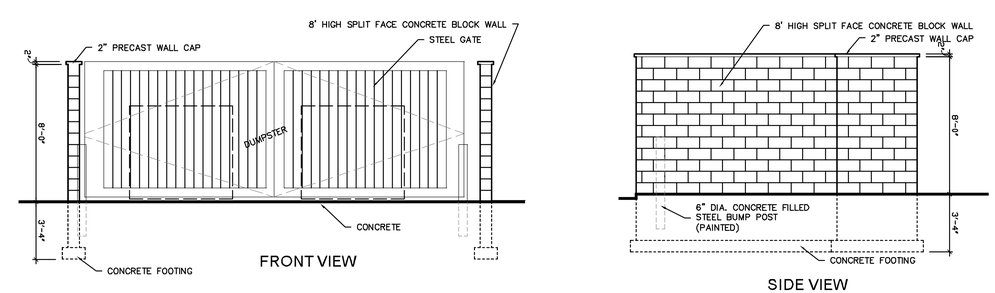
C401



WEST DUMPSTER PAD ENLARGED VIEW



EAST DUMPSTER PAD ENLARGED VIEW



DUMPSTER PAD DETAIL

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DUMPSTER
PAD DETAILS

C501

NOTE:
LANDSCAPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
EXISTING LANDSCAPE INVENTORY TO BE TAKEN FOLLOWING SITE WORK AND LANDSCAPE PLAN WILL MEET RESPECTIVE BUFFER REQUIREMENTS.

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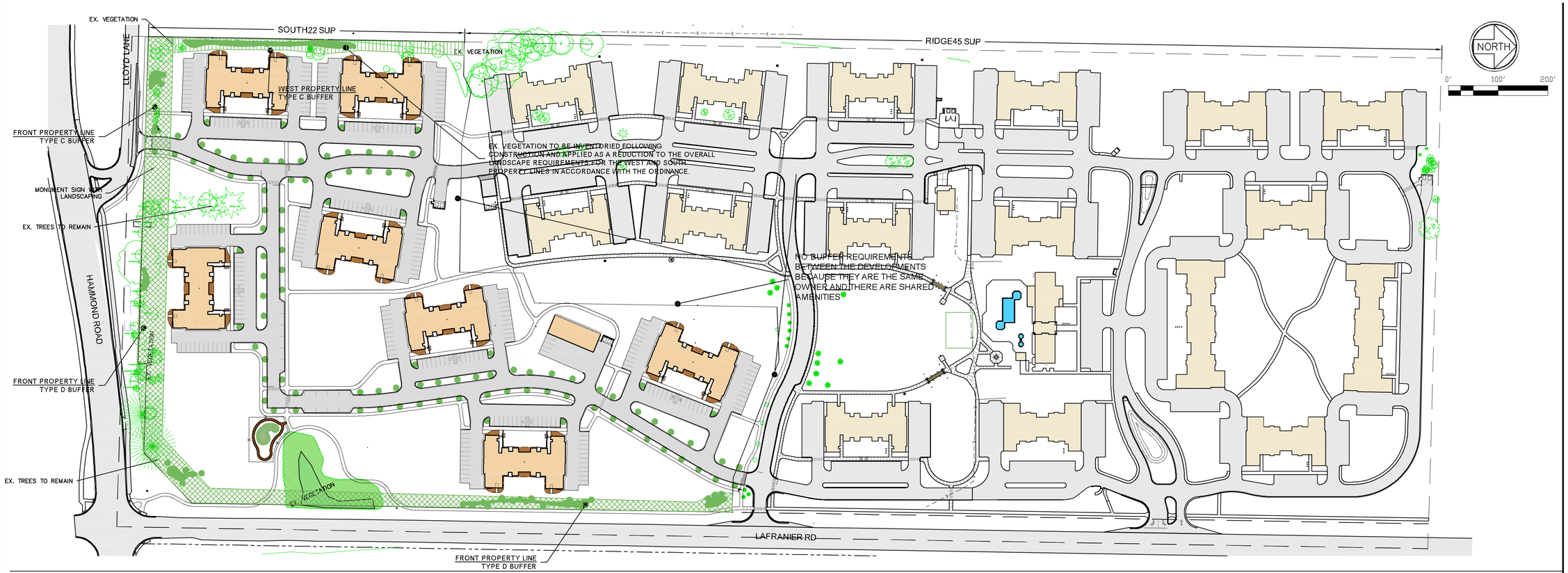
2016-161_2

LANDSCAPE COMPLIANCE PLAN

C701



LANDSCAPE COMPLIANCE PLAN

Area ID	Parking area (sf)	Snow Storage Required (sf)	Snow Storage Provided (sf)
1	16400	1640	2080
2	5000	500	950
3	6600	660	700
4	10400	1040	1500
5	10500	1050	1900
6	5150	515	1300
7	9950	995	1030
8	5200	520	1650
9	5690	569	1050
10	10400	1040	1070
11	5100	510	600
12	10500	1050	1300
13	10500	1050	1300
14	5300	530	900
15	9000	900	1300
16	27400	2740	3280
17	5400	540	1000

MAIN DRIVES WILL BE PLOWED REGULARLY AND SNOW WINDROWED ALONG CURB LINE. PERIODICALLY, SNOW WILL BE MOVED TO MAIN STORMWATER BASIN.

SNOW STORAGE COMPLIANCE PLAN

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PROJECT NO.:
2016-161_2

ZONING
COMPLIANCE

C701

POST–CONSTRUCTION STORM WATER CONTROL MAINTENANCE INFORMATION

THE FOLLOWING LIST DESCRIBES STANDARD INSPECTIONS AND MAINTENANCE THAT ARE REQUIRED FOR MOST STORM WATER SYSTEMS. THE OWNER IS RESPONSIBLE FOR MAINTAINING THE STORM WATER SYSTEM. THIS LIST IS A STARTING POINT AND SHOULD BE ADDED TO BY THE OWNER:

INSPECT ALL CATCH BASINS FOR SEDIMENT LEVELS IN THE SUMPS. IF THE SEDIMENT IS DETERMINED TO BE WITHIN 8" OF THE DOWN–TURNED ELBOW, THE OWNER SHALL HAVE THE CATCH BASIN(S) CLEANED.

INSPECT ALL INFILTRATION BASINS WITHIN THE PROJECT. IF SEDIMENT LEVELS ARE NOTICABLE AND/OR THERE IS A NOTICABLE DECREASE IN THE PERMEABILITY OF THE BASIN BOTTOM, CLEAN THE BASINS.

REMOVE ANY DEBRIS OR FLOATABLES FROM THE INFILTRATION AND ON THE PROPERTY. CLEANING SILT FROM THE PARKING LOTS AND STREETS IS ADVISABLE TO REDUCE THE AMOUNT THAT ENTERS THE STORM SYSTEM.

INSPECT THE GROUNDS FOR EROSION. REPAIR AS NECESSARY.

MOW THE INFILTRATION BASINS AT LEAST TWICE PER YEAR TO PREVENT WOODY VEGETATION FROM TAKING HOLD.

CLEAN OR REPLACE STONE AT THE PIPE ENDS IN THE INFILTRATION BASIN AS NECESSARY.

IN THE EVENT OF ON–GOING PROBLEMS THAT RECUR, CONTACT A PROFESSIONAL ENGINEER FOR GUIDANCE.

POST-CONSTRUCTION MAINTENANCE PLAN

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STORMWATER
MANAGEMENT
PLAN

C702

BOUNDARY LINE AND DENSITY EXHIBIT

Part of the Southwest 1/4 of Section 23, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, more fully described as:

BEGINNING at said South 1/4 corner of said Section 23; thence N 88°13'15" W, 986.41 feet; thence N 00°57'43" E, 668.25 feet; thence S 88°39'16" E, 68.63 feet; thence N 62°30'13" E, 33.30 feet; thence S 79°41'00" E, 105.90 feet; thence S 89°02'29" E, 280.64 feet; thence N 00°57'31" E, 128.56 feet; thence N 69°26'22" E, 63.87 feet; thence N 00°57'31" E, 487.12 feet; thence N 87°49'46" E, 107.67 feet; thence S 68°36'08" E, 252.66 feet; thence S 88°18'05" E, 119.56 feet; thence S 00°57'31" W, 1235.77 feet to the POINT OF BEGINNING.

Containing 21.85 acres, more or less.

Subject to and together with agreements, covenants, easements, and restrictions of record.

LEGAL DESCRIPTION (SOUTH22)

SOUTH22 BOUNDARY
196 DWELLING UNITS PROPOSED

EXISTING
GROSS AREA =21.58 ACRES
NET AREA = 19.07 ACRES

PROPOSED
AFTER LOT LINE ADJUSTMENT AND ROW REMOVAL
GROSS AREA = 21.85 ACRES
NET AREA = 19.50 ACRES (AFTER RIGHT OF WAY CONVEYANCE ALONG LAFRANIER)
UNIT DENSITY = 10.05 UNITS PER NET ACRE

RIDGE45 BOUNDARY
400 DWELLING UNITS

EXISTING
GROSS AREA = 38.65
NET AREA = 37.59 ACRES
UNIT DENSITY = 10.64 UNITS PER NET ACRE

PROPOSED
AFTER LOT LINE ADJUSTMENT
GROSS AREA = 37.8 ACRES
NET AREA = 36.74 ACRES
UNIT DENSITY = 10.89 UNITS PER NET ACRE

NOTE: NET AREA DOES NOT INCLUDE THE REDUCTION OF THE 17' RIGHT OF WAY THAT WAS CONVEYED TO THE ROAD COMMISSION AT THE TIME OF DEVELOPMENT. THIS ACCOUNTS FOR A REDUCTION OF 0.55 ACRES.

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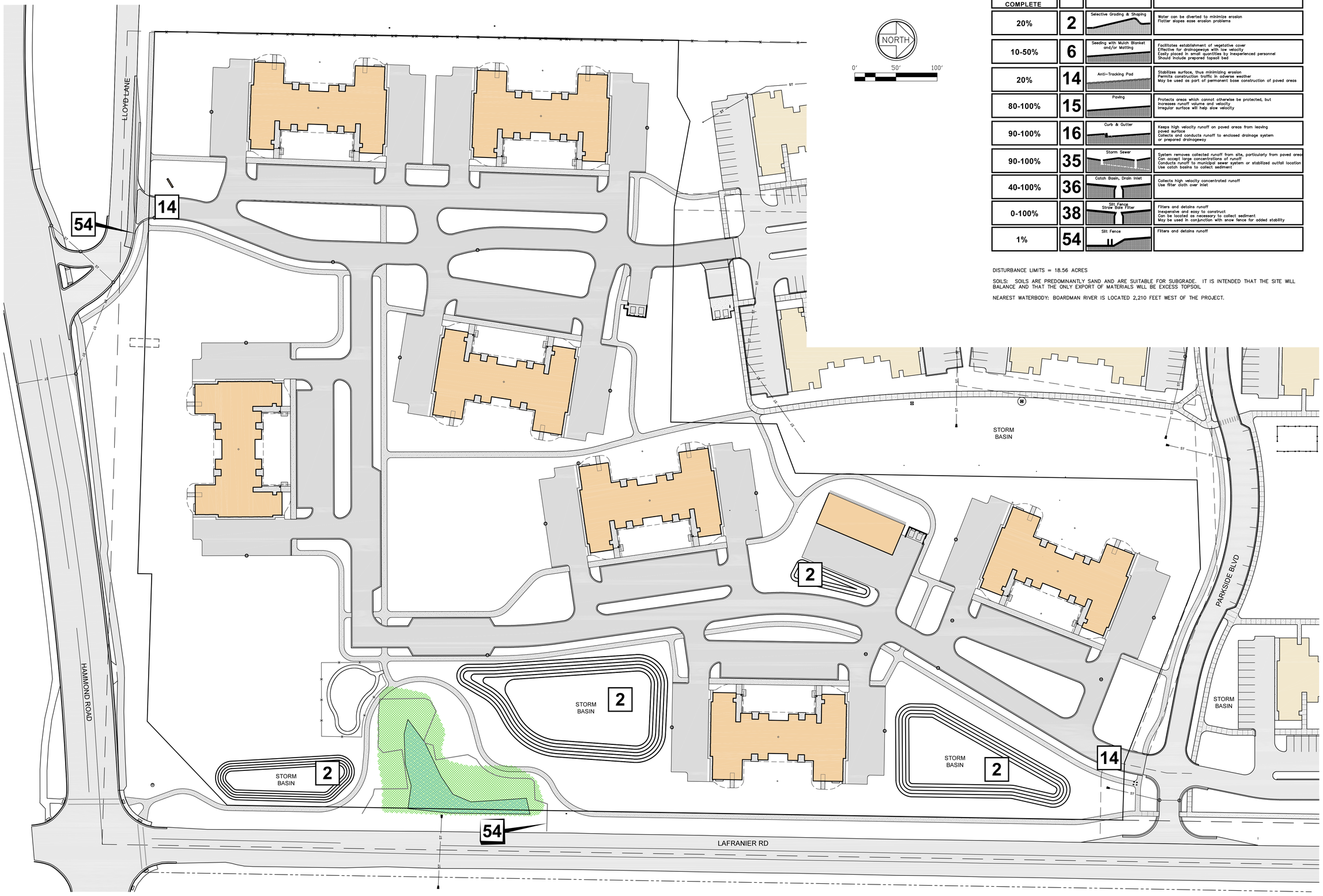
PROPERTY BOUNDARY EXHIBIT

C704



APPLIED AT % SITEWORK COMPLETE	KEY	DETAIL	CHARACTERISTICS
20%	2	Selective Grading & Shaping	Water can be diverted to minimize erosion Flatter slopes ease erosion problems
10-50%	6	Seeding with Mulch Blanket and/or Matting	Facilitates establishment of vegetative cover Effective for drainageways with low velocity Easily placed in small quantities by inexperienced personnel Should include prepared topsoil bed
20%	14	Anti-Tracking Pad	Stabilizes surface, thus minimizing erosion Permits construction traffic in adverse weather May be used as part of permanent base construction of paved areas
80-100%	15	Paving	Protects areas which cannot otherwise be protected, but Increases runoff volume and velocity Irregular surface will help slow velocity
90-100%	16	Curb & Gutter	Keeps high velocity runoff on paved areas from leaving paved surface Collects and conducts runoff to enclosed drainage system or prepared drainageway
90-100%	35	Storm Sewer	System removes collected runoff from site, particularly from paved areas Can accept large concentrations of runoff Conducts runoff to municipal sewer system or stabilized outfall location Use catch basins to collect sediment
40-100%	36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff Use filter cloth over inlet
0-100%	38	Silt Fence Straw Bale Filter	Filters and detains runoff Inexpensive and easy to construct Can be located as necessary to collect sediment May be used in conjunction with snow fence for added stability
1%	54	Silt Fence	Filters and detains runoff

DISTURBANCE LIMITS = 18.56 ACRES

SOILS: SOILS ARE PREDOMINANTLY SAND AND ARE SUITABLE FOR SUBGRADE. IT IS INTENDED THAT THE SITE WILL BALANCE AND THAT THE ONLY EXPORT OF MATERIALS WILL BE EXCESS TOPSOIL

NEAREST WATERBODY: BOARDMAN RIVER IS LOCATED 2,210 FEET WEST OF THE PROJECT.

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SOIL EROSION
AND
SEDIMENT
CONTROL
PLAN

C705

FRONT PERSPECTIVE VIEW
SCALE:

REAR PERSPECTIVE VIEW
SCALE:

Ridge 45 - 28 Unit Type 1 Building

Phase 4 Address TBD Traverse City, Michigan

WESTWIND

04/21/23 Progress Set date

0823 commission

T1.1 sheet

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Grand Haven
Michigan
49417

ph. 616 846 8990

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Mark A. Oppenhuizen AIA

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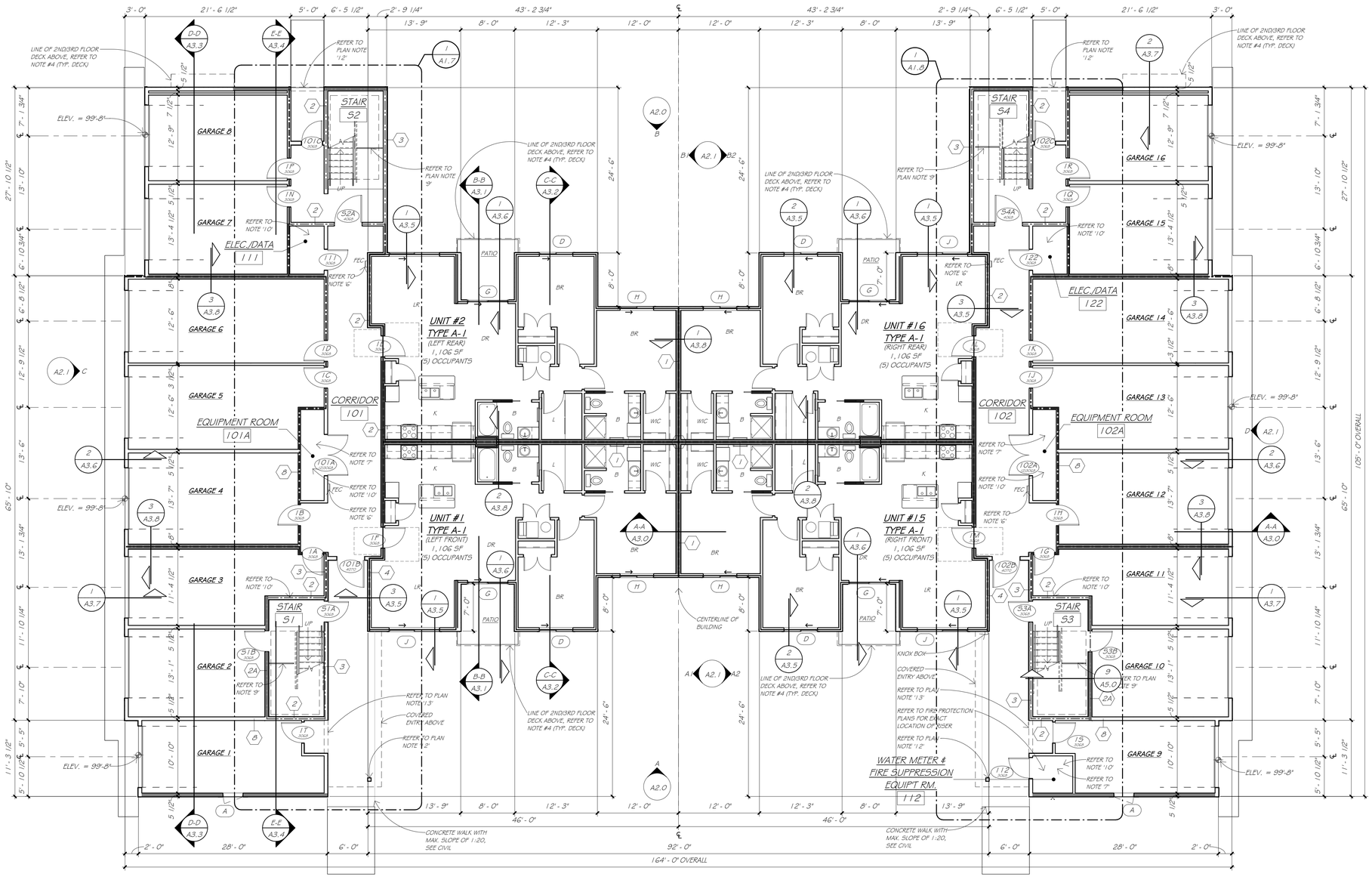

OVERALL BUILDING - FIRST FLOOR PLAN (28 UNIT BUILDING)

SCALE: 1/8" = 1'-0"

PLAN

OVERALL FIRST FLOOR PLAN NOTES

1.) UNIT MIX AT THIS FLOOR
UNIT A (TYPE 'B' ADAPTABLE) - 2BR/1.B (4) TYPE 'B' UNITS
TOTAL FOUR (4) UNITS

2.) BUILDING AREA THIS FLOOR
TOTAL DWELLING UNIT AREA = 4,388 S.F.
TOTAL PUBLIC CORRIDOR AREA = 2,134 S.F.
TOTAL GARAGE AREA = 5,002 S.F.
TOTAL BUILDING AREA = 11,524 S.F.

3.) REFER TO ENLARGED UNIT FLOOR PLANS ON DRAWINGS A1.2-A1.6 FOR UNIT DETAILS, WINDOW/DOOR TYPES AND LOCATIONS.

4.) ALL DIMENSIONS TO FRAMING UNLESS NOTED OTHERWISE

5.) = = = DOTTED LINE INDICATES APPROXIMATE PROFILE OF BULKHEAD ABOVE BELOW CEILING. REFER TO STRUCTURAL FOR BEAM SIZE. MINIMUM HEAD CLEARANCE 7'-6" A.F.F.

6.) AT ENTRY CORRIDOR AND STAIR WALLS THAT ARE COMMON TO RESIDENTIAL UNITS PROVIDE A ONE-HOUR RATED WALL ASSEMBLY THAT COMPLIES WITH UL U344. REFER TO WALL SCHEDULE AND SECTION MATERIAL KEY ON A1.9

7.) FIRE EXTINGUISHER AND CABINET NOTED AS "FEC" - PROVIDE A LARSON CABINET MODEL #2409-SM WITH AN AMEREX 10 LB ABC, 4A:80B:C FIRE EXTINGUISHER, MODEL #B456

8.) SPACE TO BE HEATED W/ ELECTRIC CABINET TYPE-HEATERS - REFER TO ELECTRICAL PLANS.

9.) THE A-1 UNITS ARE TYPE 'B' ACCESSIBLE DWELLING UNIT AS REQUIRED BY SECTION 1107 OF THE 2015 MBC. ON CERTAIN BUILDINGS THE A-1 UNIT IS REPLACED WITH THE A-2 UNIT, THIS IS NOTED ON THE APPLICABLE PLAN SET. THE A-2 UNITS ARE TYPE 'A' ACCESSIBLE DWELLING UNITS AS REQUIRED BY SECTION 1107 OF 2015 MBC.

10.) PROVIDE A 27" HIGH SINGLE LINE GUARDRAIL AT 80" MIN. CLEAR HEIGHT LOCATION.

11.) INSULATE ALL PERIMETERS WALLS W/ R-13 KRAFT FACED BATT INSULATION.

12.) REFER TO FOUNDATION S1.0 AND ENLARGED CORRIDOR PLANS A1.7 AND A1.8 FOR COLUMN LOCATION DIMENSIONS.

13.) BULKHEAD. BOTTOM OF BULKHEAD AT 7'-0" A.F.F. PROVIDE 2x6 KNEE-WALL TYPE FRAMING BELOW STRUCTURAL BEAM DOWN TO SPECIFIED HEIGHT.

WALL KEY

1.) INDICATES FIRE BARRIER WALL LOCATION.

2.) INDICATES FIRE SEPARATED WALL LOCATION.

3.) INDICATES SHEAR WALL LOCATION. - SEE STRUCTURAL DRAWINGS FOR DETAILS.

WALL SCHEDULE

1.) (#) INDICATS WALL TYPE, REFER TO DRAWING A1.9 FOR WALL TYPE DETAILS

NOTE: ARCHITECTURAL FINISHED FLOOR ELEV. = 100'-0". THIS IS NOT NECESSARILY TIED TO THE SITE FINISHED FLOOR ELEVATION.

Ridge 45 - 28 Unit Type 1 Building

Phase 4 Address TBD Traverse City, Michigan

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04/21/23 Progress Set date

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A1.0 sheet

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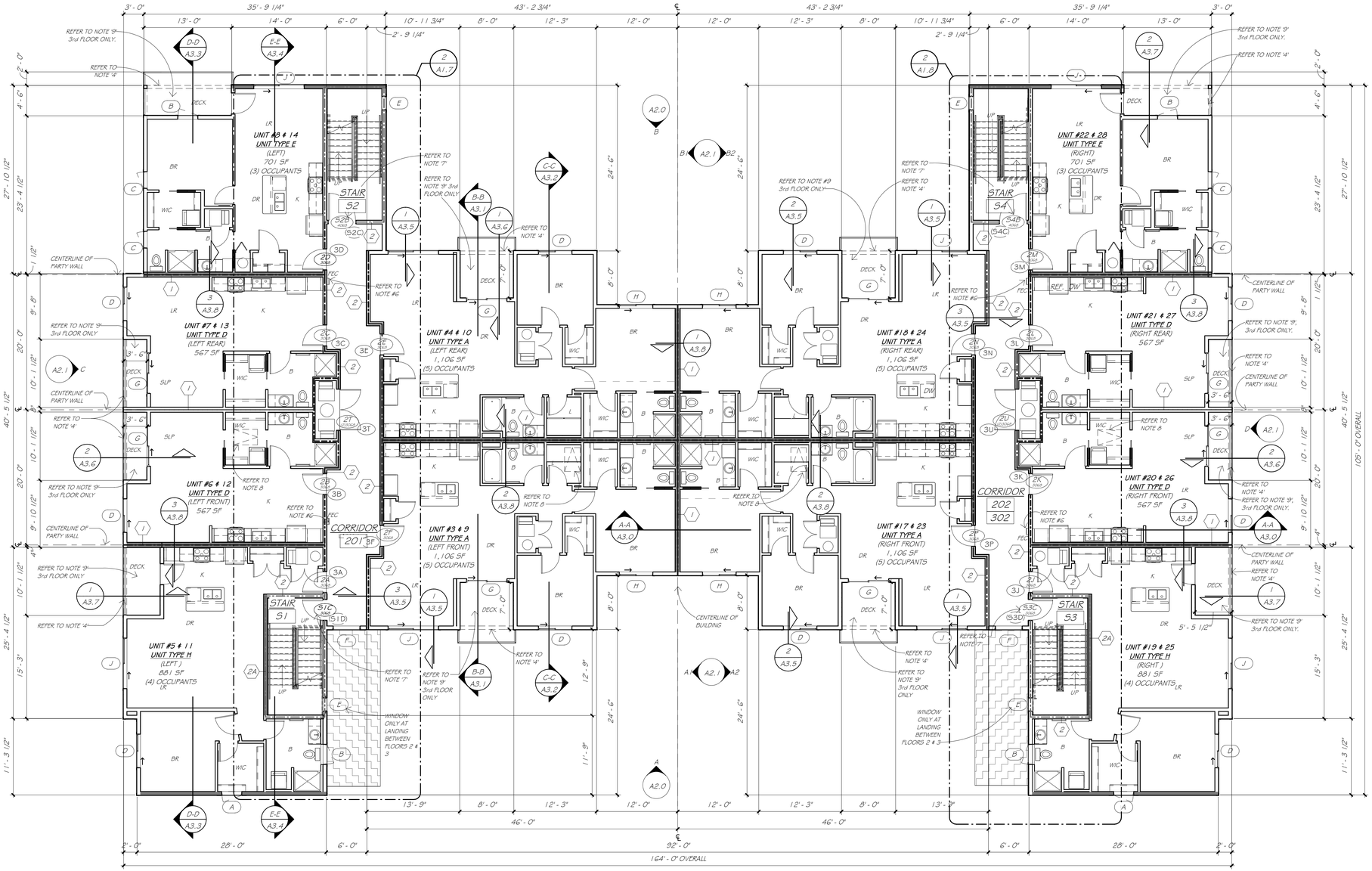

N
PLAN

OVERALL BUILDING - SECOND & THIRD FLOOR PLAN (28 UNIT BUILDING)

SCALE: 1/8" = 1'-0"

OVERALL SECOND AND THIRD FLOOR PLAN NOTES

1.) UNIT MIX AT THIS FLOOR
- UNIT A - 2BR/1B (4) UNITS
- UNIT H - 1BR/1B (2) UNITS
- UNIT D - STUDIO UNITS
- UNIT E - 1BR/1B (2) UNITS
- TOTAL TWELVE (12) UNITS

2.) BUILDING AREA THIS FLOOR
- TOTAL DWELLING UNIT AREA = 9,939 S.F.
- TOTAL PUBLIC CORRIDOR AREA = 1,616 S.F.
- TOTAL DWELLING UNIT DECK AREA = 782 S.F.
- TOTAL BUILDING AREA = 12,101 S.F. 2ND / 3RD

3.) REFER TO ENLARGED UNIT FLOOR PLANS ON DRAWINGS A1.2- A1.6 FOR UNIT DETAILS, WINDOW/DOOR TYPES AND LOCATIONS.

4.) ALL DIMENSIONS TO FRAMING UNLESS NOTED OTHERWISE

5.) = = = DOTTED LINE INDICATES APPROXIMATE PROFILE OF BULKHEAD/DROPPED BEAM, ABOVE BELOW CEILING. REFER TO STRUCTURAL FOR BEAM SIZE. MINIMUM HEAD CLEARANCE 7'-6" A.F.F.

6.) AT ENTRY CORRIDOR AND STAIR WALLS THAT ARE COMMON TO RESIDENTIAL UNITS PROVIDE A ONE-HOUR RATED WALL ASSEMBLY THAT COMPLIES WITH UL U344. REFER TO WALL SCHEDULE AND SECTION MATERIAL KEY ON A1.9

7.) FIRE EXTINGUISHER AND CABINET NOTED AS "FEC" - PROVIDE A LARSON CABINET MODEL #2409-SM WITH AN AMEREX 10 LB ABC, 4A:80B:C FIRE EXTINGUISHER, MODEL #B456

8.) PROVIDE THIS DOOR AT BOTH THE SECOND AND THIRD FLOOR. REFER TO ENLARGED STAIR PLANS ON DRAWINGS A1.7 AND A1.8 AND THE DOOR SCHEDULE FOR ADDITIONAL DETAIL.

9.) • INDICATES LOCATION OF 22"x30" ONE-HOUR RATED ATTIC ACCESS HATCH. MILCOR-UFR OR EQUAL ACCESS PANEL IN CEILING OF THIRD FLOOR (ONLY) UNITS, SEE LOCATIONS ABOVE.

10.) MAINTAIN ONE-HOUR RATED CEILING AT THIRD FLOOR TRUSSES PER DETAIL 1/A3.1 AT THIRD FLOOR BALCONIES OF UNITS A, D, AND E.

WALL KEY

1.) — · — · — INDICATES FIRE BARRIER WALL LOCATION.

2.) — — — — INDICATES FIRE SEPARATED WALL LOCATION.

3.) ▭ INDICATES SHEAR WALL LOCATION. - SEE STRUCTURAL DRAWINGS FOR DETAILS.

WALL SCHEDULE

1.) ⬡ # INDICATS WALL TYPE, REFER TO DRAWING A1.9 FOR WALL TYPE DETAILS

Ridge 45 - 28 Unit Type 1 Building

Phase 4 Address TBD Traverse City, Michigan

WESTWIND

04/21/23 Progress Set date

0823 commission

A1.1 sheet

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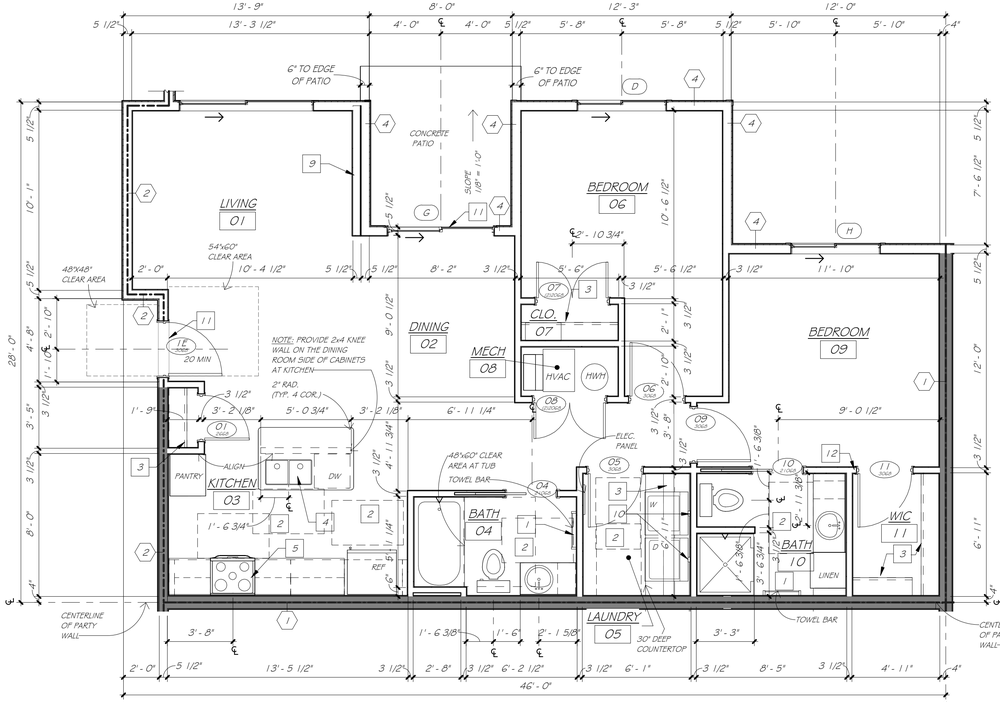
101 Washington Ave #301
Grand Haven
Michigan
49417

ph. 616 846 8990

OppenhuizenArchitects

Mark A. Oppenhuizen AIA

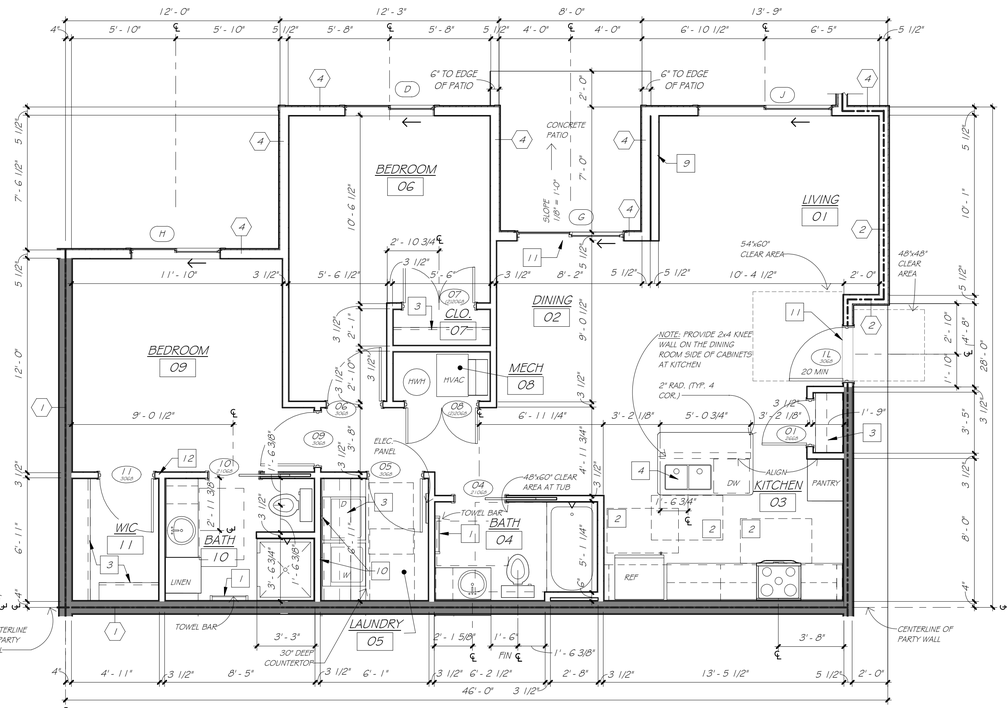
2023-04-21 8:45:22 AM



UNIT A-1 (LEFT REAR) FLOOR PLAN

SCALE: 1/4" = 1'-0"

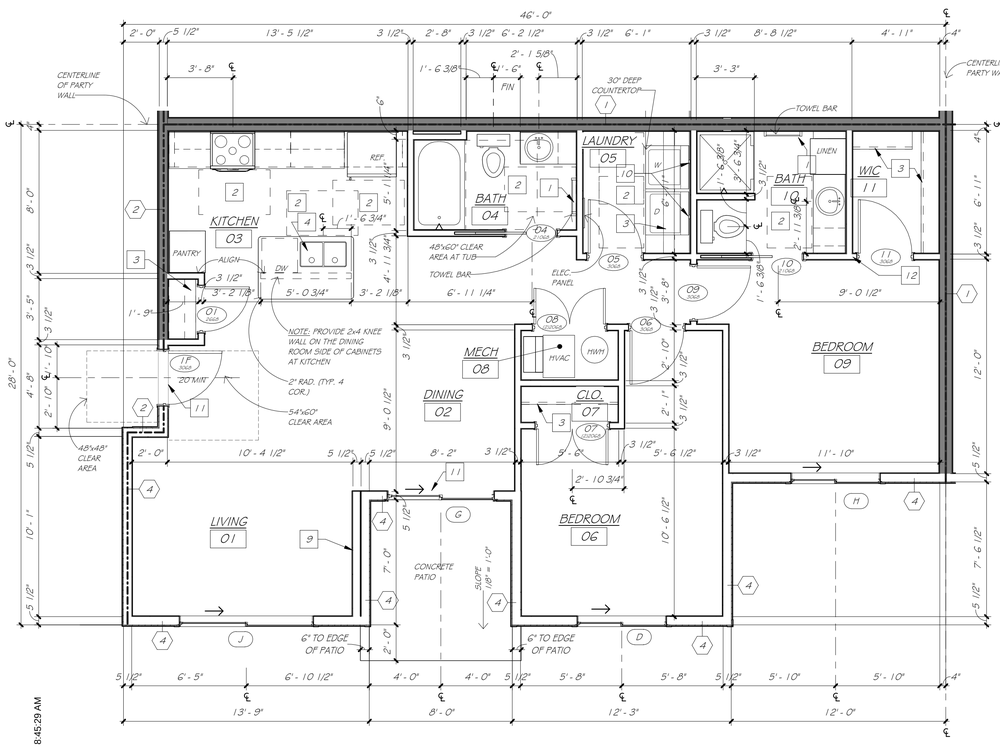
LIVING AREA = 1,106 SQ. FT.
PATIO AREA = 73 SQ. FT.



UNIT A-1 (RIGHT REAR) FLOOR PLAN

SCALE: 1/4" = 1'-0"

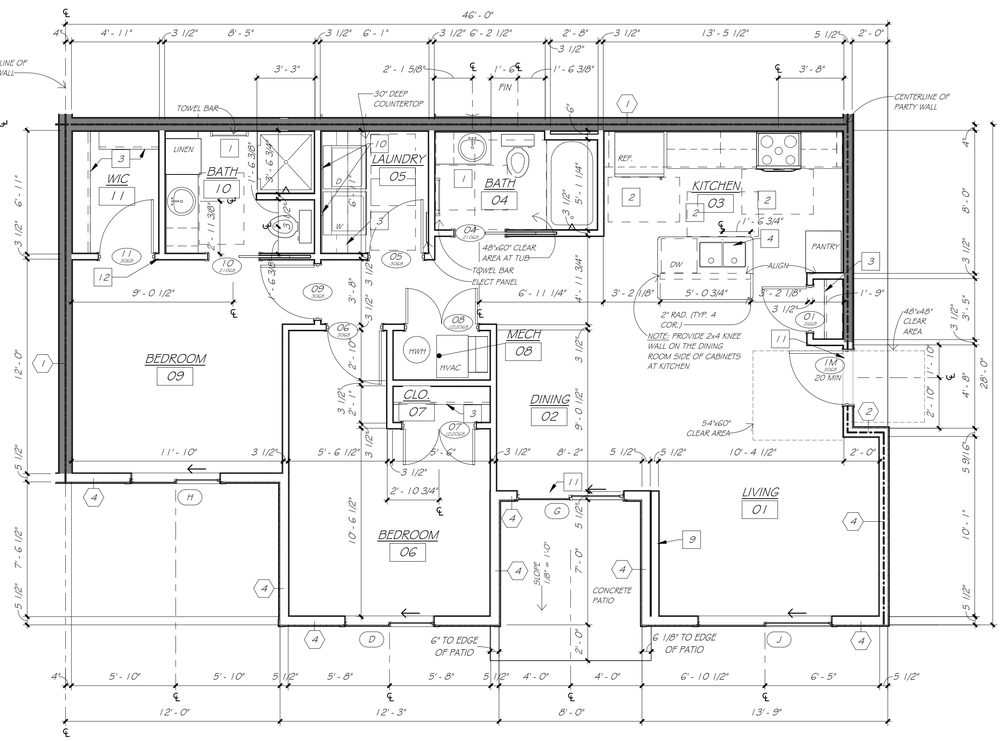
LIVING AREA = 1,106 SQ. FT.
PATIO AREA = 73 SQ. FT.



UNIT A-1 (LEFT FRONT) FLOOR PLAN

SCALE: 1/4" = 1'-0"

LIVING AREA = 1,106 SQ. FT.
PATIO AREA = 73 SQ. FT.



UNIT A-1 (RIGHT FRONT) FLOOR PLAN

SCALE: 1/4" = 1'-0"

LIVING AREA = 1,106 SQ. FT.
PATIO AREA = 73 SQ. FT.

UNIT FLOOR PLAN - KEY NOTES

DESIGNATED WITH A # SYMBOL AND CORRELATING NUMBER:

1. PROVIDE SOLID 2x WOOD BLOCKING FOR ALL BATHROOM ACCESSORIES AND AT DOOR KNOB INTERSECTIONS WITH WALL LOCATIONS. CENTER TOWEL BAR ON WALL OPENINGS
2. TYPICAL CODE REQUIERED CLEAR AREA SHOWN AS REFERENCE (TYP.) CENTER 30"x48" ON EACH FIXTURE / APPLIANCE PER BARRIER FREE CODE REQUIREMENTS.
3. SHELF TYPE, SUPPORTS, AND CLOSET ROD SYSTEM AS SELECTED BY OWNER. PROVIDE 2x BLOCKING IN WALL AS REQUIRED FOR CLOSET SYSTEM INSTALLATION.
4. UNDERMOUNT DOUBLE BOWL STAINLESS STEEL SINK WITH GOOSENECK FAUCET, SEE PLUMBING.
5. MICROWAVE OVEN WITH HOOD/VENT MOUNTED AT UPPER CABINET ABOVE RANGE.
9. 2x6 STUD FRAMING WITH 1/2" GYPSUM BOARD TO MATCH LENGTH OF WALL TO CONCEAL FIRE PROTECTION PIPING.
10. RECESSED WASHER CONNECTION BOX AND RECESSED DRYER VENT BOX
11. PROVIDE ADA COMPLIANT LOW PROFILE THRESHOLD, 1/2" MAX HEIGHT.
12. DOORS POSITIONED AT CORNERS SHOULD BE A MINIMUM OF 3" FROM CORNER. (STUD + LAP STUD DIM.)

WALL KEY

1.) INDICATES FIRE BARRIER WALL LOCATION.
2.) INDICATES FIRE SEPARATED WALL LOCATION.
3.) INDICATES SHEAR WALL LOCATION. - SEE STRUCTURAL DRAWINGS FOR DETAILS.

WALL SCHEDULE

1.) # INDICATS WALL TYPE, REFER TO DRAWING A1.9 FOR WALL TYPE DETAILS

Ridge 45 - 28 Unit Type 1 Building

Phase 4 Address TBD Traverse City, Michigan

WESTWIND

04/21/23 Progress Set date

0823 commission

A1.2 sheet

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OppenhuizenArchitects

Mark A. Oppenhuizen AIA

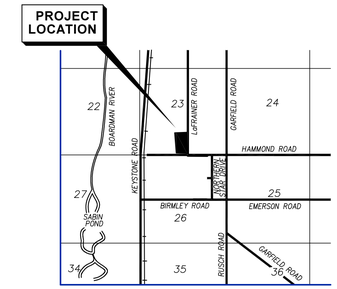
2023-04-21 8:45:29 AM

SPECIAL USE PERMIT AMENDMENT FOR ridge45

MULTI-FAMILY HOUSING DEVELOPMENT

AMENDMENT REQUEST:
THE DEVELOPER OF SOUTH22 IS COMMON TO THE OWNER OF RIDGE45.
THE DEVELOPER IS COMBINING THE DEVELOPMENTS TO ALLOW AMENITIES TO BE SHARED BETWEEN THE TWO DEVELOPMENTS.

THE AMENDMENT IS TO ALLOW THE JOINING AND SHARING OF THE TWO DEVELOPMENTS AND TO ALSO REMOVE THE TYPE C BUFFER REQUIREMENTS THAT IS ALONG THE SHARED PARCEL LINE.



PROJECT LOCATION MAP

PROPERTY OWNER/SITE DATA
Midwest MFD, LLC
1435 Fulton St.
Grand Haven, MI 49417

SITE:
LaFranier Rd.
Parcel ID: 05-023-025-50

Zoning: R-1M

SITE DATA

OVERALL DEVELOPMENT MAP

jozwiak consulting
p.o. box 5342 traverse city, mi 49696 231-218-1201
www.jozwiakconsulting.com

PLAN DATE:
5-24-18 SEWER/WATER/STORM SEWER ERROR CORRECTION
6-25-18 FF RAISED FOR GARAGE SLOPE
7-16-18 STORM DRAIN UPDATES
7-25-18 MULTIPLE PLAN UPDATES
8-23-18 INCLUDE MAINTENANCE BUILDING
9-25-18 SIDEWALK UPDATE
9-28-18 PEDESTRIAN BRIDGE PLAN
5-24-19 SIDEWALK FROM BLDG A AND L
7-22-19 SESC UPDATE
7-16-20 SESC UPDATE
11-12-21 ADMINISTRATIVE REVIEW AND C OF O COMPLIANCE
12-14-21 WEST PROPERTY LINE LANDSCAPE AMENDMENT
4-24-23 WEST PROPERTY LINE LANDSCAPE AMENDMENT

PROJECT: ridge45
AMENDMENT TO SPECIAL USE PERMIT

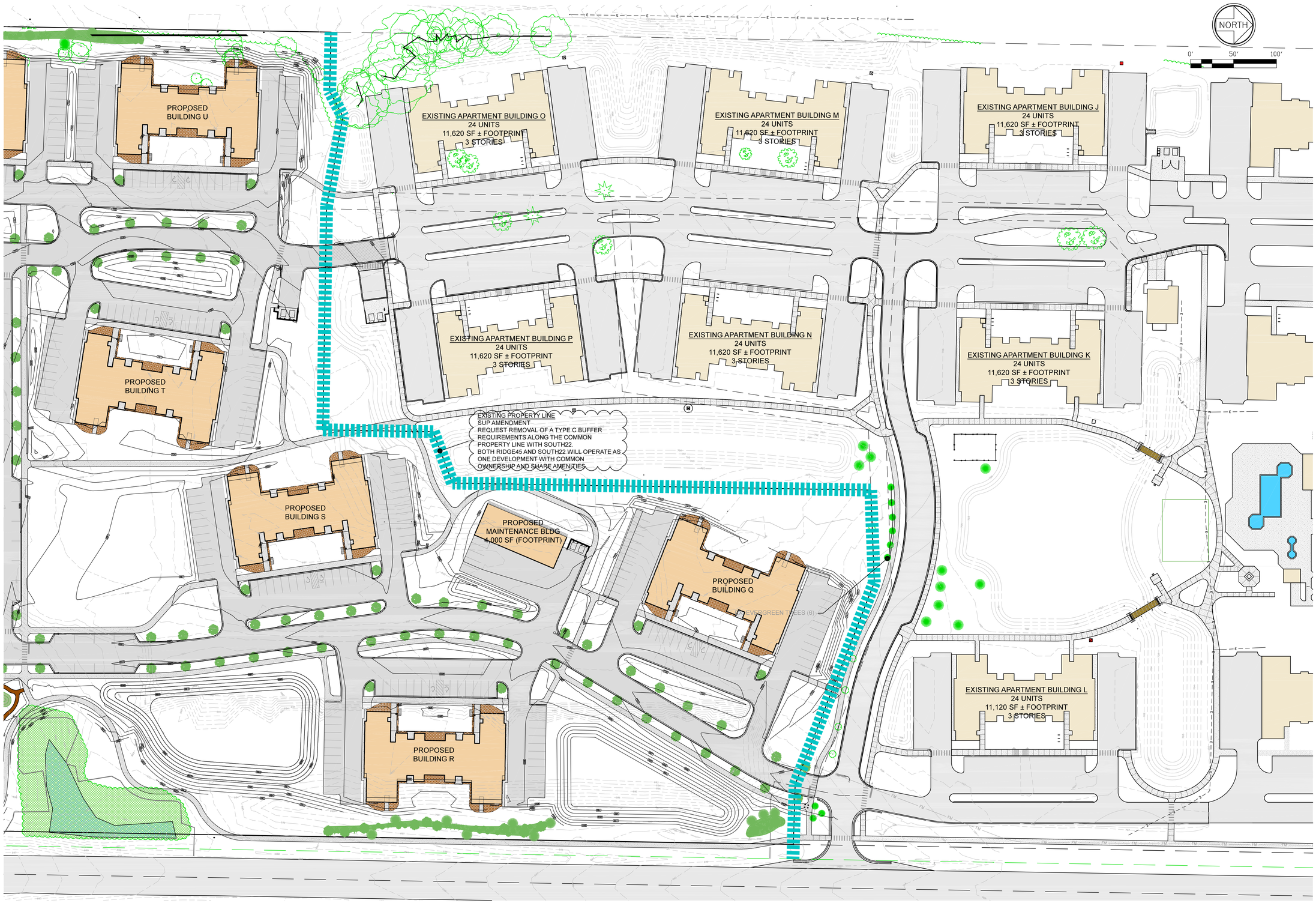
LOCATION:
SECTION 23, T27N - R11W, GARFIELD TWP,
GRAND TRAVERSE COUNTY, MICHIGAN

CLIENT:
MIDWEST MFD, LLC.
1435 FULTON ST.
GRAND HAVEN, MI 49417

PROJECT NO.:
2016-161

GENERAL PLAN INFORMATION

C100



jozwiak consulting
p.o. box 5342 | traverse city, mi 49696 | 231-218-1201
www.jozwiakconsulting.com

PLAN DATE:
6-1-18 STORM SEWER ERROR CORRECTION
10-25-18 FENCE/DOG PARK/RETAINING SLOPE
7-16-18 STORM DRAIN UPDATES
7-26-18 MULTIPLE PLAN UPDATES
8-13-18 SIGNAGE/WINTER PARKING/ BUILDING
9-25-18 SIDEWALK UPDATE
9-28-18 PEDESTRIAN BRIDGE PLAN
7-15-19 SESC UPDATE
7-22-19 ADDITIONAL PARKING FROM BLDG K AND L
7-16-20 SESC UPDATE
10-14-20 AMENDMENT TO REVIEW AND C OF O COMPLIANCE
11-14-21 WEST PROPERTY LINE LANDSCAPE AMENDMENT
4-24-23 WEST PROPERTY LINE LANDSCAPE AMENDMENT

PROJECT:
ridge45
AMENDMENT TO SPECIAL USE PERMIT

LOCATION:
SECTION 23, T27N - R11W, GARFIELD TWP,
GRAND TRAVERSE COUNTY, MICHIGAN

CLIENT:
MIDWEST MFD, LLC.
1435 FULTON ST.
GRAND HAVEN, MI 49417

PROJECT NO.:
2016-161

2023
AMENDMENT
EXHIBIT

C704

Charter Township of Garfield
Planning Department Report No. 2023-57

Prepared:	May 4, 2023	Pages:	2
Meeting:	May 10, 2023 Planning Commission	Attachments:	☒
Subject:	Nicolet Bank Landscaping – Site Plan Review		
Applicant:	Emily LaChapelle		
Owner:	Nicolet National Bank		
File No.	SPR-2023-05		
Parcel No.	05-021-053-00		

PURPOSE OF APPLICATION:
This application requests site plan review of a proposed updated landscaping plan for the Nicolet Bank at 3530 North Country Drive, on the west side of US 31 near the intersection with Hartman Road. The site is 5.11 acres, zoned C-H Highway Commercial, and has future land use designations of Commercial and Agricultural / Rural Land.

BACKGROUND:
In August 2022, the property owners received a Letter of Information regarding a violation on this site for the removal of landscape buffer required by the Township as a condition of site plan approval. The site plan was originally approved in 1997, and the site plan noted that "existing vegetation in this area must be preserved to meet the buffer requirements as described in the Zoning Ordinance."

Aerial view of subject site (north facing up) with property lines highlighted in blue

To remedy this situation, the applicants submitted a landscaping plan to replant the area of the site where the previous vegetation was removed. No other changes to the site plan are proposed.

SITE PLAN REVIEW CRITERIA:

According to Section 424.F. (1) (Standards for Approval, Site Plan or Site Development) of the Zoning Ordinance, "an administrative site plan or site development plan shall conform to all provisions of this ordinance and to the following site development standards which shall be reflected on the plan." As this application is only for altering the landscaping and no other changes to the site plan are proposed, the site development standards within Section 424.F are largely not impacted by this proposal. The site plan still "shall conform to all provisions of this ordinance" including landscaping standards of Article 5, Sections 530-534. Staff comments on landscaping are as follows:

- The landscaping removed encompasses about 220 linear feet along the US 31 frontage. With US 31 being a state highway, the site is required to have a Type 'D' buffer including 4 large trees, 3 medium/small trees, and 3 evergreen/coniferous trees per 100 linear feet.
- With 220 linear feet of frontage, 9 large trees, 7 medium/small trees, and 7 evergreen/coniferous trees are required.
- The proposed landscaping plan shows 9 large trees (7 American Beech, 2 Black Gum), 7 medium / small trees (Amelanchier, Allegheny), and 7 evergreen / coniferous trees (Cedar).
- Minimum planting size standards of Table 530.F., including a 2-inch caliper for canopy trees and 6 feet height for evergreen trees, appear to be met.
- Most proposed species are listed as native species in the ISN Planting Guidelines, except for the Black Gum. Correspondence from the Grand Traverse Conservation District indicates that this is an acceptable species to plant.

RECOMMENDATION:

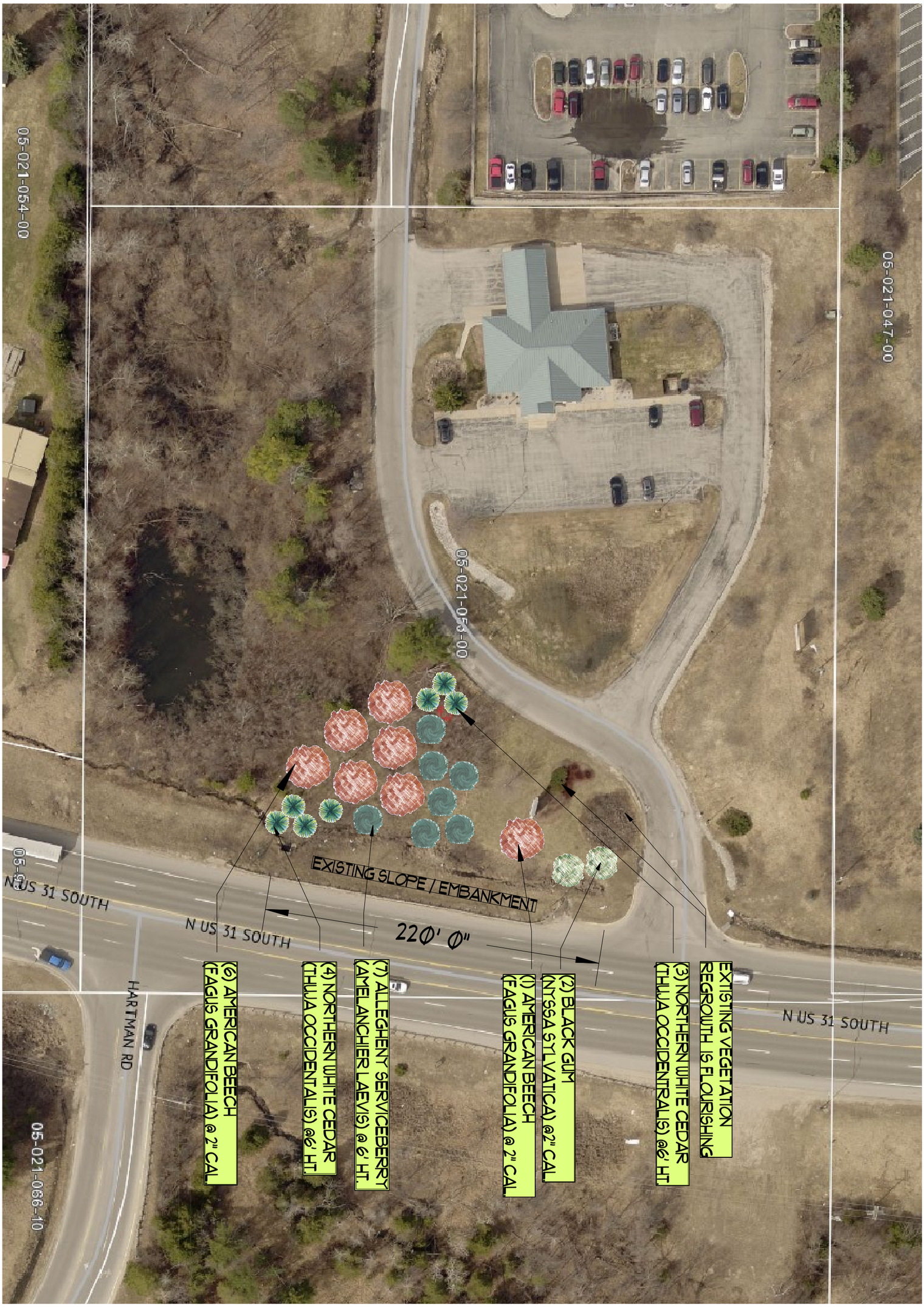
If the Planning Commission finds the proposed updated landscaping plan submitted with this application to be acceptable, then the following motion is recommended:

> MOTION THAT application SPR-2023-05, submitted by Nicolet National Bank for an updated landscaping plan on Parcel #05-021-053-00 located at 3530 North Country Drive, BE APPROVED.

Additional information deemed necessary by the Planning Commission should be added to this motion.

***Attachments*:**

1. Proposed landscaping plan dated May 4, 2023.



NORTH

Revision #: 00	Scale:	Landscape Plan: 3530 N COUNTRY DR	Landscape Design by: KAT
Date: 5/4/2023	1" = 60'	NICOLET BANK	FLASKA LANDSCAPING

FLASKA LANDSCAPING 231-590-3734