

CHARTER TOWNSHIP OF GARFIELD PLANNING COMMISSION MEETING

Wednesday, July 13, 2022 at 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

A G E N D A

ORDER OF BUSINESS

Call meeting to order

Pledge of Allegiance

Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. Review and Approval of the Agenda – Conflict of Interest

3. Minutes – June 22, 2022

4. Correspondence

5. Reports

- a. Township Board
- b. Planning Commissioners
- c. Staff Report

6. Unfinished Business

- a. PD 2022-62 – Hammond Road Apartments R-3 Rezoning – Public Hearing

7. New Business

- a. PD 2022-61 – 7 Brew 2537 North US 31 – Special Use Permit – Introduction
- b. PD 2022-60 – 7 Brew Cherryland Center – Site Plan Review
- c. PD 2022-63 – Kensington Park PURD – Major Amendment – Introduction
- d. PD 2022-64 – Fairfield Inn – Site Plan Review Amendment
- e. PD 2022-65 – Proposed Zoning Ordinance Amendments – Introduction

8. Public Comment

9. Other Business

10. Items for Next Agenda – July 27, 2022

- a. Master Plan Update – Future Land Use and Infrastructure

11. Adjournment

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
June 22, 2022**

Call Meeting to Order: Chair Racine called the June 22, 2022 Planning Commission meeting to order at 7:00pm at the Garfield Township Hall.

Pledge of Allegiance

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Molly Agostinelli, Joe Robertson, Pat Cline, Robert Fudge and John Racine

Absent and Excused: Joe McManus, Chris DeGood

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:01)

None

2. Review and Approval of the Agenda – Conflict of Interest (7:01)

Agostinelli moved and Fudge seconded to approve the agenda as presented.

Yeas: Agostinelli, Fudge, Robertson, Cline, Racine

Nays: None

4. Minutes (7:02)

a. June 8, 2022 Regular Meeting

Fudge moved and Robertson seconded to approve the June 8, 2022 Regular Meeting minutes as presented.

Yeas: Fudge, Robertson, Cline, Agostinelli, Racine

Nays: None

4. Correspondence (7:03)

Sych stated that a notice of intent to plan was received from both Green Lake Township and the City of Traverse City. Communication regarding PD 2022-56 was also included in commissioner correspondence.

5. Reports (7:04)

Township Board Report

Agostinelli reported that the Board tabled the proposed transitional housing ordinance, and a solar farm may be proposed on Keystone and Hoch Roads. Staff stated that any proposed solar farm would need a township Special Use Permit.

Planning Commissioners

No reports

Staff Report

Sych said that the Board approved the questionnaire for the Master Plan survey and it will be sent out soon to randomly chosen residents of the township.

6. Unfinished Business**a. PD 2022-56 – Zoning Ordinance Amendments – Update (7:06)**

The Planning Commission has been reviewing changes and updates to the Zoning Ordinance which include clarifying wetland regulations, providing for changeable copy signs in industrial districts, and updating drive-through requirements. Staff offered comments on the proposed updates and also offered comments on additional potential Zoning Ordinance changes which included requirements for dumpster enclosures and regulations of Section 611, Accessory Uses and Structures. The proposed change to Section 611 would change to the amount of separation between structures to just three (3) feet in certain zoning districts. Hannon asked commissioners for feedback on the proposed changes. Commissioners discussed the proposed changes and decided to delete chain link fencing from the requirements altogether for dumpster enclosures. Commissioners also discussed changeable sign copy luminance requirements and snow storage requirements. Staff will review the snow storage requirements to pursue alternate options to the required amount of square footage in a parking lot and introduce the changes proposed as a Zoning Ordinance Text Amendment at the July 13, 2022 meeting.

7. New Business**a. Master Plan Update – Existing Land Use Analysis (7:35)**

Hannon presented a rough draft of existing land uses in the township at this time. He presented statistics on the percentage of each use in the township. Single Family Residential, Agricultural and Vacant/Unbuilt were the top three existing land uses found in the township. Approved multi-family projects are included in vacant/unbuilt at this time so the percentage will eventually change as projects are completed. Commissioners discussed conservation easements, road right of way easements and anticipatory building being added to the pie chart. Commissioners can use this information to make future growth decisions and guide development in the township.

b. Master Plan Update – Potential Focus Areas/Corridors (7:51)

Subarea planning is mentioned in the current Master Plan. Sych talked about nodes, neighborhoods and corridors and explained the differences for planning purposes. Commissioners went through the list provided and

offered suggestions for focus areas in neighborhoods, nodes and corridors as presented. Utilities and potential development were discussed within these areas. Frontage roads and cross access easements were talked about for the McRae Hill/US 31 area and commissioners agreed that managing accesses in this area will be important as development continues. Sych also discussed the Master Plan Policy for neighborhoods, nodes and corridors. Commissioners discussed zoning in neighboring municipalities which may drive types of development along the borders of the townships.

8. Public Comment (8:41)

None

9. Other Business: (8:41)

None

10. Items for Next Agenda – July 13, 2022 (8:42)

- a. Hammond Road Apartments R-3 Rezoning – Public Hearing
- b. 7 Brew US 31 – Special Use Permit – Introduction
- c. 7 Brew Cherryland Center – Site Plan Review
- d. Kensington Park PURD – Major Amendment – Introduction
- e. Fairfield Inn – Site Plan Review Amendment

Sych discussed the business for the next agenda.

11. Adjournment

Fudge moved to adjourn the meeting at 8:52pm.

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684



4.

RECEIVED
JUN 27 2022
PLANNING

June 23, 2022

To Whom it May Concern,

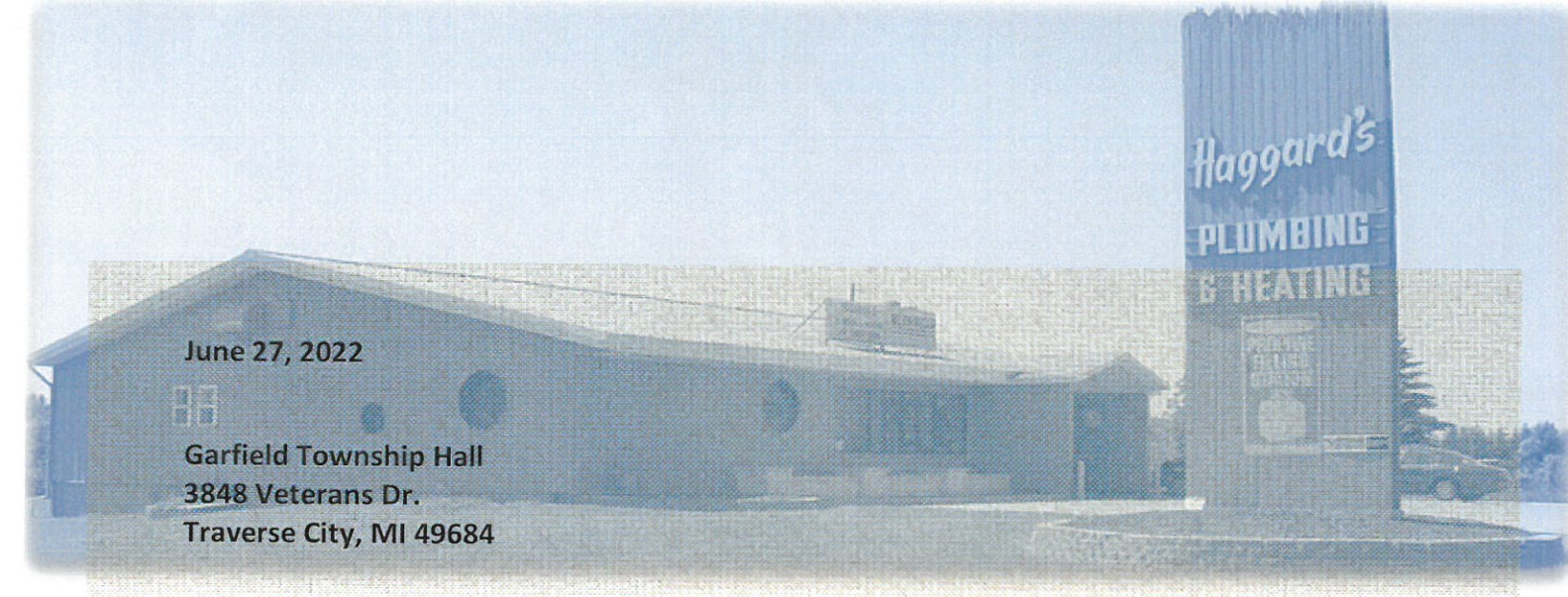
Pursuant to the requirements of the Michigan Planning Enabling Act (PA 33 of 2008, as amended), this notification is to inform you that the Draft East Bay Charter Township Master Plan is available for review and comment through September 1, 2022. On June 13, 2022, the East Bay Township Board approved the draft plan for public review and comment. The Planning Commission will be holding a public hearing in September.

The draft plan is available for review on the Township's Website: www.eastbaytp.org. You may also review a copy of the draft plan at the East Bay Township Hall: 1965 N. Three Mile Road, Traverse City, MI 49696.

Please submit comments to Claire Karner at ckarner@eastbaytp.org or at the Township mailing address listed above. If you would like to receive any future notices regarding the Township's Master Plan electronically, please e-mail your request along with your e-mail address to Claire Karner at ckarner@eastbaytp.org.

Sincerely,

Claire Karner, AICP
Director of Planning & Zoning



June 27, 2022

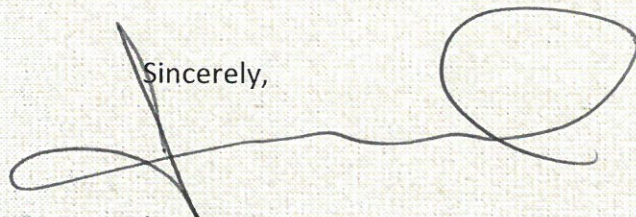
Garfield Township Hall
3848 Veterans Dr.
Traverse City, MI 49684

Ref: Application from Outlook Development, LLC to rezone land northwest of the intersection of Garfield and Hammond Rd. Parcel#05-023-042-50 & Parcel#05-023-042-60

To whom it May Concerns,


Upon reviewing the above notice, I would like to express my view on the above plan request. Haggard's Plumbing & Heating is not opposed to the changes of the property and/or the request to the Zoning Board. If a property owner is fortunate enough to have the ability and the recourses in this time to either build and/or improve their existing property, it would only help the economy continue to grow. It would prove positive for the local, county, and state to do all we can to improve and promote in anyways possible.

Sincerely,



John Haggard

Haggard's Plumbing & Heating

 Charter Township of Garfield Planning Department Report No. 2022-62			
Prepared:	July 6, 2022	Pages:	6
Meeting:	July 13, 2022 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Hammond Road Apartments R-3 Rezoning – Public Hearing		
File No:	Z-2022-02	Parcel No.	05-023-042-01
Owner / Applicant:	Louis LaFranier Trust & Marvel LaFranier Trust / Outlook Development LLC		

PURPOSE OF APPLICATION:

This application requests the rezoning of land at the northwest of the intersection of Garfield and Hammond Roads, totaling 23.86 acres, from its current zoning of A-Agricultural to the R-3 Multi-Family Residential zoning district via the zoning Map Amendment process, without restriction. The land is further described as the remainder of 05-023-042-01. Previously portions of 05-023-042-01 were approved as a Planned Unit Development (PUD) for the BATA/Traverse City Housing Commission Transit-Oriented Mixed-Use Development.

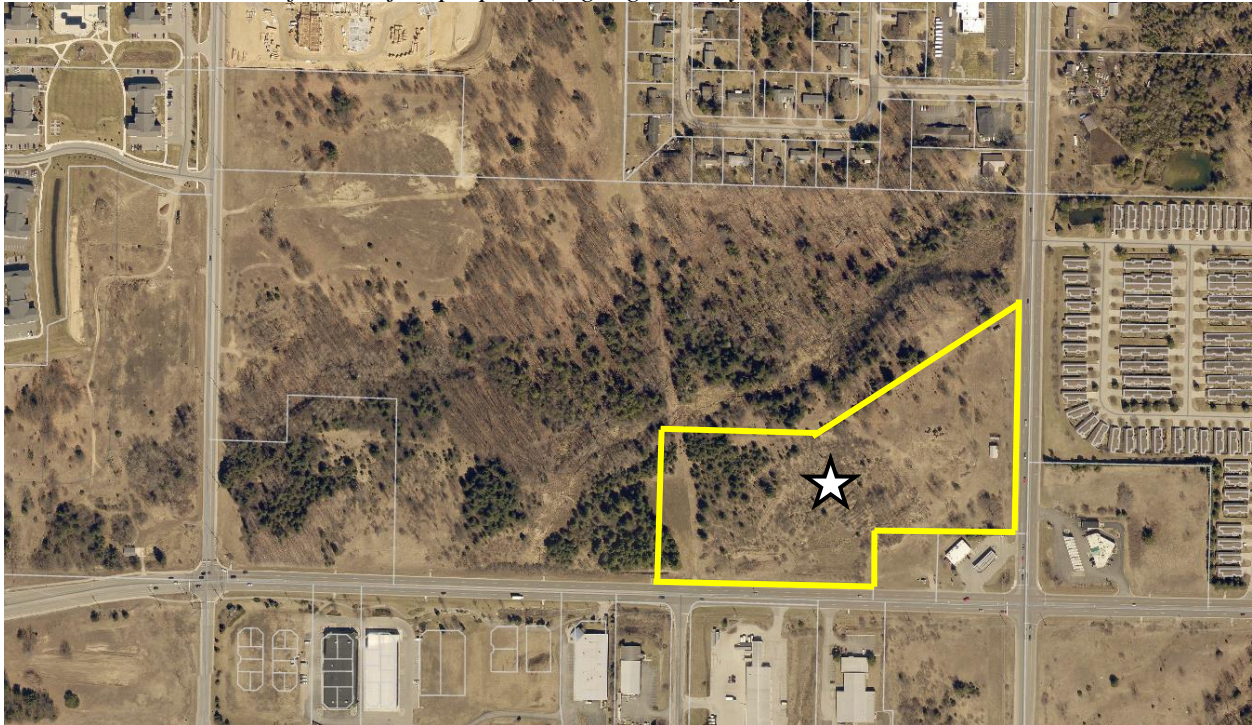
SUBJECT PROPERTY:

Historically, the subject property has been used for agricultural purposes. More recently, the property has not been actively farmed. There are extensive wetlands on the north and west sides of the property.

Zoomed-out aerial view of the subject property (highlighted in yellow)



Zoomed-in aerial view of the subject property (highlighted in yellow)



MASTER PLAN CONSIDERATIONS:

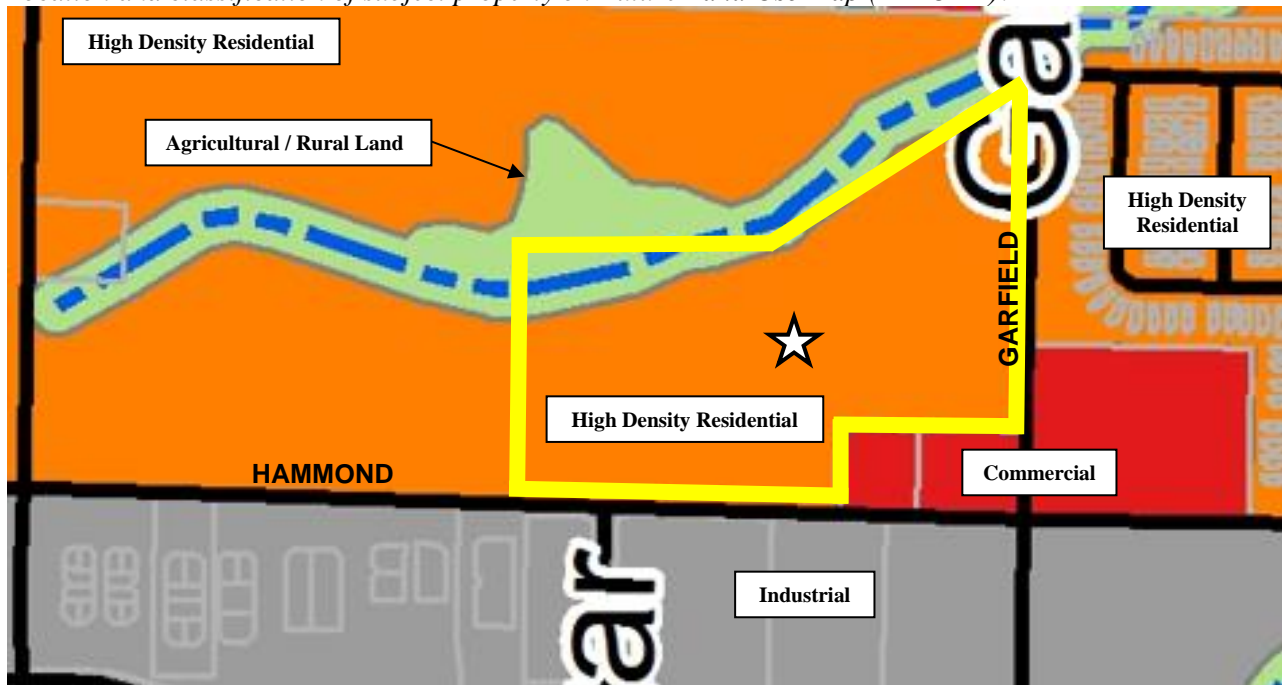
A key factor in considering rezoning requests is whether the request is consistent with the Master Plan. In this case, the Future Land Use Map shows the subject parcel with the designation of “High Density Residential.” This designation is intended to “provide areas for medium- to high-density single and two-family residential dwelling units mixed with a variety of multi-family residential dwelling types, including apartments where adequate public facilities and services exist with capacity to serve such development.” Furthermore, the designation is “intended to encourage more intensive development in and near the core areas of the Township.”

Looking at surrounding properties shows the following Future Land Use designations:

- High Density Residential to the north along Garfield Road
- High Density Residential to the west along Hammond Road
- Agricultural / Rural Land is along the creek/wetland area along the north and west edges of the site
- Commercial at the immediate northwest corner of Garfield and Hammond Roads
- Industrial to the south across Hammond Road
- Commercial and High Density Residential to the east across Garfield Road

The most compatible zoning district for the “High Density Residential” designation is the R-3 Multi-Family Residential zoning district. R-R Rural Residential and R-1 One-Family Residential are both identified as potentially compatible districts. The proposed zoning of R-3 Multi-Family Residential is compatible with the Future Land Use for the subject site. An excerpt from the Zoning Plan for the R-3 zoning designation is provided below.

Location and classification of subject property on Future Land Use Map (“FLUM”):



Excerpt from Zoning Plan matching proposed R-3 zoning for the subject property:

Master Plan Designation	High Density Residential (6-10 units per acre)
[Requested] Zoning	R-3 Multi-Family Residential
Zoning Ordinance District Intent	The R-3 (Multi-Family Residential) districts provide areas for medium- to high-density single- and two-family residential dwelling units mixed with a variety of multi-family residential dwelling types, including apartments where adequate public facilities and services exist with capacity to serve such development. The districts are composed mainly of areas containing an existing mix of these dwelling types as well as areas within which such development appears likely and desirable. They are intended to encourage more intensive development in and near the core areas of the Township. The R-3 districts are designed to encourage a suitable neighborhood environment for family life by including among the permitted uses such facilities as schools, places of worship and parks that will promote a sense of community, urban vitality and the efficient provision of infrastructure. R-3 district regulations are designed to allow for market and design flexibility while preserving the neighborhood character and permitting applicants to cluster development in order to preserve environmentally sensitive and natural land areas.
Potentially Compatible District	R-2 Two-Family Residential / R-1 One-Family Residential
Considerations for Downzoning (Less Density)	Allowing a downzoning in designated redevelopment areas may be detrimental to the overall redevelopment plan. In some cases, however, when platted subdivisions are in play, a downzoning may accelerate the redevelopment process. Areas designated as R-3 are typically located close to the City core and amenities. The R-3 district is consistent with the High Density Residential Zoning classification; however, where platted subdivisions are prevalent, an R-1 or R-2 designation may be more appropriate and compatible.
Considerations for Upzoning (More Density)	The R-3 district allows the greatest density possible.

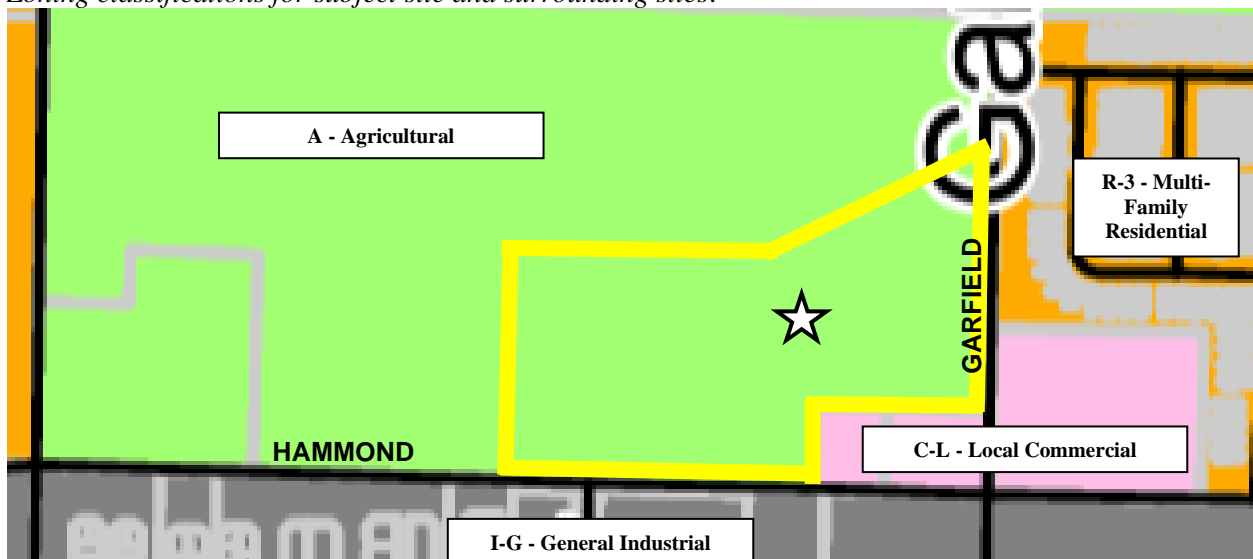
The Future Land Use Map designation for the site is High Density Residential (6-10 units per acre) and the proposed R-3 Multi-Family Residential zoning district is considered the most compatible zoning district for this designation.

ZONING FOR SUBJECT SITE AND SURROUNDING SITES:

The subject property is currently zoned A-Agricultural (shown below in green). Zoning for surrounding sites is as follows:

- North: A – Agricultural
- West: A – Agricultural
- Southeast: C-L – Local Commercial (at northwest corner of Garfield and Hammond Roads)
- South: I-G – General Industrial
- East: R-3 – Multi-Family Residential

Zoning classifications for subject site and surrounding sites:



USES OF SUBJECT SITE AND SURROUNDING SITES:

The subject property has historically been used by the LaFrancier family for agricultural use and has more recently been fallow. Uses of the surrounding sites are as follows:

- North: Undeveloped/wetland
- West: Undeveloped/wetland (approved for BATA/TCHC PUD)
- Southeast: Marathon gasoline service station/undeveloped (at northwest corner of Garfield and Hammond Roads)
- South: Industrial, including UPS
- East: Shell gasoline service station/Hammond Place condominiums

PRELIMINARY APPROVAL CRITERIA DISCUSSION:

To focus the discussion on the factors relevant to approving a Map Amendment, the following approval criteria are included below for reference:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E (1) Master Plan Consistency through § 421.E (8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:

1. Master Plan Consistency

According to the Master Plan, the Future Land Use designation of the subject site is High Density Residential (6-10 units per acre). The proposed zoning of R-3 Multi-Family Residential would be compatible with the Future Land Use designation for the subject parcel. The Master Plan also offers other points to consider including the following:

- The Master Plan includes a goal to encourage housing options near jobs, services, shopping, and entertainment. This site could offer such opportunity as water and sewer service is available.
- The Master Plan implementation goals also indicate the desire to provide for housing types which are in demand in the Township and to encourage mixing residential and commercial uses where compatible.

2. Adverse Impacts on Neighboring Lands

The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Multi-family residential provides an acceptable transitional land use from the commercial uses at the intersection of Hammond and Garfield Roads and the industrial uses south of Hammond Road to the single-family residential in the Carriage Hill subdivision to the north. The adjacent land to the north and west which was recently approved for the BATA/Traverse City Housing Commission Transit-Oriented Mixed-Use Development. The development includes a significant amount of multi-family residential.

3. Suitability as Presently Zoned

The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. The site is currently zoned A-Agricultural. Given the small area of the subject site and the noticeable amount of development in its vicinity, this site is unlikely to be used for farmland or farming operations.

4. Changed Conditions

Any changes in conditions since the adoption of the zoning ordinance shall be considered as part of this rezoning request. Recently, multi-family developments, including the BATA/Traverse City Housing Commission Transit-Oriented Mixed-Use Development and Village of LaFranier Woods, were approved on nearby properties that implement the Future Land Use designation for multi-family residential in this area.

5. Health, Safety, and Welfare

Commissioners shall consider the application as it relates to public health, safety, and general welfare, and how the proposal may affect nearby historical and cultural places and areas. Any future development will require stormwater management and setback requirements to protect the water quality of the adjacent wetlands. There does not appear to be any nearby historical or cultural places or areas.

6. Public Policy

Certain public policies in favor of the rezoning may be considered. The Master Plan includes several policies, including the following, which encourage different types of housing in the Township:

- The Master Plan includes a goal to encourage housing options near jobs, services, shopping, and entertainment. This site could offer such opportunity and serve as a buffer area between the commercial and industrial to the south and the residential to the north.
- The Master Plan implementation goals also indicate the desire to provide for housing types which are in demand in the Township and to encourage mixing residential and commercial uses where compatible.
- Access will be managed by the Access Management requirements of the Zoning Ordinance which will limit driveways for the subject site to one on Garfield Road and one on Hammond Road regardless of property being divided.

7. Size of Tract

The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. The parcel is about 24 acres. The site has about 762 feet of frontage along Garfield Road and about 1,007 feet of frontage on Hammond Road. Any parceling of this land should be able to meet the minimum standards in the R-3 zoning district.

8. Other Factors

Any other factors relevant to this application under state law may be considered by Commissioners as part of this rezoning request.

ACTION REQUESTED:

The item is placed on tonight's agenda to hold a public hearing on the rezoning application. If, following the public hearing, the Planning Commission is prepared to direct Staff to draft Findings of Fact for the application, then the following motion is suggested:

MOTION TO direct Staff to draft Findings of Fact for application Z-2022-02.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

1. Application for Zoning Ordinance Map Amendment dated May 4, 2022, including the following:
 - a. Boundary Survey of Subject Site
 - b. Impact Statement for Zoning Ordinance Map Amendment



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

ZONING ORDINANCE AMENDMENT (ZOA) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- Map Amendment (Rezoning)
- Text Amendment
- Conditional Rezoning

PROJECT / DEVELOPMENT NAME

HAMMOND ROAD APARTMENTS

APPLICANT INFORMATION

Name: OUTLOOK DEVELOPMENT LLC
Address: 4835 Towne Centre Road, Saginaw, MI 48605
Phone Number: (989) 921-9706
Email: brian@wolgast.com

AGENT INFORMATION

Name: Brian Stadler
Address: 7551 Geddes Road, Saginaw, MI 48609
Phone Number: (989) 233-4656
Email: brian@wolgast.com

OWNER INFORMATION

Name: Louis LaFranier Trust & Marvel LaFranier Trust
Address: 15532 Bluff Road, Traverse City, MI 49686
Phone Number: (231) 250-1896
Email: Dixier@charter.net

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

<i>Applicant:</i>	Outlook Development, LLC
<i>Agent:</i>	Brian Stadler
<i>Owner:</i>	Louis LaFranier Trust & Marvel LaFranier Trus

PROPERTY INFORMATION

<i>Property Address:</i>	TBD HAMMOND ROAD W, & GARFIELD ROAD
<i>Property Identification Number:</i>	05-023-042-01
<i>Legal Description:</i>	See Exhibit A
<i>Zoning District:</i>	Agg
<i>Master Plan Future Land Use Designation:</i>	R-3
<i>Area of Property (acres or square feet):</i>	77
<i>Existing Use(s):</i>	Vacant
<i>Proposed Use(s):</i>	R-3

REQUIRED SUBMITTAL ITEMS

A complete application for a Zoning Ordinance Amendment consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

For Map (Rezoning) Amendment only, the following must be included:

Site Diagram

- Ten complete stapled 11"x17" paper sets
- One digital set (PDF) only

Supporting Information

- Ten paper copies of the Impact Statement for Map (Rezoning) Amendment
- One digital copy of the Impact Statement for Map (Rezoning) Amendment (PDP only)

For Text Amendment only, the following must be included:

- Ten paper copies of the Impact Statement for Text Amendment
- One digital copy of the Impact Statement for Text Amendment (PDF only)

For Conditional Rezoning only, the following must be included:

Site Development Plan

- Ten complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Supporting Information

- Ten paper copies of the Impact Statement for Conditional Rezoning
- One digital copy of the Impact Statement for Conditional Rezoning (PDF only)
- Ten paper copies of the Offer of Conditions for Conditional Rezoning
- One digital copy of the Offer of Conditions for Conditional Rezoning (PDF only)

Digital items to be delivered via email or USB flash drive

IMPACT STATEMENT FOR ZONING ORDINANCE MAP AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.
6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no

intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

IMPACT STATEMENT FOR ZONING ORDINANCE TEXT AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. A text amendment should be consistent with the intent and purpose of the adopted master plan.
2. Changed Conditions. The Township shall consider whether any conditions have changed since the zoning ordinance was adopted that might justify the amendment.
3. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas.
4. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
5. Other Factors. The Township may consider any other factors relevant to a zoning text amendment application under state law.

IMPACT STATEMENT FOR CONDITIONAL REZONING

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.
8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

OFFER OF CONDITIONS FOR CONDITIONAL REZONING

A written offer of Conditions as described in § 422.B(3) of the Zoning Ordinance. An owner of land may voluntarily offer, in writing, conditions relating to the use and/or development of land for which a rezoning is requested.

1. The owner's offer of conditions may not purport to authorize uses or developments not permitted in the requested new zoning district.
2. The owner's offer of conditions shall bear a reasonable and rational relationship to the property for which rezoning is requested.
3. Any use or development, proposed as part of an offer of conditions that would require a special land use permit under the terms of this ordinance, may only be commenced if a special land use permit for such use or development is ultimately granted in accordance with the provisions of this ordinance.
4. Any use or development, proposed as part of an offer of conditions that would require a variance under the terms of this ordinance, may only be commenced if a variance for such development is ultimately granted by the Zoning Board of Appeals in accordance with the provisions of this ordinance.
5. Any use or development, proposed as part of an offer of conditions that would require site plan approval under the terms of this ordinance, may only be commenced if site plan approval for such use or development is ultimately granted in accordance with the provisions of this ordinance.
6. The offer of conditions may be amended during the process of rezoning consideration, provided that any amended or additional conditions are entered voluntarily by the owner.

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>			
If yes, show on plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

If so, attach approval letter.

If no, are alternate measures shown?

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

- 1. Are interior public streets proposed?
 If yes, has Road Commission approved (attach letter)?
- 2. Will public streets connect to adjoining properties or future streets?
- 3. Are private roads or interior drives proposed?
- 4. Will private drives connect to adjoining properties service roads?
- 5. Has the Road Commission or MDOT approved curb cuts?
 If yes, attach approved permit.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- 1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- 2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- 3. Following the public hearing, the Planning Commission will make a recommendation on the application to the Township Board.
- 4. Prior to making a decision, the Township Board will hold a second public hearing on the application. Following the public hearing, the Township Board will make a decision to approve or deny the application.
- 5. If a Conditional Rezoning is approved or approved with conditions, the decision of the Township Board shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY



Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date:

	
5.7.2022	

OWNER'S AUTHORIZATION





If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Dixie Roethlisberger on TTEE authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature: 
Date: 

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature: 
Date: 
Applicant Signature: 
Date: 

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A. Basic Information		
1. Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>
3. Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>
7. A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>
9. Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>
2. Boundary dimensions of natural features		<input type="checkbox"/>
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>
4. Proposed alterations to topography and other natural features		<input type="checkbox"/>
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input type="checkbox"/>
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>
11. Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>
19. Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>
27. Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>

CERTIFICATE OF SURVEY

Legend

- IRON SET
- IRON FOUND
- ⊙ MONUMENT FOUND
- ⊕ GOVERNMENT CORNER
- SECTION CORNER
- ◆ FOUND DNR MONUMENT
- (R) RECORD
- (M) MEASURED



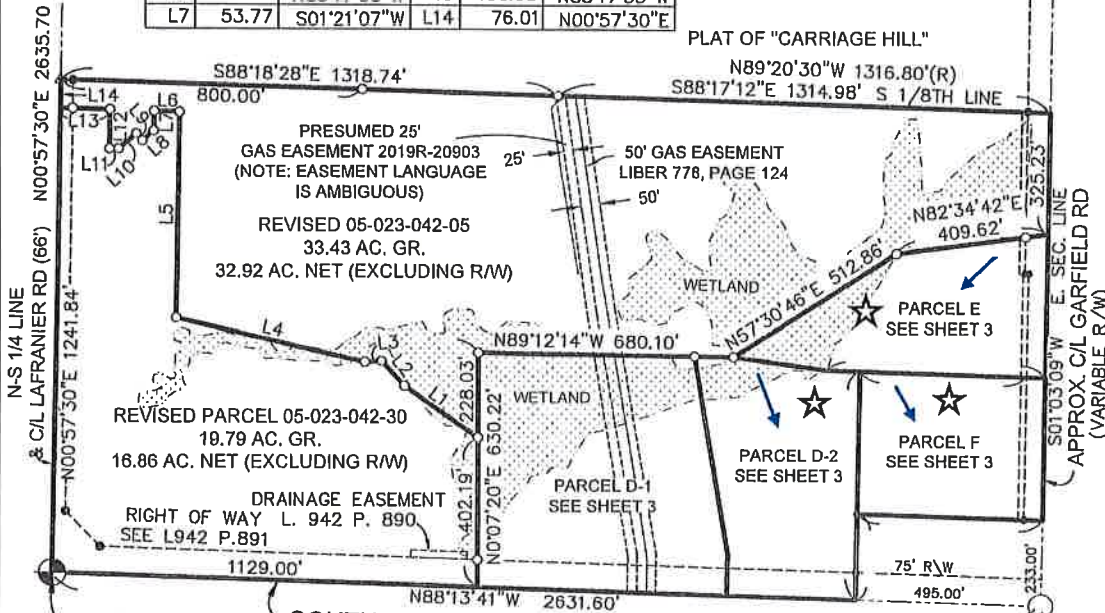
C 1/4 COR.
SEC. 23, T27N, R11W.
IRON OF RECORD IN BOX

Exhibit A
Subject Purchase Parcels
LaFranier Trusts to Outlook Development LLC
Parcels D-2, E, F

SPACE RESERVED FOR REGISTER OF DEEDS

LINE TABLE			LINE TABLE		
LINE	DIST	BEARING	LINE	DIST	BEARING
L1	238.68	N54°56'50"W	L8	40.66	S48°58'54"W
L2	90.69	N42°07'21"W	L9	25.00	N41°01'06"W
L3	44.88	S85°33'20"W	L10	62.36	S49°00'09"W
L4	513.94	N76°54'36"W	L11	23.84	N89°03'38"W
L5	547.80	N00°57'42"E	L12	105.61	N00°57'31"E
L6	67.82	N88°17'53"W	L13	130.98	N88°17'53"W
L7	53.77	S01°21'07"W	L14	76.01	N00°57'30"E

EAST 1/4 COR.
SEC. 23, T27N, R11W.
FD 3-1/2" BRASS CAP
EAST 24.97' P. POLE
S14°E 106.04' 16" W. PINE
S62°W 49.76 10" PEAR
N05°W 68.33' 12" MAPLE



S 1/4 COR.
SEC. 23, T27N, R11W.
FD 1/2" REROD IN MON BOX
S40°E P. POLE 39.76'
S45°W P. POLE 35.85'
N56°W 14" ELM 80.50'
N78°E 22" MAPLE 99.53'

SE COR.
SEC. 23, T27N, R11W.
FD 3-1/2" BRASS CAP
N29W 68.74' GUY POLE
S70W 74.80' P. POLE
S24E 70.07' P. POLE
N28E 102.08' 6" SPRUCE

NOTE: All parcels are subject to and together with blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of Infrastructure.



04-14-22

BASIS OF BEARING: NAD 83 MI CENT SPCS
ESTIMATED ABSOLUTE ACCURACY IS 0.20' PER CORNER

I Jesse E. Mitchell #4001054433 being a Licensed Professional Surveyor, hereby certify that I have surveyed and mapped the parcel(s) heron described and that the relative positional precision of each corner is within the limits accepted by the practice of professional surveying and that all the requirements of P.A. 132 of 1970, as amended, have been complied with.

Jesse E. Mitchell
Professional Surveyor No. 4001054433

This survey plat was prepared for the exclusive use of the person, persons, or entity named in the certificate hereon. Said certificate does not extend to any unnamed third person without an express recertification by the surveyor naming said third person.

CLIENT: LOUIS G & MARVEL R LAFRANIER TRUST C/O DIXIE ROETHLISBERGER			
LOCATION: PART OF THE SOUTHEAST 1/4, SECTION 23, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN.			
DATE: MJC	REVISED DATE: 4/14.2022	FILE NO. 20210403	
CK: JEM	FLD. BK. X	PG. X	SHEET 1 OF 5

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Kingsley, MI 49649 Harrison, MI 48625
(231) 263-5463 • FAX (231) 263-7921
Toll Free in Michigan 1-800-533-6627
email jesse@bobmitchell.com

BVS

CERTIFICATE OF SURVEY

Legend

- IRON SET
- IRON FOUND
- ⊙ MONUMENT FOUND
- ⊕ GOVERNMENT CORNER
- SECTION CORNER
- ◆ FOUND DNR MONUMENT
- (R) RECORD
- (M) MEASURED

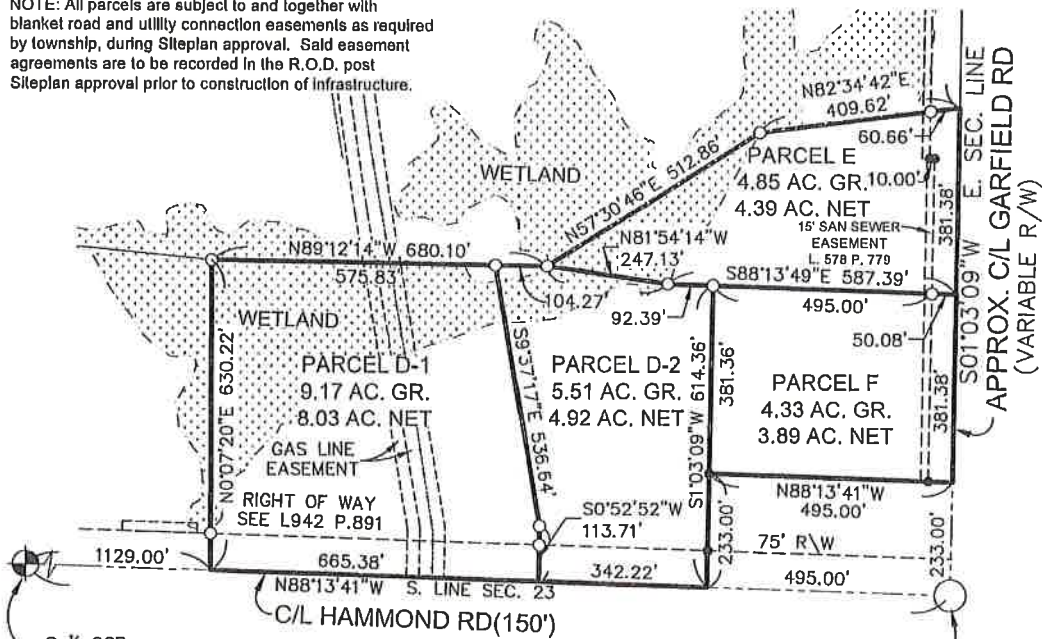


SPACE RESERVED FOR REGISTER OF DEEDS

THIS PROPOSED PARCEL DIVISION IS SUBJECT TO MUNICIPAL APPROVAL PURSUANT TO THE "LAND DIVISION ACT", P.A. 591 OF 1996, AS AMENDED.

NOTE: All parcels are subject to and together with blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of infrastructure.

EAST 1/4 COR.
SEC. 23, T27N, R11W.
FD 3-1/2" BRASS CAP
EAST 24.97' P. POLE
S14°E 106.04' 16" W. PINE
S62°W 49.76' 10" PEAR
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N56°W 14" ELM 80.50'
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N29°W 68.74' GUY POLE
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S24°E 70.07' P. POLE
N28°E 102.08' 6" SPRUCE



04-14-22

Jesse E. Mitchell
Professional Surveyor No. 4001054433

BASIS OF BEARING: NAD 83 MI CENT SPCS
ESTIMATED ABSOLUTE ACCURACY IS 0.20' PER CORNER

I Jesse E. Mitchell #4001054433 being a Licensed Professional Surveyor, hereby certify that I have surveyed and mapped the parcel(s) hereon described and that the relative positional precision of each corner is within the limits accepted by the practice of professional surveying and that all the requirements of P.A. 132 of 1970, as amended, have been complied with.

This survey plat was prepared for the exclusive use of the person, persons, or entity named in the certificate hereon. Said certificate does not extend to any unnamed third person without an express recertification by the surveyor naming said third person.

CLIENT: LOUIS G & MARVEL R LAFRANIER TRUST
C/O DIXIE ROETHLISBERGER

LOCATION:
PART OF THE SOUTHEAST 1/4, SECTION 23,
TOWN 27 NORTH, RANGE 11 WEST,
GARFIELD TOWNSHIP,
GRAND TRAVERSE COUNTY, MICHIGAN.



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email jesse@mipcvilsurvey.com

DWN. MJC	REVISED DATE	3.15.2022 9.19.18	FILE NO.	20210403
CK. JEM	F.L.D. BK. X	PG. X	SHEET	2 OF 5

Handwritten initials

DESCRIPTION

REVISED 05-023-042-05

Part of South 1/2 of the Southeast 1/4 of Section 23, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, more fully described as: Commencing at the South 1/4 corner of said Section 23; thence North 00°57'30" East, 1241.84 feet, along the North and South 1/4 line of said Section and the centerline of LaFranier Road, to the Point of Beginning; thence North 00°57'30" East, 76.01 feet, along the North and South 1/4 line of said Section and the centerline of LaFranier Road to the South 1/8 line of said Section; thence South 88°18'28" East, 1318.74 feet, along said South 1/8 line; thence South 88°17'12" East, 1314.98 feet, along said South 1/8 line to a point on the East line of said Section and the centerline of Garfield Road; thence South 01°03'09" West, 325.23 feet, along said East line and centerline; thence South 82°34'42" West, 409.62 feet; thence South 57°30'46" West, 512.86 feet; thence North 89°12'14" West, 680.10 feet; thence South 00°07'20" West, 228.03 feet; thence North 54°56'50" West, 238.68 feet; thence North 42°07'21" West, 90.69 feet; thence South 85°33'20" West, 44.88 feet; thence North 76°54'36" West, 513.94 feet; thence North 00°57'42" East, 547.80 feet; thence North 88°17'53" West, 67.82 feet; thence South 01°21'07" West, 53.77 feet; thence South 48°58'54" West, 40.66 feet; thence North 41°01'06" West, 25.00 feet; thence South 49°00'49" West, 62.36 feet; thence North 89°03'38" West, 23.84 feet; thence North 00°57'31" East, 105.61 feet; thence North 88°17'53" West, 130.98 feet, to the Point of Beginning. Contains 33.43 Acres Gross Acres of Land, more or less.

Subject to the right of way for LaFranier Road over the westerly portion thereof. Subject to the right of way for Garfield Avenue over the easterly portion thereof. Subject to other easements or restrictions if any.

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of Infrastructure.

SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.

REVISED PARCEL 05-023-042-30

Part of South 1/2 of the Southeast 1/4 of Section 23, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, more fully described as: BEGINNING at the South 1/4 corner of said Section 23; thence South 88°13'41" East, along the South line of said section and centerline of Hammond Road, 1129.00 feet; thence North 00°07'20" East, 402.19 feet; thence North 54°56'50" West, 238.68 feet; thence North 42°07'21" West, 90.69 feet; thence South 85°33'20" West, 44.88 feet; thence North 76°54'36" West, 513.94 feet; thence North 00°57'42" East, 547.80 feet; thence North 88°17'53" West, 67.82 feet; thence South 01°21'07" West, 53.77 feet; thence South 48°58'54" West, 40.66 feet; thence North 41°01'06" West, 25.00 feet; thence South 49°00'49" West, 62.36 feet; thence North 89°03'38" West, 23.84 feet; thence North 00°57'31" East, 105.61 feet; thence North 88°17'53" West, 130.98 feet, to the West line of said section; thence South 00°57'30" West, 1241.84 feet, to the Point of Beginning. Contains 19.79 Acres Gross Acres of Land, more or less.

Subject to the right of way for LaFranier Road over the westerly portion thereof. Subject to the right of way for Hammond Road over the Southerly portion thereof. Subject to other easements or restrictions if any.

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of Infrastructure.

SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.


 Jesse E. Mitchell
 Professional Surveyor No. 4001054433



04-14-22

Handwritten initials: BJB

CLIENT: LOUIS G & MARVEL R LAFRANIER TRUST C/O DIXIE ROETHLISBERGER			
LOCATION: PART OF THE SOUTHEAST 1/4, SECTION 23, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN.			
DRAWN: MJC	REVISED DATE: 4.14.2022 9.19.18	FILE NO. 20210403	
CHK: JEM	FLD. BK. X	PG. X	SHEET 3 OF 5

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 Toll Free in Michigan 1-800-533-6627
 email jesse@bmacpchs.com

DESCRIPTION

DESCRIPTION: A parcel of land situated in the Township of Garfield, County of Grand Traverse, State of Michigan and described as follows to-wit:

PARCEL "D-1"

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1129.00 feet, to the Point of Beginning; thence North 00°07'20" East, 630.22 feet; thence South 89°12'14" East, 575.83 feet; thence South 09°37'17" East, 536.64 feet; thence South 00°52'52" West, 113.71 feet, to the South line of said section; thence North 88°13'41" West, along said South section line, 665.38 feet, to the Point of Beginning. Said parcel contains 9.17 acres, more or less.

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of infrastructure.


SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.

PARCEL "D-2" ☆

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1794.38 feet, to the Point of Beginning; thence North 00°52'52" East, 113.71 feet; thence North 09°37'17" West, 536.64 feet; thence South 89°12'14" East, 104.27 feet; thence South 81°54'14" East, 247.13 feet; thence South 88°13'49" East, 92.39 feet; thence South 01°03'09" West 614.36 feet, to the South Line of said section; thence North 88°13'41" West, along said South section line, 342.22 feet, to the Point of Beginning. Said parcel contains 5.51 acres, more or less.

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of infrastructure.

SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.

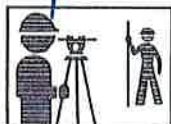

 Jesse E. Mitchell
 Professional Surveyor No. 4001054433



08-14-22

BOS

CLIENT: LOUIS G & MARVEL R LAFRANIER TRUST C/O DIXIE ROETHLISBERGER			
LOCATION: PART OF THE SOUTHEAST 1/4, SECTION 23, TOWN 27 NORTH, RANGE 11 WEST, GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN.			
DMR.	MJC	REVISED DATE	3.15.2022 9.19.18
CK.	JEM	FILE NO.	20210403
		FLD. BK. X	PG. X
		SHEET	4 OF 5



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 404 West Main Street P.O. Box 308 NORTH 1ST STREET
 Kingsley, MI 49849 Harrison, MI 48825
 (231) 263-5463 • FAX (231) 263-7921
 Toll Free in Michigan 1-800-533-6627
 email jesse@mapcivilsurvey.com

DESCRIPTION

DESCRIPTION: A parcel of land situated in the Township of Garfield, County of Grand Traverse, State of Michigan and described as follows to-wit:

PARCEL "E" ★

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 1129.00 feet; thence North 00°07'20" East, 630.22 feet; thence South 89°12'14" East, 680.10 feet, to the Point of Beginning; thence North 57°30'46" East, 512.86 feet; thence North 82°34'42" East, 409.62 feet, to the East line of said section; thence South 01°03'09" West, along said East section line, 381.38 feet; thence North 88°13'49" West, 587.39 feet; thence North 81°54'14" West, 247.13 feet, to the Point of Beginning. Said parcel contains 4.85 acres, more or less.

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of Infrastructure.

SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.

PARCEL "F" ★

Part of the South one-half of the Southeast One-Quarter of Section 23, Town 27 North, Range 11 West, more fully described as: Commencing at the South one-quarter corner of said Section 23; thence South 88°13'41" East, along the South line of said Section 23, 2136.60 feet; thence North 01°03'09" East, 233.00 feet, to the Point of Beginning; thence North 01°03'09" East, 381.36 feet; thence South 88°13'49" East, 495.00 feet, to the East line of said section; thence South 01°03'09" West, along said East section line, 381.38 feet; thence North 88°13'41" West, 495.00 feet, to the Point of Beginning. Said parcel contains 4.33 acres, more or less.

SUBJECT TO AND TOGETHER WITH blanket road and utility connection easements as required by township, during Siteplan approval. Said easement agreements are to be recorded in the R.O.D. post Siteplan approval prior to construction of Infrastructure.

SUBJECT TO all agreements, covenants, easements, right-of-ways, reservations and restrictions of record, if any.



Jesse E. Mitchell
Professional Surveyor No. 4001054433



02/14/22



CLIENT: LOUIS G & MARVEL R LAFRANIER TRUST
C/O DIXIE ROETHLISBERGER

LOCATION:
PART OF THE SOUTHEAST 1/4, SECTION 23,
TOWN 27 NORTH, RANGE 11 WEST,
GARFIELD TOWNSHIP,
GRAND TRAVERSE COUNTY, MICHIGAN.



BOB MITCHELL & ASSOCIATES
SURVEYING / ENGINEERING

404 West Main Street P.O. Box 308 NORTH 1ST STREET
Kingsley, MI 49649 Harrison, MI 48625
(231) 263-5463 • FAX (231) 263-7921
Toll Free in Michigan 1-800-533-6627
email jesse@bobpcivilsurvey.com

DWN.	MJC	REVISED DATE	3.15.2022 9.19.18	FILE NO.	20210403
CK.	JEM	FLD. Bk. X	PG. X	SHEET	5 OF 5

Exhibit B

IMPACT STATEMENT FOR ZONING ORDINANCE MAP AMENDMENT A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.

A. The property seeking rezoning is located in an area designated for R-3 future development.

2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.

A. The conditions of the Township's R-3 zoning classification will control the design of any new development. The residential zoning will allow new opportunities for development of greatly needed new workforce housing.

3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.

A. R-3 zoning will be suitable for the growing demand for more housing in the area. Current AG zoning is no longer the highest and best use for the property.

4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.

A. The sustained growth in the area has changed the conditions of the current zoning. The use of the property is no longer agricultural and the demand for increase housing opportunities justifies the amendment.

5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

A. The rezoning is justified by the public need for new housing alternatives. The public health, safety and welfare will not be diminished and there will be no historical or cultural places impacted.

6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.


A. The rezoning will allow the development of new affordable housing stock for those employed in the businesses in the surrounding area. Currently, many workers in that area are employed in local business cannot afford the high cost of local housing and are forced to commute considerable distances to find housing.

7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no For Text Amendment only, the following must be included: intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

A. The size of the tract to be rezoned will site 80 new affordable housing units located on over twenty acres of land. Density will be considerably less than R-3 allows.

8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

A. The growing need for workforce, affordable housing is the most relevant factor to be considered

		Charter Township of Garfield Planning Department Report No. 2022-61	
Prepared:	July 6, 2022	Pages:	7
Meeting:	July 13, 2022 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	7Brew 2537 North US-31 Special Use Permit - Introduction		
File No.	SUP 2022-01	Parcel No.	05-021-036-10
Applicant:	2537 N US 31 South LLC – Kevin Myers		
Agent:	BFA, Inc. – John Schebaum		
Owner:	2537 N US 31 South LLC		

BRIEF OVERVIEW:

- Location: 2537 N US-31 South, north of South Airport Road
- Parcel area: 0.46 acres
- Existing land use: Former PNC Bank building with drive-through
- Existing zoning: C-G General Commercial District

PURPOSE OF APPLICATION:

This application requests approval of a Special Use Permit for a proposed 510-square foot drive-through coffee shop with only drive-through and walk-up service, with no dine-in services. Drive-through business uses are permitted via Special Use Permit in the C-G General Commercial District. The site (Parcel ID #05-021-036-10) is occupied by the former PNC Bank building with drive-through.

Aerial image of the subject property (property lines highlighted in blue):



SPECIAL USE PERMIT #99-02:

The subject site is currently occupied by a former bank building with drive-through. The bank building was approved by the Township Planning Commission as a Special Use Permit in 1999 for National City Bank. At the time, there was considerable concern about having a drive-through business located near the US-31 and South Airport Road intersection due to the high amount of traffic and potential conflicts for making left turns. The Township retained its own traffic engineer and consulted with the Michigan Department of Transportation (MDOT).

As part of the approval in 1999, only a single driveway on to US-31 was permitted for the site. The driveway was restricted to right-in and right-out turning movements. The Report and Decision Order included the following condition:

g. The applicant will cooperate with the Michigan Department of Transportation through the MDOT driveway permitting process to construct and appropriately sign, at the applicants expense, a directional driveway which will effectively limit to only right hand turning movements ingress to and access from the property. This will apply to the offsite installation of and cost of “no left turn” signage required by MDOT as a part of the driveway permit approval.

Construction on the site did not result in a single driveway but rather a shared driveway with Mutual gas station located north of the subject site. Special Use Permit #99-02 was never amended and remains a valid permit for the site. There is no cross-access connection to Speedway gas station to the south or the Best Buy store to the west. A significant rise in grade elevation to the west precludes any possible connection to the west.

The intersection of South Airport Road and US-31 remains the most dangerous intersection in Grand Traverse County according to an annual report by the Farmington Hills law firm Michigan Auto Law. Using data from the Michigan State Police Traffic Crash Reporting Unit, the report shows the intersection was the site of 35 car crashes and 5 injuries in 2020. That compares with 62 crashes in 2019. The pandemic significantly decreased traffic volumes in 2020.

(<https://www.michiganautolaw.com/blog/2021/06/29/grand-traverse-countys-most-dangerous-intersections-2020/>)

TRAFFIC IMPACT REPORT:

In accordance with Section 618, a traffic impact report has been requested to determine that unsafe or hazardous conditions will not be created by the development as proposed. As requested, the applicant has provided a traffic impact report prepared by Fishbeck. The Township is having its traffic engineer, OHM Advisors, review the traffic impact report. Currently, the review is underway. Results are not yet available.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

In approving any special use permit pursuant to Section 423, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- a) Financing;
- b) Availability of adequate public facilities or services;
- c) Dedication of land;
- d) Reservation of land;
- e) Creation of special assessment districts;
- f) Creation of restrictive covenants or easements;

- g) Special setbacks;
- h) Yard requirements;
- i) Increased screening or landscaping requirements;
- j) Area requirements;
- k) Development phasing; or
- l) Standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, and similar characteristics.

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Minimum Building Cross Section:

According to Section 312, the minimum building cross section is 24 feet for the C-G Commercial District. Based on this requirement, at a minimum, a building must be 576 square feet. For this project, one cross section of the proposed building is only 15 feet resulting in a 510-foot square foot building that does not meet the requirement.

Setbacks:

The front setback is 40 feet in the C-G District; however, drive-throughs are required to have a 60-foot setback from the right-of-way line. Side and rear yards in the C-G District shall be ten percent (10%) of the lot width and depth, respectively, but need not exceed twenty-five (25) feet each, provided that no setback shall be less than ten (10) feet. In this case, the parcel is 100 feet wide, therefore the side and rear yard setbacks shall be 10 feet. The proposed buildings and structures meet the front, side, and rear yard setback requirements.

Access Management:

Currently, ingress from and egress to US-31 is through a shared drive with the Mutual gas station. As mentioned earlier, a shared driveway was never approved for the site, however it was constructed and is in place. As part of their review, OHM has been directed to review the driveway configuration to determine that unsafe or hazardous conditions will not be created by the proposed development.

Parking, Loading, and Snow Storage

Drive-in or drive-through only restaurants have a minimum parking requirement of 1 for each employee on the largest shift plus one for each outdoor table. The site plan indicates there are 5 employees per shift. There are 6 parking spaces proposed including 1 barrier-free space. The building is small enough that a loading zone is not required.

Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces. One bicycle rack is proposed and indicated on the plan, which will give space for 2 bicycles.

As required by Section 551 of the Ordinance, a ratio of ten (10) square feet of snow storage is required per one hundred (100) square feet of parking area. With 10,390 square feet of parking area, 1,275 square feet of snow storage area has been indicated on the site plan which exceeds this requirement.

Sidewalks:

A bike path is required on US-31 according to Section 522.A. of the Zoning Ordinance. A 10-foot-wide asphalt bike path is shown on the site plan. A five-foot-wide concrete sidewalk from the bike path towards the building is also shown.

Lighting

A photometric site plan is included with the site plan. Lighting standards of Section 517 of the Zoning Ordinance are described as follows:

Zoning Ordinance Lighting Standard	Subject Site
<i>A. Applicability</i> – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.
<i>B. Shielding and Filtration</i> – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	Information needs to be provided on the type of fixtures and whether the fixtures meet all lighting standards of Section 517 including shielding and illumination.
<i>C. Illumination</i> – Average illumination levels shall not exceed 3.0 foot-candles (FC) for the main parking area, 2.0 FC for the peripheral parking area, 5.0 FC for main drive areas, and 20.0 FC directly below the lighting fixture. The illumination levels shall also not exceed 1.0 FC adjoining another nonresidential zoning district along a property line, or 2.0 FC along an arterial. Average lighting values of illuminated areas ranging from 0.5 to 1.5 FC are recommended.	The photometric plan shows 29 light fixtures, including four pole mounted fixtures, one building mounted fixture, and 24 under canopy fixtures. The most intense light is under the canopy at 30.7 foot-candles. The illumination levels at the north, west, and south side of the site exceed property line levels of 1.0. The lighting fixtures need to be adjusted to meet the lighting standards of Section 517 for illumination.
<i>D. Color Temperature</i> – All proposed lamps shall emit light measuring 3,500 K or warmer.	Applicant needs to provide fixture specifications and indicate the fixtures measure 3,500 K or warmer.
<i>E. Prohibitions</i> – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	Information needs to be provided on the type of fixtures and whether the fixtures meet all lighting standards of Section 517 including shielding and illumination.
<i>F. Pole Height</i> – All pole-mounted lighting shall not exceed the maximum zoning district height.	Four light poles are proposed. The height of the poles needs to be provided.

Landscaping:

Landscaping requirements are described by the following for each length of greenspace area (e.g., without including the ingress and egress drives):

Greenspace (Length)	Adjacent Land Use	Buffer Planting Requirement	Amount Required	Amount Provided
East (75 ft.)	State Highway (US 31)	Type “D” * Ground cover as specified in Section 530.J, plus	3 large trees 2 med./small trees 2 evergreen trees 20-foot width	0 large trees 3 med./small trees 0 evergreen trees 13 shrubs

		* 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area * Minimum width: 20 feet		10-foot to 20-foot width
North (165 ft.)	Commercial	Type “B” * Ground cover as specified in Section 530.J, plus * 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace area * Minimum width: 10 feet	3 large trees 2 med./small trees 6 shrubs 10-foot width	0 large trees 2 existing med./small trees (*credit for 4 trees) 1 new med./small tree 10 shrubs 7-foot width
West (161 ft.)			2 large trees 1 med./small tree 4 shrubs 10-foot width	Existing retaining wall with gravel due to the steep slope.
South (200 ft.)			4 large trees 2 med./small trees 8 shrubs 10-foot width	4 existing large trees (*credit for 16 trees) 4 existing med./small trees (*credit for 8 trees) 8 shrubs 5-foot width

The Planning Commission may waive or adjust any landscaping requirement in whole or in part provided that certain conditions exist upon the site.

- As proposed, the plantings for the north and south buffers are acceptable due to credit from existing trees. The existing widths of the buffers are substandard with the north at 7 feet and the south at 5 feet, however they are acceptable.
- The existing west buffer consisting of landscape gravel and a retaining well is acceptable due to the steep slope between the subject site and the existing Best Buy store.
- As proposed, the east buffer does not meet planting requirements and the buffer width is substandard in places. The applicant is seeking relief due to existing utilities. Given that this is a completely new site, this is a self-created hardship. At a minimum, staff recommends two large trees and two evergreens which could be clustered in one or two areas.

Dumpster Enclosure

Section 516 states that enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. A dumpster enclosure is shown for the northside of the site. Details of the enclosure are included (Sheet A5.0) and show an enclosure that is 16-0” x 12-8” and 7’ tall. The enclosure will be a red brick and block with a wood gate.

Signs

Signs require sign permit review and are not approved under the site plan review process. A note on Sheet SP-1 states “Signs are subject to sign permit review by Garfield Township.”

Stormwater Management

Stormwater review by the Township Engineer will be required prior to the issuance of a Land Use Permit.

Other Reviews:

Other reviews may be necessary including Metro Fire and Michigan Department of Transportation.

USE STANDARDS – DRIVE-THROUGH:

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

1. *Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.*

The site plan shows the building, drive-through, and parking area. No outdoor dining is proposed, but a picnic table is provided.

2. *A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.*

The building measures approximately 60 feet from the right-of-way line of US-31.

3. *Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.*

The proposed drive is 400 feet from the intersection of US-31 and South Airport Road. However, due to the large scale of this intersection, deceleration lanes and double left turn lanes extend back from the intersection to the subject site.

4. *Pedestrian areas shall be clearly marked and maintained.*

The site plan shows internal sidewalks around the front and sides of the building with a designated connection to the pathway on US-31.

5. *Only one (1) ingress-egress drive shall be allowed per major thoroughfare.*

There is only one existing ingress-egress drive for this site onto US-31.

6. *All parking requirements shall comply with Article 5 of this Ordinance.*

Parking requirements are described in a previous section of this report.

7. *Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.*

The parcel width is 100 feet.

8. *Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).*

The site plan shows the drive-through lanes will accommodate at least 12 queuing spaces.

9. *Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.*

This requirement shall be enforced as needed as part of the operation of the site.

10. *The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.*

The applicant shall provide information demonstrating that this requirement is met. A traffic impact report has been provided and is currently under review.

ACTION REQUESTED:

The purpose of the introductory meeting is to accept the application and to identify any concerns that should be addressed prior to holding a public hearing on the application. Staff recommends that the following concerns be addressed prior to a public hearing.

- Traffic Impact Report. Due to the concerns of traffic impact and interaction with the intersection of US-31 and South Airport Road, analysis of the report by OHM will provide insight to the functionality of the proposed use at this site.
- Minimum Building Cross Section. This deficiency has a potential to impact the site layout.
- Other Site Plan Issues. Other minor items may be addressed, including lighting and landscaping deficiencies.

As such, following an opportunity for applicant presentation and Commissioner discussion, the following motion is offered for consideration:

MOTION THAT application SUP 2022-01, submitted by BFA, Inc. for a Special Use Permit for a drive-through restaurant at Parcel 05-021-036-10, BE TABLED to address the issues listed in PD Report 2022-61.

Any additional information that the Planning Commission determines to be necessary should be added to this motion.

Attachments:

1. Application for Special Use Permit dated June 8, 2022
2. Impact Statement and Basis of Determination dated June 8, 2022
3. Traffic Impact Report dated June 8, 2022
4. Site Plan Set dated June 30, 2022
5. Special Use Permit 99-02 approved May 18, 1999



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- New Special Use Permit
- Major Amendment
- Minor Amendment
- Administrative Amendment

PROJECT / DEVELOPMENT NAME

7Brew - 2537 N. US 31

APPLICANT INFORMATION

Name: 2537 N US 31 SOUTH LLC - Kevin Myers
Address: PO Box 100843 Fort Worth, TX 76185
Phone Number: 940-300-6569
Email: km@netleasedev.com

AGENT INFORMATION

Name: BFA, Inc. - John Schebaum
Address: 103 Elm Street Washington, MO 63090
Phone Number: 636-231-4337
Email: jschebaum@bfaeng.com

OWNER INFORMATION

Name: 2537 N US 31 SOUTH LLC
Address: PO Box 100843 Fort Worth, TX 76185
Phone Number: 940-300-6569
Email: km@netleasedev.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Owner:

BFA, Inc. - John Schebaum

PROPERTY INFORMATION

Property Address:

Property Identification Number:

Legal Description:

Zoning District:

Master Plan Future Land Use Designation:

Area of Property (acres or square feet):

Existing Use(s):

Proposed Use(s):

2537 N US 31 South Traverse City, MI
05-021-036-10
Attached
C-G General Commercial
Commercial
0.46 Acres
Vacant Bank
Drive-Through Coffee Shop

PROJECT TIMELINE

Estimated Start Date:

Estimated Completion Date:

September 2022
December 2022

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Written Information:

- Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- One digital copy of the Approval Criteria (PDF only)
- Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that: special use is permitted only if the applicant demonstrates that:

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- Types of uses and other man-made facilities.
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- Phasing of the project including ultimate development proposals.
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- The method to be used to serve the development with water and sanitary sewer facilities.
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

- The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- The proposed density in units per acre for residential developments.
- Name(s) and address(es) of person(s) responsible for preparation of statement.
- Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
- Type, direction, and intensity of outside lighting.
- General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, show on plan.			
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

- | | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. Are interior public streets proposed? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are private roads or interior drives proposed? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If yes, attach approved permit. | | | |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:



Applicant Signature:

Agent Signature:

Date:


6/7/22

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We 2537 N US 31 SOUTH LLC authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:



Date:

6/7/22

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:




Date:

6/7/22

Applicant Signature:

Date:

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A. Basic Information		
1. Applicant's name, address, telephone number and signature	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
2. Property owner's name, address, telephone number and signature	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>
7. A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>
9. Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>
2. Boundary dimensions of natural features		<input type="checkbox"/>
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>
4. Proposed alterations to topography and other natural features		<input type="checkbox"/>
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/>	<input type="checkbox"/>
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>
11. Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>
19. Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>
27. Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>

 First American Title™	ALTA Commitment for Title Insurance
	ISSUED BY First American Title Insurance Company
Schedule C	

Commitment No.: TC13-101789

The land is described as follows:

Land situated in the Township of Garfield, County of Grand Traverse, State of Michigan, described as follows:

Part of the Northwest 1/4 of Section 21, Town 27 North, Range 11 West, more particularly described as:

THE NORTH 100 FEET of the following described premises:
Commencing at the center of said Section 21; thence West along the East-West 1/4 line 51.27 feet to the West right of way line of Highway US 31; thence along said line, being parallel to and 75 feet distant from the centerline of said Highway, North 01 degree 19 minutes West 33.01 feet to the North right of way line of County Road and Point of Beginning; thence continuing along West right of way line of US 31, North 01 degree 19 minutes West 461.00 feet; thence West 200.00 feet; thence South 01 degree 19 minutes East 461.00 feet to the aforesaid North right of way line of County Road; thence along said line, East 200.00 feet to the point of beginning, except a parcel in the Southeast corner thereof measuring 105 East and West by 161 feet North and South, Section 21, Town 27 North, Range 11 West.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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DATE: June 8, 2022

TO: John Sych, Planning Director
Charter Township of Garfield Planning Commission

FROM: John Schebaum, BFA, Inc. – Civil Engineer for NLD Acquisitions LLC

SUBJECT: 2537 US Hwy 31 Development Traverse City, MI (Charter Township of Garfield)
Proposed 7Brew Coffee Shop

Mr. Sych and Members of the Planning Commission,

Thank you for your time and consideration of our proposed development. On behalf of NLD Acquisitions LLC, we would like to introduce a proposed redevelopment of the former PNC Bank property located at 2537 North US Hwy 31 in Traverse City, Michigan. This project was originally in front of the Planning Commission on March 9th, 2022 for a Conceptual Review. We appreciate the initial comments and concerns that were presented at this meeting, and believe the documents provided with our Special Use Permit Application adequately address them.

The proposed use of a drive-through coffee shop is consistent with the purpose and intent of the master plan, and this ordinance. The property is zoned C-G General Commercial, which permits a drive-through business by a Special Use Permit.

Approval Criteria

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;
 - **The Master Plan Future Land Use Designation is Commercial, which applies to the proposed use. The proposed use is consistent with the regulations of the applicable zoning district.**
- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
 - **The proposed commercial use is compatible to the surrounding commercial uses.**
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
 - **The proposed use will not have any negative impacts on the surrounding uses.**
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
 - **The surrounding neighborhood and properties will benefit from the new commercial use that will provide a unique service to the surrounding area. Adequate parking and site design have been completed and designed to compliment the proposed use.**

- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
 - **The site was designed in a manner to preserve many existing trees and site features to enhance the redeveloped property.**
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
 - **Adequate infrastructure exists, and no additional requirements at public cost are anticipated.**
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - **The proposed use will not have any negative impacts to public health.**
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
 - **The proposed use will not have any negative impacts to the public interest or welfare.**
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
 - **As detailed in the Traffic Impact Study, the proposed development will not result in traffic hazards or traffic congestion on the public roads.**
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner;
 - **Vehicular and pedestrian traffic are adequately handled within the site using pavement striping and curbs. Vehicular access to the public road is provided by an existing Michigan DOT approved access.**
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.
 - **The proposed use will not impede the development and improvement of surrounding properties.**

Impact Assessment

- A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
 - **The existing site is a vacant bank with drive-through, parking, and associated site features. An existing retaining wall is located at the western side of the property, with drainage facilities located throughout the site, draining towards the east/US 31.**
- Types of uses and other man-made facilities.
 - **The proposed use will include a new drive-through coffee shop building with canopy, parking, and associated site features.**
- The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
 - **The proposed coffee shop will have 5 employees on the max shift. The anticipated vehicular traffic is detailed in the Traffic Impact Study provided. Pedestrian traffic is not anticipated due to the specific type of use proposed.**
- Phasing of the project including ultimate development proposals.
 - **The project is anticipated to be completed in one demolition/construction phase.**
- Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
 - **As shown on the Civil Plans, the existing retaining wall and slopes on the west portion of the property are to remain. Existing landscaping/mature trees are also proposed to remain where possible.**
- The method to be used to serve the development with water and sanitary sewer facilities.
 - **The proposed development will be served with water and sanitary sewer similar to the existing bank building, connecting to the mains located along US 31.**
- The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
 - **The proposed development will collect stormwater drainage similar to the existing bank site via inlets and storm piping. Erosion and Sediment Control devices will be installed by the contractor during construction to prevent stormwater pollution.**
- If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.
 - **N/A**
- The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
 - **No increase is anticipated.**

- An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
 - **The proposed use conforms with the surrounding commercial uses and no adverse effects are anticipated.**
- The proposed density in units per acre for residential developments.
 - **N/A**
- Name(s) and address(es) of person(s) responsible for preparation of statement.
 - **NLD Acquisitions LLC – Kevin Myers**
 - **BFA, Inc. – John Schebaum**
(Contact information provided on application)
- Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Erosion and Sedimentation office.
 - **Detailed Erosion and Sediment Control Plans are provided in the Civil Plans submitted.**
- Type, direction, and intensity of outside lighting.
 - **Photometric Plans are provided detailing the proposed site lighting for the commercial use.**
- General description of deed restrictions, if any.
 - **None known.**

Supplemental Use Regulations – Drive-Through Use

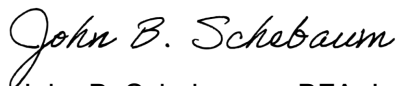
1. Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.
 - **Requirement met.**
2. A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.
 - **Requirement met.**
3. Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.
 - **Requirement met.**
4. Pedestrian areas shall be clearly marked and maintained.
 - **Requirement met.**
5. Only one (1) ingress-egress drive shall be allowed per major thoroughfare.
 - **Requirement met.**
6. All parking requirements shall comply with Article 5 of this Ordinance.
 - **Requirement met.**
7. Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.
 - **Requirement met.**
8. Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).
 - **The proposed coffee shop has internal storage for 20 vehicles without impacts to site circulation nor queue spillback onto US 31.**
9. Snack and nonalcoholic beverage bars shall have a minimum queuing space in advance of order boards to accommodate six (6) motor vehicles at any time.
 - **N/A**
10. These requirements shall not apply to drive-in or drive-through businesses including restaurants, where queuing is accommodated entirely within the confines of a development exclusive of that development's access or service drives.
 - **N/A**
11. Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.
 - **N/A**
12. The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.
 - **The Traffic Impact Study provided by Fishbeck finds that the site is suitable for the proposed use.**

13. For the C-L Local Commercial and C-O Office Commercial districts, a Financial Institution, with Drive-Through shall have a maximum of two (2) drive-through lanes.
 - **N/A**
14. For the C-G General Commercial district, a Financial Institution, with Drive-Through which has two (2) or fewer drive-through lanes shall be permitted by special conditions. All other drive-in and drive-through uses in the C-G district shall require a Special Use Permit.
 - **N/A**

Please note the existing site, and proposed site, do not meet the 10-foot side yard landscape setback. Mr. Sych has advised that the minor encroachment into the landscape setback could potentially be approved by the Planning Commission in lieu of obtaining approval from Zoning Board of Appeals. In order to accommodate this request, the landscaping has been designed in a manner to maintain a majority of the existing, mature, trees on site.

We appreciate your review of our proposed development, and look forward to working with the Charter Township of Garfield.

Respectfully,



John B. Schebaum – BFA, Inc.
Project Manager

Memo

TO: John Schebaum, PE – BFA, Inc

FROM: Kyle Reidsma, PE, PTOE
Jeffery Morden, PE, PTOE

DATE: June 8, 2022

PROJECT NO.: 220851

RE: 7Brew – Traffic Impact Study

Introduction

BFA, Inc is proposing a 7Brew Coffee Shop in Garfield Township, Grand Traverse County, Michigan. The project site is located on the west side of US-31 approximately 475 feet north of South Airport Road. The site was formerly occupied by an approximately 1,050 square-foot PNC Drive-in Bank with five drive-through lanes. PNC Bank will be torn down and a new building will be constructed. The project is expected to be built and in operation by 2023.

Garfield Township has jurisdiction over the review and approval of the proposed 7Brew Coffee Shop. The Township has required a traffic study to compare traffic generation potential of the proposed coffee shop versus the previously occupied PNC Bank. In addition, the Michigan Department of Transportation (MDOT) has jurisdiction over US-31 and the Grand Traverse County Road Commission (GTCRC) has jurisdiction over South Airport Road. All work was completed according to methodology published by the Institute of Transportation Engineers (ITE). Relevant data and calculations are attached to this memorandum. The project location and study intersections are indicated on Figure 1.



Figure 1: Project Location and Study Network

Baseline Traffic Conditions (without 7Brew Coffee Shop)

US-31 is principal arterial under MDOT jurisdiction. In the vicinity of the site, US-31 has five lanes (two in either direction and a center lane for left turns), and a speed limit of 45 miles per hour (mph). South Airport Road is a minor arterial under GTCRC jurisdiction. In the vicinity of the site, South Airport Road has five lanes to the east and two lanes to the west with a speed limit of prima facie, 55 mph. The intersection of US-31 and South Airport Road is signalized. All intersection approaches have dual left turn lanes with protected only phasing. The north, south, and westbound approaches of the intersection have exclusive right turn lanes with overlap phases. This signal runs on an adaptive control system, which is fully actuated and capable to respond to traffic demand variations. Push-button actuated pedestrian crossings are located east, west, and south legs of the intersection.

Existing intersection turning movement traffic volumes were collected by Fishbeck subconsultant Gewalt Hamilton Associates, Inc. (GHA) using MioVision Scout cameras. Data were collected during the weekday morning (7:00 to 9:00 a.m.) peak period on Tuesday, May 24, 2022. Traffic data were collected in 15-minute intervals and included heavy vehicle counts. The analysis was limited to the morning peak hour as that would typically be the busiest time for a coffee shop resulting in the most site trips.

Historical traffic data for South Airport Road, east of US-31 and US-31, south of Silver Lake Road/Fourteenth Street were obtained from the MDOT Transportation Data Management System (TDMS). Hourly segment data were obtained from 2021 and 2017, respectively, reflective of conditions before and after the COVID-19 pandemic of 2020. Review of the historical data in comparison with the May 2022 counts collected by GHA for this study indicate that current a.m. peak hour volumes are larger than the 2021 and 2017 traffic volumes from South Airport Road and US-31. Based on this review, there was no compelling evidence to apply a COVID adjustment factor to the collected turning movement counts (TMCs).

Additional historical data on US-31 dating back to 2009 were also obtained from the MDOT TDMS system and reviewed relative to seasonal variations in traffic demand. Counts taken between 2009 and 2014 were recorded during the summer (June/July) months, whereas data were recorded in October of 2017. Comparison of average daily traffic (ADT) volumes on US-31 between summer 2009-14 and fall 2017 indicate that volumes are approximately 13% higher during the summer months.

Baseline volumes reflect traffic conditions absent of the proposed 7Brew Coffee Shop. Fishbeck has completed several studies across Michigan during the post-pandemic era; in most cases traffic volumes have returned to pre-pandemic levels. Typical adjustment factors applied and accepted by MDOT have ranged between 0% to 5%. Based on this review of historical traffic counts, a seasonal adjustment factor of 15% was applied to the existing May 2022 volumes. This slightly conservative growth rate also accounts for any ambient background traffic growth that may occur to the expected opening year 2023.

Baseline Operations Analysis

Baseline intersection operations were calculated using Synchro traffic analysis software based on methodologies published in the Highway Capacity Manual (HCM), 6th Edition. Simulated traffic operations and vehicle queues were also observed using SimTraffic. Measures of effectiveness for this study include vehicle delay, Level of Service (LOS), and vehicle queue lengths. Modeling and simulation were completed in accordance with the MDOT *Electronic Traffic Control Device Guidelines*.

LOS is a letter grade that describes traffic operations based on the amount of delay experienced by vehicles at an intersection, along an intersection approach (e.g., eastbound (EB), WB), or in a specific lane group (e.g., EB right turn, EB thru-left). LOS is measured using letter grades ranging from A to F, with LOS A representing negligible delay and LOS F indicating failing conditions. LOS D is generally considered acceptable for most areas. Table 1

presents the HCM criteria for various LOS for unsignalized and signalized intersections. The color coding in the table is used in the capacity analysis summary tables later in this report.

Table 1 – LOS Criteria for Intersections

LOS	Average Stopped Vehicle Delay (seconds)	
	Unsignalized	Signalized
A	≤ 10	≤ 10
B	> 10 and ≤ 15	> 10 and ≤ 20
C	> 15 and ≤ 25	> 20 and ≤ 35
D	> 25 and ≤ 35	> 35 and ≤ 55
E	> 35 and ≤ 50	> 55 and ≤ 80
F	> 50	> 80

The study network includes the following intersections:

1. US-31 and South Airport Road (signalized);
2. US-31 and Site Driveway (minor stop-controlled).

This development will be using the existing access on US-31 which is shared with the Mutual Gas Station to the north.

Synchro models for the study network were created based on the existing roadway configurations and traffic controls. Existing roadway geometrics and traffic controls were determined based on available plans and aerial imagery. MDOT provided a traffic signal timing permit for the intersection of US-31 and South Airport Road as well as supplemental information regarding operations of the adaptive signal control. The traffic signal was modeled to run a 160-second cycle during the a.m. peak hour, as specified with traffic signal splits within the weekday a.m. timing parameters provided.

Baseline 2023 vehicle delay and LOS at the study intersections, absent of the proposed 7Brew Coffee Shop, are shown in Table 2. These results indicate that the signalized intersection of US-31 and South Airport Road currently operates at an overall LOS D during the a.m. peak hour. The EB and WB approaches operate at LOS F and E, respectively. Several of the individual movements operate at an acceptable LOS D or better except EB left, EB thru, EB thru/right, and NB left movements operate at LOS F and WB left and SB left operates at LOS E. The stop-controlled EB approach and NB left-turn movement at US-31 and the Site Driveway operate at a LOS C or better with existing gas station traffic. Observation of simulations indicate no adverse operations during the a.m. peak hour. Vehicle queues at the US-31/South Airport Road traffic signal are typically serviced each traffic signal cycle and this operation is determined to be acceptable despite the calculated LOS E/F.

Table 2 – Baseline 2023 LOS/Delay (without 7Brew Coffee Shop)

Approach	Lane Group	LOS/Delay (s)
		a.m. Peak Hour
US-31 & South Airport Road (signalized)		
EB South Airport Road	Left	F (80.3)
	Thru	F (86.8)
	Thru/right	F (87.2)
	Approach	F (86.0)
WB South Airport Road	Left	E (77.0)
	Thru	D (46.9)
	Right	D (39.0)
	Approach	E (58.5)
NB US-31	Left	F (80.4)
	Thru	D (38.3)
	Right	C (22.4)
	Approach	D (38.8)
SB US-31	Left	E (79.9)
	Thru	C (27.0)
	Right	B (19.1)
	Approach	D (41.3)
Overall		D (53.3)
US-31 & Site Driveway (minor stop-controlled)		
NB US-31	Left	A (8.9)
SB US-31	Thru/Right	free movement
EB Site Driveway	Left	C (19.3)
	Right	B (10.4)

Site Trip Generation

The volume of traffic that would be generated by the 7Brew Coffee Shop was forecast based on data published by ITE in *Trip Generation, 11th Edition*. Land use and density information was provided by the Applicant and was compared to land use codes described in the ITE dataset. The 7Brew Coffee Shop will have two (2) drive-through lanes. In addition to forecasting the number of vehicle trips expected for the proposed 7Brew Coffee Shop, a trip generation forecast was completed for the PNC Bank that formerly occupied the site.

As is the case for most commercial development, a portion of the traffic generated by the former site uses is considered to be “pass-by” in nature. Pass-by trips are trips already present on the adjacent roadway network, which are interrupted to visit the site. Pass-by trips are normally expressed as a percentage of the total trips generated by the development. ITE data indicates that 29% of the former PNC Bank and 90% of the proposed 7Brew Coffee Shop trips are pass-by in nature for the a.m. peak hour. For the weekday forecast trips, the analysis referenced the midday peak hour ITE pass-by rates which were 26% and 84%, for the PNC Bank and 7Brew Coffee Shop, respectively. In order to provide a direct comparison of new trips for the former and proposed uses, pass-by trips are accounted for by reducing the number of forecast trips added to the adjacent roadway network; however, actual driveway volumes are not reduced.

Trip generation forecasts for the former and proposed uses are shown in Table 3 and Table 4, respectively. A comparison of the trip generation potential for the former and proposed site occupancies is shown in Table 5. The comparison shows the proposed 7Brew Coffee Shop will generate significantly fewer trips on a typical weekday, both at the driveway and on the adjacent road network. During the a.m. peak hour, driveway trips will be slightly higher with a coffee use as compared to the former bank use; however, the number of new trips on the adjacent road network is actually reduced.

Table 3 - Weekday Trip Generation: Former PNC Bank

ITE Code	ITE Rate Description	Unit	Amount	a.m. Peak Hour			Weekday (In + Out)
				In	Out	Total	
912	Drive-in Bank (PNC Bank)	Lanes	5	26	17	43	625
<i>Pass-by Trips (912: 29% AM, 26% Weekday)</i>				8	5	13	163
New Trips				18	12	30	462

Table 4 - Weekday Trip Generation: Proposed 7-Brew Coffee Shop

ITE Code	ITE Rate Description	Unit	Amount	a.m. Peak Hour			Weekday (In + Out)
				In	Out	Total	
938	Coffee/Donut Shop with Drive-Through Window and No Indoor Seating	Drive-Through Lanes	2	40	40	80	358
<i>Pass-by Trips (912: 90% AM, 84% Weekday)</i>				36	36	72	301
New Trips				4	4	8	57

Table 5 - Trip Generation Comparison Summary

Development Scenario	Trip Type	a.m. Peak Hour			Weekday (In + Out)
		In	Out	Total	
Previous PNC Bank	Total Trips	26	17	43	625
	Pass-by	8	5	13	163
	New Trips	18	12	30	462
Proposed 7Brew Coffee Shop	Total Trips	40	40	80	358
	Pass-by	36	36	72	301
	New Trips	4	4	8	57
Driveway Trip Potential Difference		14	23	37	-267
New Trip Potential Difference		-14	-8	-22	-405

Trip Distribution

The directions that site traffic will travel to and from the subject site were based upon existing traffic patterns during the a.m. peak hour. The existing traffic patterns reflect the gravity between origins and destinations in the study area, and therefore an accurate indication of where the proposed trips would be coming from and going to. Key rationale for this distribution model includes:

1. Trips will be distributed to the adjacent road network based on ITE methodology, which indicates new trips will return to their direction of origin.
2. Traffic patterns at the intersection of US-31 and South Airport Road indicate a pattern towards Traverse City with slightly heavier volumes on the traveling north and east in the morning.

This trip distribution model applied to the site-generated trips is summarized in Table 6.

Trip Assignment

The assignment of traffic to the roadway network is based on the development’s trip generation in conjunction with the expected directional distribution on the adjacent roadways. The proposed site will have one access point, which will operate under stop-control on the minor approach:

1. US-31 and Site Driveway: shared access with Mutual Gas Station

The existing driveway location and configuration is proposed to remain the same.

Table 6 – Trip Distribution Model (a.m. Peak Hour)

Direction	Via	Trip Origin		Pass-by
		To	From	To/From
North	US-31	36%	17%	68%
South	US-31	20%	45%	32%
East	Airport Road	33%	17%	-
West	Airport Road	11%	21%	-
Total		100%	100%	100%

Turn Lane Warrant Analysis

An evaluation was performed in accordance with MDOT guidelines to determine if a right-turn deceleration lane is required at the site access point with US-31. MDOT publishes turn lane warrant criteria in *Geometric Design Guidance* document prepared by the Traffic and Safety Department. There is an existing center lane for left turns that would facilitate ingress movements from US-31; therefore, left-turn lane criteria were not reviewed.

The minimum thresholds to warrant a taper or full-width right-turn lane at a site driveway on US-31 are 20 and 40 right-turns per hour, respectively. The maximum number of ingress right-turns from the north at the driveway on US-31 is expected to be 13 vehicles per hour. Therefore, no new auxiliary turn lane is warranted.

Build (2023) Traffic Analysis

The objective of this TIS is to determine what impacts, if any, the proposed 7Brew Coffee Shop will have on traffic operations along adjacent public roadways or what mitigation measures may be warranted. To quantify these impacts, the intersection traffic operations under the 2023 Baseline (no-build) conditions were compared to operations under the 2023 Opening Year Build conditions scenarios.

Where traffic operations under Build conditions remain acceptable (LOS D or better), the impact of the proposed 7Brew Coffee Shop on local traffic operations is assumed to be minimal. Where traffic operations under Build conditions are considerably worse than those of the Baseline (no-build) conditions, or if operations degrade from acceptable operations (LOS D or better) to unacceptable levels (LOS E or F), the proposed 7Brew Coffee Shop is considered to have an impact on network traffic operations. In this instance, mitigation is investigated which returns the overall intersection operations to LOS D or near the Baseline conditions (LOS or delay), as feasible for overall intersection operations or affected lane group movements.

Table 7 presents the intersection capacity analysis results for the Build conditions in the Opening Year (2023) for the weekday a.m. peak hour. The Baseline 2023 conditions are also shown for reference. These results indicate no discernable impact to operations at the signalized intersection of US-31 and South Airport Road as a result of the proposed redevelopment. The adaptive traffic signal accommodates the small increase in traffic volume due to the proposed 7Brew Coffee Shop with minimal increase in vehicle delay. The stop-controlled approaches and left-turns at the driveway intersection continue to operate at a LOS C or better.

Table 7 – Build 2023 LOS/Delay (with 7Brew Coffee Shop)

Approach	Lane Group	Baseline 2023	Build 2023
		a.m. Peak Hour	a.m. Peak Hour
US-31 & South Airport Road (signalized)			
EB South Airport Road	Left	F (80.3)	F (80.4)
	Thru	F (86.8)	F (86.8)
	Thru/Right	F (87.2)	F (87.2)
	Approach	F (86.0)	F (86.0)
WB South Airport Road	Left	E (77.0)	E (77.8)
	Thru	D (46.9)	D (47.0)
	Right	D (39.0)	D (39.1)
	Approach	E (58.5)	E (58.9)
NB US-31	Left	F (80.4)	F (80.4)
	Thru	D (38.3)	D (38.3)
	Right	C (22.4)	C (22.4)
	Approach	D (38.8)	D (38.8)
SB US-31	Left	E (79.9)	E (79.9)
	Thru	C (27.0)	C (26.9)
	Right	B (19.1)	B (19.0)
	Approach	D (41.3)	D (41.3)
Overall		D (53.3)	D (53.3)
US-31 & Site Driveway (minor stop-controlled)			
NB US-31	Left	A (8.9)	B (9.0)
SB US-31	Thru/Right	free movement	
EB Site Driveway	Left	C (19.3)	C (23.4)
	Right	B (10.4)	B (10.6)

Observation of network simulations indicates no adverse queuing on the adjacent road network or on the stop-controlled driveway approach. Based on a review of simulations and SimTraffic queue calculations, SB US-31 queues did not back-up to nor block the Site Driveway for any portion of the a.m. peak hour. NB US-31 95th percentile left-turn queue length into the site is calculated to be 44 feet. SB US-31 95th percentile queue length at South Airport Road is calculated to be 224 feet for the thru lanes and 175 feet for the left turn lanes. There is approximately 400 feet between the SB stop bar on US-31 at South Airport Road, and the site driveway location. Therefore, conflicting left-turn queues are provided sufficient storage and will not interlock.

Drive-Through Storage

7Brew provided observed field data from one of their other locations in Missouri from February 2022. In that review of site operations, 61 vehicles/hour were observed in the morning peak hour. The average queue during the peak period was five vehicles with a maximum observed queue of 14 vehicles. The proposed 7Brew coffee shop has internal storage for 20 vehicles without impacts to site circulation nor queue spillback onto US-31. These observations are conservative as compared to the ITE trip generation forecast. Based on the observed queuing data and the proposed site plan, there will be sufficient drive-through storage on-site.

Conclusions and Recommendations

Garfield Township and MDOT have required a traffic study to compare the traffic generation potential of the proposed 7Brew Coffee Shop versus the previously occupied PNC Bank. The objective of this TIS is to determine what impacts, if any, the proposed coffee shop will have on traffic operations along adjacent public roadways or what mitigation measures may be warranted. The following conclusions are based on the data, analyses, and results as outlined herein.

1. Review of historical data in comparison with May 2022 traffic counts indicate that current volumes are larger than the 2021 and 2017 traffic volumes from South Airport Road and US-31, respectively. Based on this review, there was no compelling evidence to apply a COVID adjustment factor to the collected TMCs.
2. Baseline traffic volumes for this study were conservatively adjusted upward by 15% to adjust for seasonal variations to peak summer months and any ambient traffic growth to the expected 2023 buildout year, based on review of historical data.
3. The proposed 7Brew Coffee Shop will generate significantly fewer trips on a typical weekday, both at the driveway and on the adjacent road network as compared to the former bank. During the a.m. peak hour, driveway trips will be slightly higher with a coffee use as compared to the former bank use; however, the number of new trips on the adjacent road network is actually reduced.
4. The signalized intersection of US-31 and South Airport Road will continue to operate acceptably with this proposed 7Brew Coffee Shop. Minor changes in traffic demands will be accommodated by the adaptive signal operation and no timing adjustments are necessary.
5. All movements at the stop-controlled driveway approach at US-31 will operate at a LOS C or better.
6. No additional turn lanes are warranted at the site driveway.
7. The existing access point will be maintained in the current configuration.
8. Based on observed peak hour data provided from 7Brew from another one of their locations, the proposed site stacking space (20 vehicles) will be adequate to accommodate peak hour drive-through queuing.

Based on the results of this traffic study, no roadway nor traffic control improvements are necessary to accommodate the proposed redevelopment project.

Attachments: Traffic Volume Data
ITE Trip Generation Calculations
Turn Lane Warrant Criteria
Synchro HCM Calculations
SimTraffic Queue Calculations

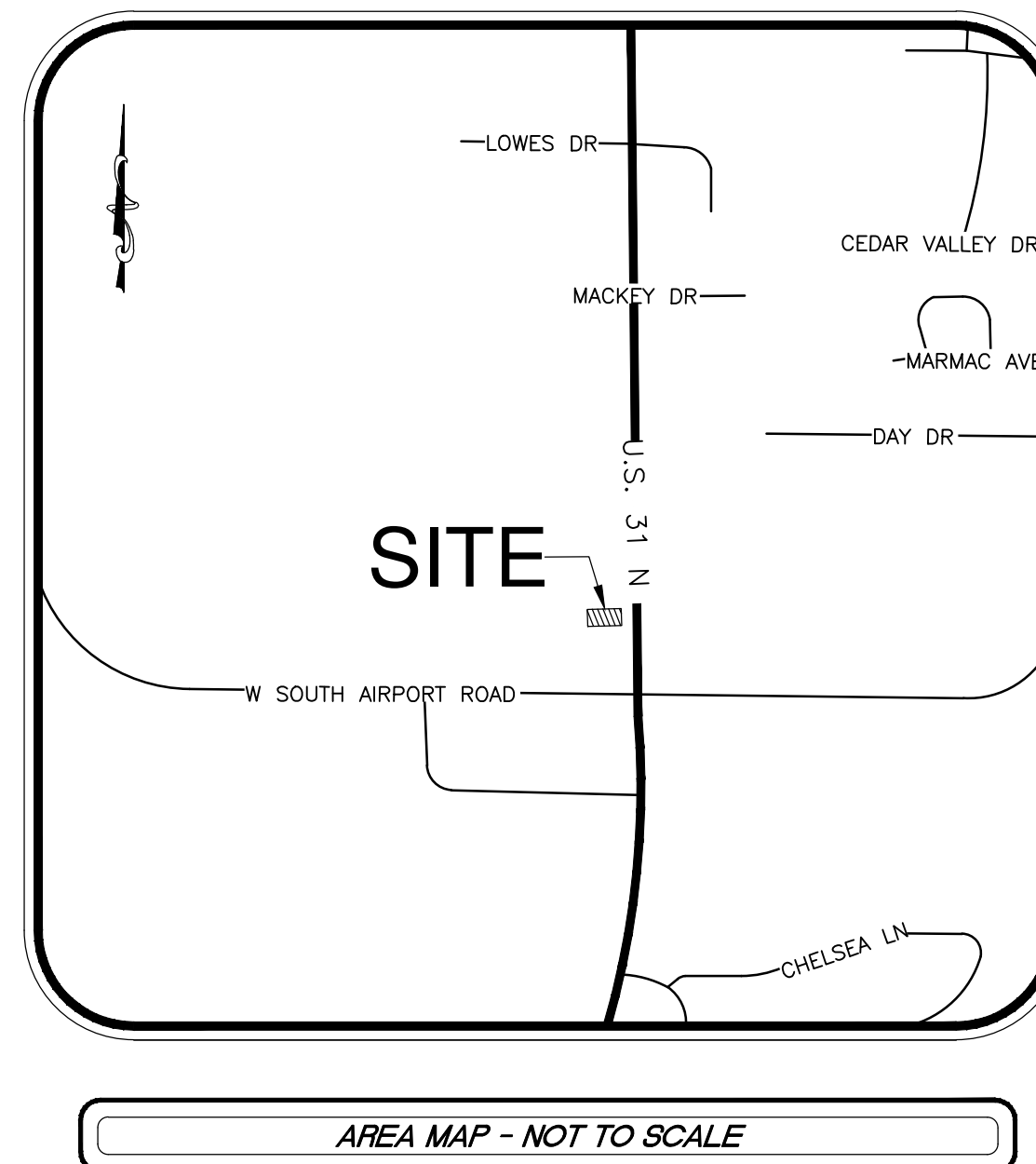
By email

Copy: Timothy J. Likens, PE PTOE – Fishbeck

PROPOSED 7BREW COFFEE SHOP

2537 NORTH U.S. 31 SOUTH
TRAVERSE CITY, GRAND TRAVERSE COUNTY, MICHIGAN 49684
GARFIELD TOWNSHIP

UTILITY/ GOVERNING AGENCIES CONTACTS	
GAS	DTE ENERGY CONTACT: PHONE: (855)-383-4249 EMAIL:
TELEPHONE	CENTURY LINK CONTACT: PHONE: (866)-770-1479 EMAIL:
ELECTRIC	CONSUMERS ENERGY CONTACT: PHONE: (231)-922-4923
SANITARY SEWER	GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS CONTACT: PHONE: (231)-995-6039 EMAIL:
WATER	GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS CONTACT: PHONE: (231)-995-6039 EMAIL:
STORM SEWER	CHARTER TOWNSHIP OF GARFIELD CONTACT: PHONE: (231)-992-4923 EMAIL:



SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	CS-1
*ALTA	ALTA
TOPOGRAPHIC SURVEY	TS-1
DEMOLITION PLAN	DM-1
EROSION AND SEDIMENT CONTROL PHASE I	ESC-1
EROSION AND SEDIMENT CONTROL PHASE II	ESC-2
EROSION AND SEDIMENT CONTROL DETAIL SHEET I	ESC-3
EROSION AND SEDIMENT CONTROL DETAIL SHEET II	ESC-4
GRADING PLAN	GR-1
SITE PLAN	SP-1
UTILITY PLAN	UT-1
LANDSCAPE PLAN	LP-1
LANDSCAPE DETAILS	LP-2
PRE DEVELOPMENT DRAINAGE AREA MAP	DA-1
POST DEVELOPMENT DRAINAGE AREA MAP	DA-2
*PROVIDED UNDER SEPARATE SEAL	

CAUTION--NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
State of Michigan
Registered Professional Engineer
for BFA, Inc. Date

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

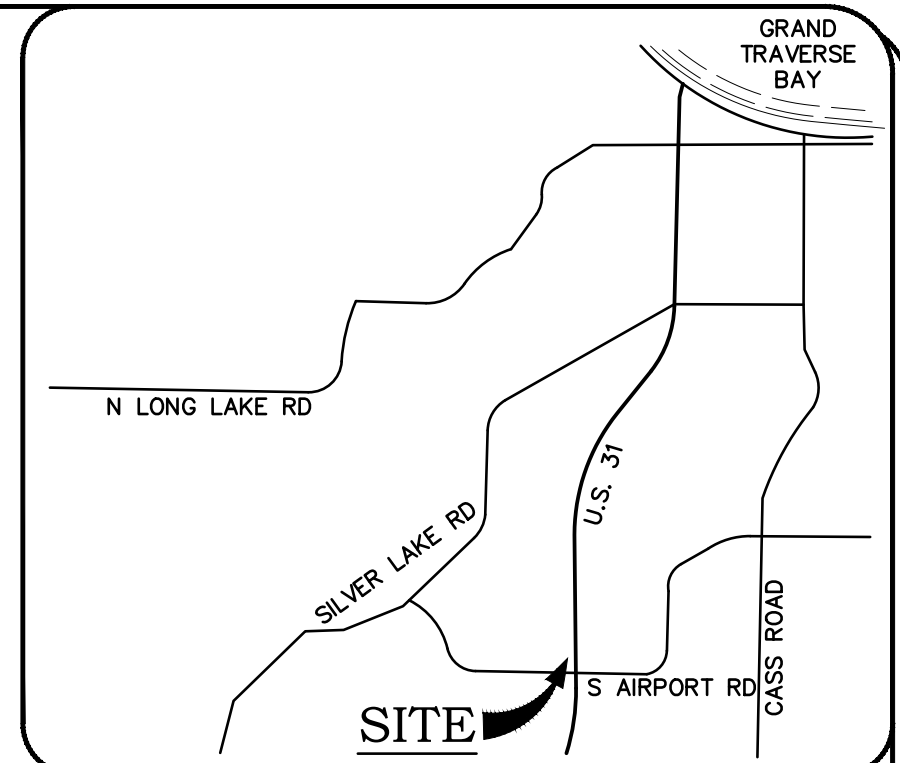
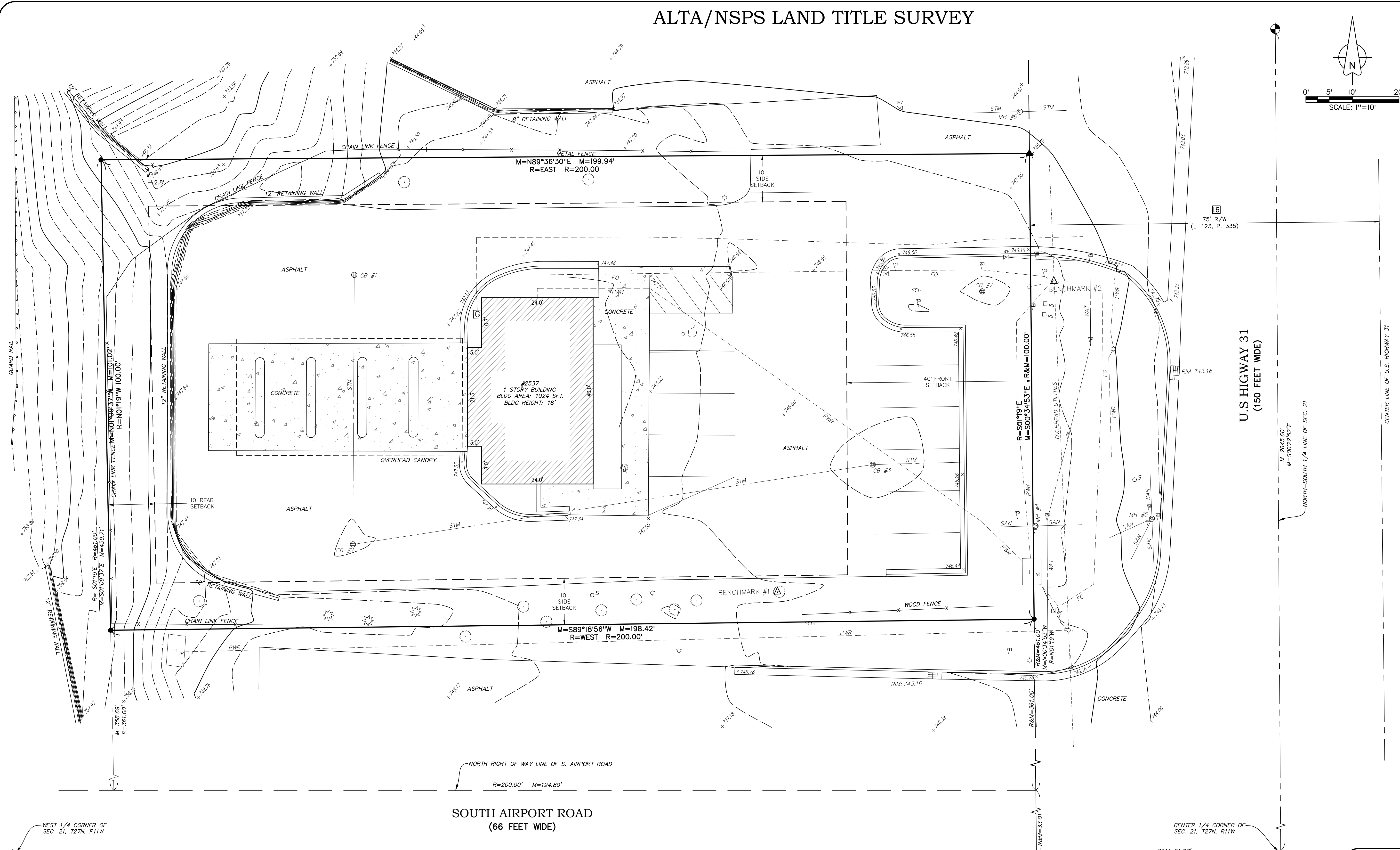
TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
1	By: App:
2	By: App:
3	By: App:
4	By: App:

DRAWN
B.L.F.
CHECKED
R.G.R.
DATE
06/30/22
SCALE
NONE
JOB No.
7146
SHEET NAME
COVER SHEET

CS-1

ALTA/NSPS LAND TITLE SURVEY



LOCATION MAP (NOT TO SCALE)

ZONING INFORMATION
 ZONE DISTRICT: C-G - GENERAL COMMERCIAL
 SETBACKS: FRONT 40'
 SIDE 10'
 REAR 10'

FLOOD NOTE
 This property is located in Zone 'X', defined as area of minimal flood hazard according to graphic plotting on Flood Insurance Rate Map, Community Panel Number '26055C 0207 C', effective 08/28/2018.
<http://www.fema.gov>
 Flood Zone lines are approximate locations, taken from the current Flood Insurance Rate Map as noted.
 No field surveying was performed to determine this Zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

MISCELLANEOUS NOTES

- THIS SURVEY IS BASED ON FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. TC13-101789, BEARING A COMMITMENT DATE OF APRIL 12, 2022.
- PROPERTY ADDRESS: 2537 N. U.S. 31 S, TRAVERSE CITY, MI, 49684
- THE SUBJECT PROPERTY IS 19,994 SQ. FT. OR 0.459 ACRES.
- UTILITIES SHOWN BY OBSERVED EVIDENCE, MARKING PROVIDED BY MISS DIG LOCATION SERVICES. AT&T HAS INDICATED THAT THERE MAY BE UNDERGROUND FACILITIES ON-SITE THAT WILL NEED TO BE RE-MARKED PRIOR TO COMMENCEMENT OF ANY WORK.
- NO EVIDENCE OF RECENT EARTH MOVING WORK ON SITE.
- NO KNOWN PROPOSED CHANGES TO STREET RIGHT OF WAY LINES.

BENCHMARK INFORMATION

BENCHMARK #1
 MAG IN TREE LOCATED ALONG SOUTH SIDE OF PARKING LOT AND 14 FEET WEST OF A WOOD FENCE.
 EL: 750.24 (NAVD 88)

BENCHMARK #2
 MAG IN UTILITY POLE LOCATED ON SOUTH SIDE OF THE NORTH ENTRANCE TO THE SITE.
 EL: 748.43 (NAVD 88)

FURNISHED LEGAL DESCRIPTION
 (PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT #TC 13-101789, DATED JANUARY 24, 2022)
 Land situated in the Township of Garfield, County of Grand Traverse, State of Michigan, described as follows: Part of the Northwest 1/4 of Section 21, Town 27 North, Range 11 West, more particularly described as: THE NORTH 100 FEET of the following described premises: Commencing at the center of said Section 21; thence West along the East-West 1/4 line 51.27 feet to the West right of way line of Highway US 31; thence along said line, being parallel to and 75 feet distant from the centerline of said Highway, North 01 degree 19 minutes West 33.01 feet to the North right of way line of County Road and Point of Beginning; thence continuing along West right of way line of US 31, North 01 degree 19 minutes West 461.00 feet; thence West 200.00 feet; thence South 01 degree 19 minutes East 461.00 feet to the aforesaid North right of way line of County Road; thence along said line, East 200.00 feet to the point of beginning, except a parcel in the Southeast corner thereof measuring 105 East and West by 161 feet North and South, Section 21, Town 27 North, Range 11 West.

LEGEND OF SYMBOLS & ABBREVIATIONS

MEASURED	M=
RECORDED	R=
FOUND IRON	●
FOUND CONCRETE MONUMENT	■
STORM MANHOLE	⊗
CATCH BASIN	⊕
SANITARY MANHOLE	⊙
SIGN	⊛
RISER - PHONE	⊠
WATER VALVE	⊡
CONIFEROUS TREE	⊙
DECIDUOUS TREE	⊙
TRANSFORMER	⊙
CONIFEROUS TREE	⊙
DECIDUOUS TREE	⊙
MISS DIG FLAG - WATER	⊙
MISS DIG FLAG - COMMUNICATIONS	⊙

STRUCTURE INVENTORY

STRUCTURE #1 - CATCH BASIN RIM: 747.03 8" CPP SOUTH INV. 744.23'	STRUCTURE #5 - SANITARY MANHOLE RIM: 744.05 8" PVC NORTH INV. 725.30' 8" PVC SOUTH INV. 725.30' 8" PVC WEST-SOUTHWEST INV. 726.45' 8" PVC WEST-SOUTHWEST INV. 733.20'
STRUCTURE #2 - CATCH BASIN RIM: 746.90 8" CPP NORTH INV. 743.25' 8" CPP EAST-SOUTHEAST INV. 743.10'	STRUCTURE #6 - STORM MANHOLE RIM: 744.76 8" PVC WEST INV. 738.56' 8" PVC EAST INV. 738.56'
STRUCTURE #3 - CATCH BASIN RIM: 745.67 8" CPP WEST-SOUTHWEST INV. 741.67' 10" CPP INV. 742.17'	STRUCTURE #7 - CATCH BASIN RIM: 745.67 10" CPP INV. 740.97'
STRUCTURE #4 - SANITARY MANHOLE RIM: 745.91 8" PVC WEST INV. 736.91' 8" PVC EAST INV. 736.06'	

ITEMS CORRESPONDING TO SCHEDULE B

15 Right of Way in favor of Michigan Public Service Company recorded in Liber 123, page 85
 Blanket in nature and therefore not shown hereon

16 Right of Way in favor of the Michigan State Highway Department recorded in Liber 164, page 335.
 Establishes U.S. 31 as shown hereon

17 Covenants, conditions, restrictions and other provisions as contained in Covenant Deed recorded in Instrument No. 2021R-00970. Please be advised that any provision contained in this document, or in a document that is attached, linked, or referenced in this document, that under applicable law illegally discriminates against a class of individuals based upon personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or any other legally protected class, is illegal and unenforceable.
 Blanket in nature and therefore not shown hereon

SURVEY CERTIFICATION

To BUYER PENDING and FIRST AMERICAN TITLE INSURANCE COMPANY and LENDER PENDING:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10, 11a, 11b, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on May 16, 2022.

Date of Plat or Map: _____, 2022

Daniel D. Pratt
 P.S. #4001039094
 1128 Foxchase Lane, SE
 Grand Rapids, MI 49546
 tpc_inc@comcast.net

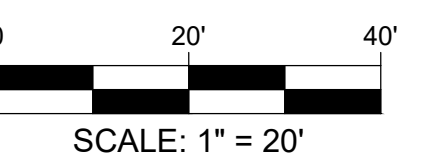
Terra Pointe Consultants, Inc.
 Client: BFA Inc.
 103 Elm Street
 Washington, MO 63090
 TPC Job No. 22014 Sheet 1 of 1
 Date of Field Survey: 05/16/2022

TOPOGRAPHIC SURVEY

(THIS IS NOT A BOUNDARY SURVEY)

TOPOGRAPHIC SURVEY NOTES:

- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
 - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD88 (2011) (INTERNATIONAL FOOT)
 - Bearings and Distances are shown per field data gathered by Terra Pointe Consultants, Inc. on May 02, 2022.
 - Field work was completed on this site by Terra Pointe Consultants, Inc. on May 02, 2022.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD88 (2011) (INTERNATIONAL FOOT).
- Temporary Benchmark No. 1- Found Iron Rod South West corner
 Northing = 515655.877
 Easting = 19352258.934'
 Elevation = 757.15'
- Temporary Benchmark No. 2- Mag Nail in utility pole located on south side of the entrance to the site.
 Northing = 515725.424'
 Easting = 19352463.482'
 Elevation = 748.43'
- This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 26055C0207C, dated August 28, 2018.
 - Existing curbs and gutters on site are vertical. Curbs and gutters along asphalt paved areas are 6" wide with 6" curb and 18" wide gutter. Curbs along concrete areas are 6" high.
 - This site is zoned G-C General Commercial District per Garfield Township, MI Zoning Code.
 Building setback lines as per Garfield Township, MI Zoning Code:
 Front Yard= 40' (60' W/ Drive Thru Use)
 Side Yard= 10% of lot width, not less than 10'
 Rear Yard= 10% of lot width, not less than 10'
 - Water service to this site is provided by Grand Traverse County Public Works at time of survey.
 - Sanitary sewer service to this site is provided by Grand Traverse County Public Works, at time of survey.
 - Electrical service to this site is provided by Consumers Energy, at time of survey.
 - Telephone service to this site is provided by Century Link, at time of survey.
 - Gas service to this site is provided by DTE Energy, at time of survey.
 - NFV = Not Field Verified
 - The minimum depth of cover for waterlines on this site is 72 inches as per Traverse City Sewer and Water Maintenance.



N.U.S. 315
(ASPHALT PAVEMENT)

TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	—AE—
UNDERGROUND ELECTRIC	—UE—
UNDERGROUND TELEPHONE	—UT—
GAS LINE	—G—
WATERLINE	—W—
SANITARY SEWER	—SS—
STORM SEWER	=====
EASEMENT	----
PROPERTY LINE	-----
CHAINLINK/WOODEN FENCE	—o—o—
CONTOURS	—100—
UTILITY POLE	o
GUARD POST	o
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	o
JUNCTION BOX	o
FLARED END SECTION	o
CLEANOUT	o
GRATED INLET	o
SOIL BORING	o

NOTE:
EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA PONTI CONSULTANTS, INC. ON 05-02-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
1	By: App:
2	By: App:
3	By: App:
4	By: App:

DRAWN B.L.F.
 CHECKED R.G.R.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7146
 SHEET NAME TOPOGRAPHIC SURVEY
 TS-1

FOR REVIEW ONLY

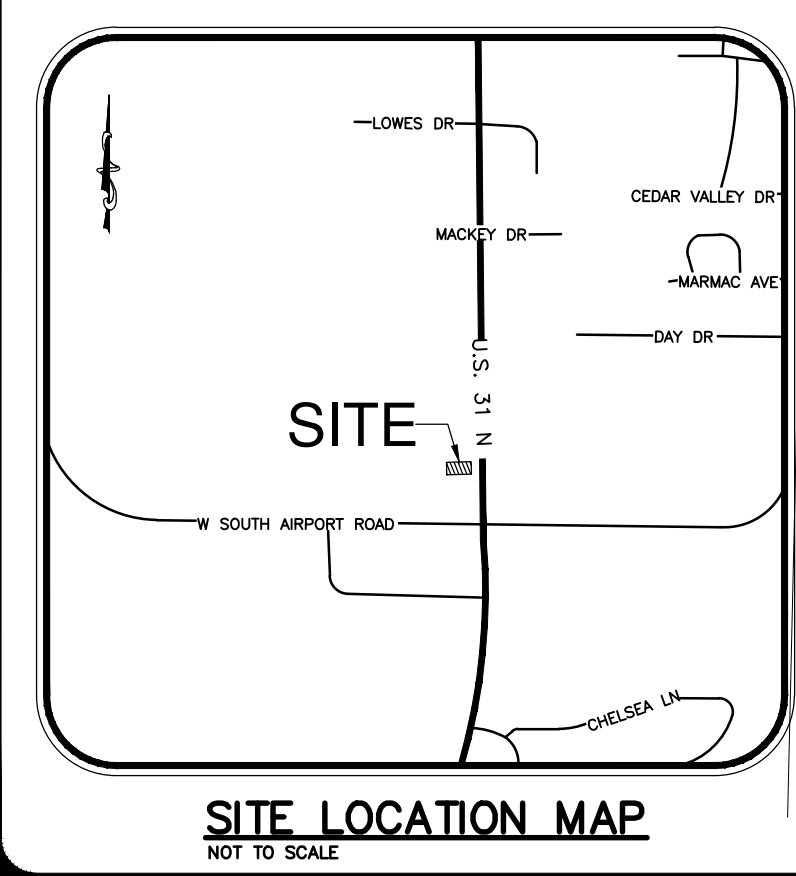
RAYMOND H. FRANKENBERG II
 ENGINEER
 No. 42538
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

06/30/22
 Date

bfaeng.com TELEPHONE: (636) 239-4751

BFA
 Engineering-Surveying

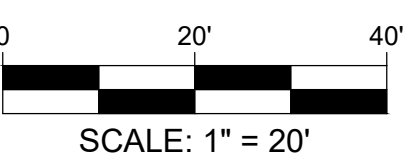
103 ELM STREET WASHINGTON, MISSOURI 63090



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DEMOLITION PLAN

(THIS IS NOT A BOUNDARY SURVEY)



DEMOLITION PLAN NOTES:

- The Contractor shall conform to all applicable State and local codes for demolition of structures, safety of adjacent structures, dust control, and sediment and erosion control during construction.
- The Contractor shall verify that all required permits and licenses from appropriate authorities have been obtained prior to construction.
- The Contractor shall notify and coordinate scheduling with affected utility companies before starting work and comply with their requirements.
- The Contractor shall not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- The Contractor shall accurately record actual locations of capped utilities and subsurface obstructions that will remain after demolition.
- The Contractor shall provide, erect, and maintain sediment and erosion control devices, temporary barriers, and security devices during construction.
- The Contractor shall protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Any damage caused by demolition operations shall be repaired by the Contractor at no cost to Owner.
- The Contractor shall protect and maintain in a safe and operable condition utilities that are to remain. The Contractor shall prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. The Contractor shall provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- The Contractor shall notify adjacent owners of work that may affect their property, potential noise, utility outages or disruptions.
- Completely fill below grade areas and voids resulting from demolition or removal of structures, footings, foundations, underground fuel storage tanks, wells, cisterns, etc., using approved select fill materials consisting of stone, gravel, and sand. Fill materials shall be free from debris, trash, frozen materials, roots, and other organic matter.
- No burning of any material, debris, or trash on-site or off-site will be allowed, except when allowed by appropriate governing authority and Owner. Any permits required for doing so shall be obtained by the Contractor.
- All items noted "To Remain, and/or To Be Adjusted" shall be raised or lowered to match the new grade indicated or flush with the surrounding pavement. (i.e. manhole rims, valve covers, grates, etc.)
- Unless noted otherwise, utilities designated to be removed shall be removed in their entirety. Trenches shall then be backfilled and compacted. (See soil Preparation and Compaction note on these plans.)
- Should hazardous materials be found during demolition operations, the Contractor shall notify the owner and all governing agencies, if necessary, and conform to all applicable regulatory procedures.
- The Contractor shall provide, install, and maintain traffic control at all times during construction. This includes signs, barriers, construction fencing, striping, etc. necessary to safely control site and construction traffic. Contractor shall be responsible for notifying adjacent property owners when closing cross access drive.
- The Contractor shall keep the premises clean and free of debris during construction.
- The fire protection for the site shall remain in service at all times during construction.
- Existing paint striping within the parking lot shall be removed as necessary for the proposed striping as shown on these plans. Striping shall be removed by sand blasting, milling, or grinding.
- All survey monuments disturbed during construction shall be replaced by a licensed land surveyor, licensed in the state where this project is located.
- The edges of all pavement and curb sections to be removed shall be saw cut. Remaining pavement and curb sections shall have smooth, clean edges. This means additional sawcuts may be necessary depending on contractor's means and methods.
- Remove all stumps, bushes, trees, weeds and other surface obstructions from the site that are within the proposed construction area and that are not otherwise noted to remain. Contractor to strip all topsoil from entire area to be graded. This may be done in phases. (Refer to Erosion and Sediment Control Plans.) Extent of topsoil use on site as per the on site geotechnical representative.
- The sitework for this project shall meet or exceed applicable AHJ Specifications, permit requirements, and manufacturer specifications.
- The contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in the low areas on the site may be required during construction.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Contractor shall be responsible for repair and replacement of any existing site features that are to remain that is disturbed during construction, including trench backfill, granular base, and pavements. Contractor's bid shall include any and all removal of and replacement of existing features due to utility removals and new connections.
- The Contractor shall be responsible for inspecting the condition of the existing retaining wall to remain prior to bid and provide notice to owner and BFA of any defects, if any. If there are defects/wall maintenance recommendations, the contractor shall provide a detailed estimate and scope of work of proposed improvements. Contractor shall be responsible for repairs and replacement of structures damaged during construction, at their own expense.
- (TBR) = To Be Removed
(TBR&R) = To Be Removed and Replaced/Relocated
(TR) = To Remain
(TBA) = To Remain and adjusted to proposed finish grade

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
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DEMOLITION LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	—AE—
UNDERGROUND ELECTRIC	—UE—
UNDERGROUND TELEPHONE	—UT—
GAS LINE	—G—
WATERLINE	—W—
SANITARY SEWER	—SS—
STORM SEWER	-----
EASEMENT	----
PROPERTY LINE	-----
CHAINLINK/WOODEN FENCE	o-o-o-o
CONTOURS	---100---
UTILITY POLE	o
GUARD POST	oP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	o
JUNCTION BOX	o
FLARED END SECTION	o>
CLEANOUT	o
GRADED INLET	o
SOIL BORING	o

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-02-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

06/30/22
 Date

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

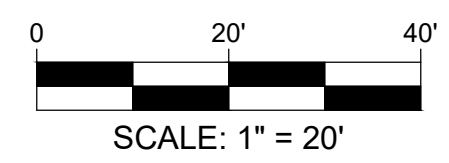
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 7146
 SHEET NAME
 DEMOLITION PLAN
 DM-1

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PHASE I EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP

ACREAGE SUMMARY (IN ACRES)	
PROPERTY AREA	0.45
AREA WITHIN PROPERTY	0.45
AREA OUTSIDE OF TAKE 5 PROPERTY	0.05
TOTAL PROJECT AREA	0.50
IMPERVIOUS AREA BEFORE PROJECT	0.32
IMPERVIOUS AREA AT COMPLETION	0.33
PERVIOUS AREA AT COMPLETION	0.17

SITE FEATURES	
	PROPERTY LINE
	RIGHT OF WAY LINE
	PROPOSED LIMITS OF DISTURBANCE
	EXISTING CONTOUR ELEVATIONS
	STORM DRAIN
	DIRECTION OF OVERLAND FLOW
	SOIL BOUNDARY



SEQUENCE OF CONSTRUCTION

- PHASE I**
- INSTALL STABILIZED CONSTRUCTION EXITS.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
 - INSTALL INLET PROTECTIONS AND SILT FENCES(S) ON THE SITE.
 - OVER-EXCAVATE FOR BUILDING PAD.
 - BEGIN GRADING THE SITE.
- PHASE II**
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED/STABILIZE DISTURBED AREAS.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - INSTALL INLET PROTECTION DEVICES.
 - COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

EROSION DETAILS	
	CEP CONSTRUCTION EXIT ON PAVEMENT
	CW CONCRETE WASHOUT
	EE EROSION EELS
	SF TEMPORARY SILT FENCE
	SS SWPP INFORMATION SIGN
	WW WHEEL WASHOUT
	MSLA MATERIAL LAYDOWN AND STORAGE AREA
	RR RIP-RAP

EROSION NOTES

- EyB** SOIL TYPE: EMMET SANDY LOAM, 2 TO 6 PERCENT SLOPES
- GxE2** SOIL TYPE: GUELPH-NESTER LOAMS, 18 TO 25 PERCENT SLOPES, MODERATELY ERODED
- KaA** SOIL TYPE: KALKASKA LOAMY SAND, 0 TO 2 PERCENT SLOPES
- KaB** SOIL TYPE: KALKASKA LOAMY SAND, 2 TO 6 PERCENT SLOPES
- RcA** SOIL TYPE: RICHTER LOAMS, 0 TO 2 PERCENT SLOPES, OVERWASH

BENCHMARK INFORMATION	
TEMPORARY BENCHMARK NO. 1 - FOUND IRON ROD	ELEVATION=757.15'
TEMPORARY BENCHMARK NO. 2 - MAG NAIL	ELEVATION=748.43'

NOTE:

IN THE EVENT THAT AN INSPECTOR OF THE U.S. E.P.A. OR A STATE OR LOCAL AGENCY SHOULD APPEAR AT THE PROJECT TO CONDUCT AN INSPECTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT BFA, INC. AT 636-239-4751 AND ADVISE THEM OF THE INSPECTION.

DEVELOPER/OWNER:
 NLD ACQUISITIONS, LLC
 PO BOX 100843
 FORT WORTH, TX 76185

SITE OPERATOR/GENERAL CONTRACTOR:

 SUPERINTENDENT:

MINIMIZATION OF DISTURBED AREAS:

- CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
- CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
- CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

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FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan Date
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

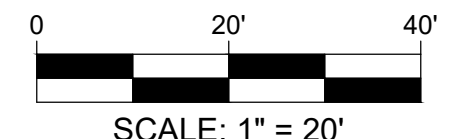
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4	By: _____ App: _____

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 B.L.F.
 CHECKED
 R.G.R.
 DATE
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 SCALE
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 JOB No.
 7146
 SHEET NAME
 ESC PHASE I
ESC-1

PHASE II EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP

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LEGEND	
SITE FEATURES	
	PROPERTY LINE
	RIGHT OF WAY LINE
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	EXISTING CONTOUR ELEVATIONS
	STORM DRAIN
	DIRECTION OF OVERLAND FLOW
	SOIL BOUNDARY



SEQUENCE OF CONSTRUCTION

- PHASE I**
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 3. INSTALL INLET PROTECTIONS AND PERIMETER BMP'S ON THE SITE.
 4. OVER-EXCAVATE FOR BUILDING PAD.
 5. BEGIN GRADING THE SITE.

- PHASE II**
1. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 2. TEMPORARILY SEED/STABILIZE DENUDED AREAS.
 3. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 5. PREPARE SITE FOR PAVING.
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 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

EROSION DETAILS

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	EE	EROSION EELS
	SF	TEMPORARY SILT FENCE
	SS	SWPP INFORMATION SIGN
	WW	WHEEL WASHOUT
	MSLA	MATERIAL LAYDOWN AND STORAGE AREA
	RR	RIP-RAP
	FS	FILTER SACK

EROSION NOTES

	PS	PERMANENT SEEDING/SOIL
	GR	LANDSCAPE GRAVEL

BENCHMARK INFORMATION	
TEMPORARY BENCHMARK NO. 1 - FOUND IRON ROD	ELEVATION=757.15'
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DEVELOPER/OWNER:
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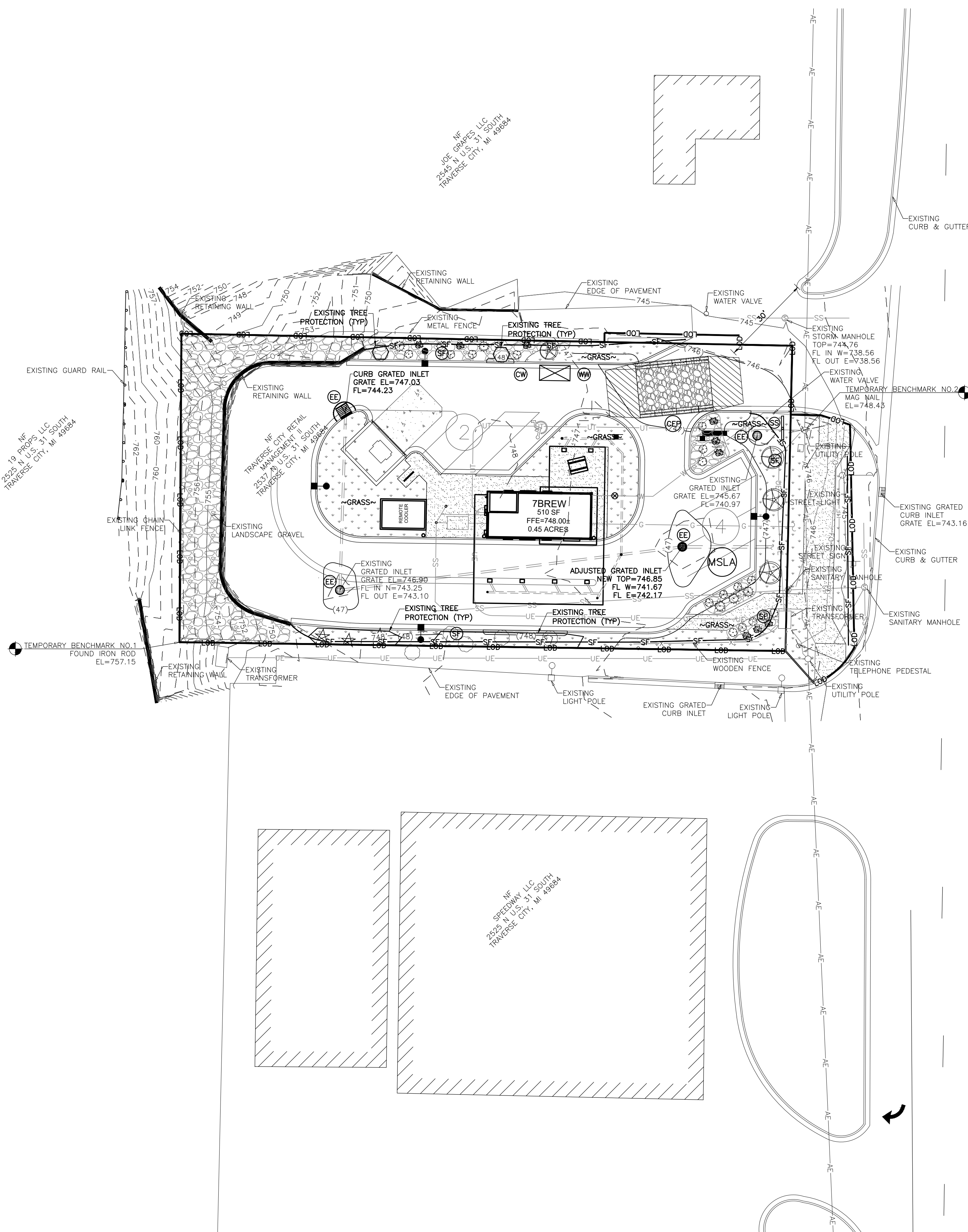
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ESC PLAN LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	—AE—
UNDERGROUND ELECTRIC	—UE—
UNDERGROUND TELEPHONE	—UT—
GAS LINE	—G—
FIBER OPTIC LINE	—FO—
WATERLINE	—W—
SANITARY SEWER	—SS—
STORM SEWER	-----
EASEMENT	-----
PROPERTY LINE	-----
CONTOURS	---100---
UTILITY POLE	o
GUARD POST	oP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CLEANOUT	o



N.U.S. 315
(ASPHALT PAVEMENT)

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
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SHEET NAME
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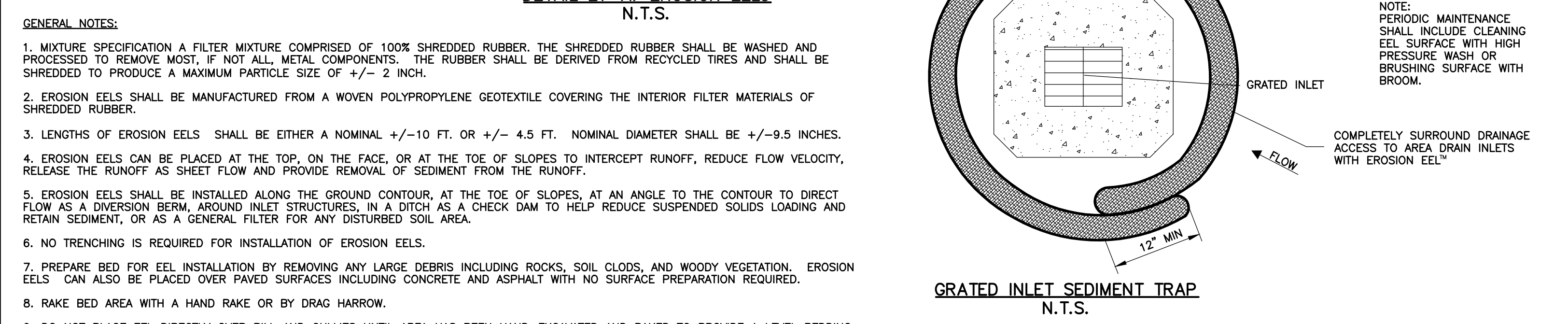
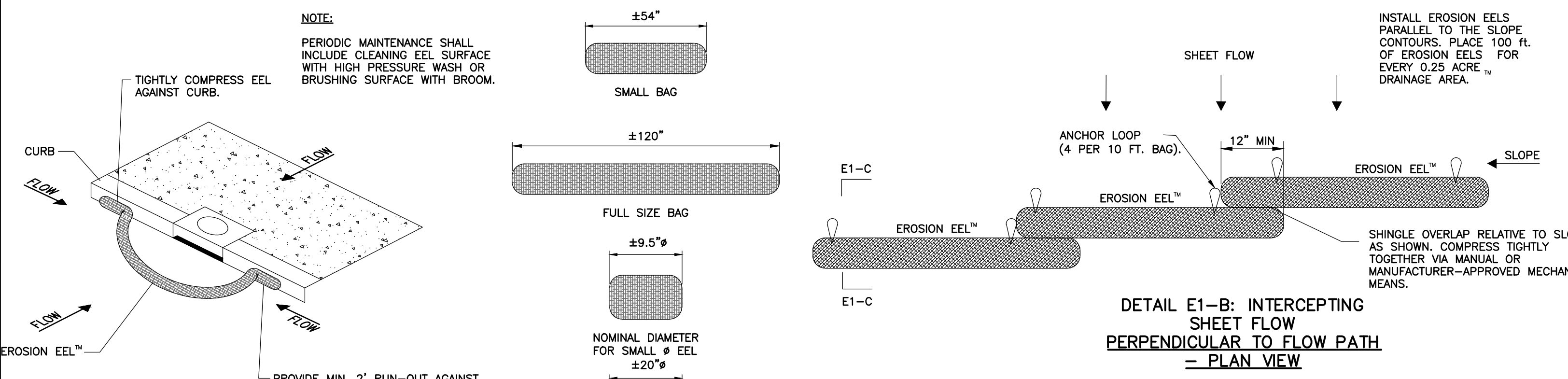
ESC-2

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
State of Michigan Date
Registered Professional Engineer
for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090



GENERAL NOTES:

- MIXTURE SPECIFICATION A FILTER MIXTURE COMPRISED OF 100% SHREDDED RUBBER. THE SHREDDED RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOST, IF NOT ALL, METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 2 INCH.
- EROSION EELS SHALL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE GEOTEXTILE COVERING THE INTERIOR FILTER MATERIALS OF SHREDDED RUBBER.
- LENGTHS OF EROSION EELS SHALL BE EITHER A NOMINAL +/-10 FT. OR +/- 4.5 FT. NOMINAL DIAMETER SHALL BE +/-9.5 INCHES.
- EROSION EELS CAN BE PLACED AT THE TOP, ON THE FACE, OR AT THE TOE OF SLOPES TO INTERCEPT RUNOFF, REDUCE FLOW VELOCITY, RELEASE THE RUNOFF AS SHEET FLOW AND PROVIDE REMOVAL OF SEDIMENT FROM THE RUNOFF.
- EROSION EELS SHALL BE INSTALLED ALONG THE GROUND CONTOUR, AT THE TOE OF SLOPES, AT AN ANGLE TO THE CONTOUR TO DIRECT FLOW AS A DIVERSION BERM, AROUND INLET STRUCTURES, IN A DITCH AS A CHECK DAM TO HELP REDUCE SUSPENDED SOLIDS LOADING AND RETAIN SEDIMENT, OR AS A GENERAL FILTER FOR ANY DISTURBED SOIL AREA.
- NO TRENCHING IS REQUIRED FOR INSTALLATION OF EROSION EELS.
- PREPARE BED FOR EEL INSTALLATION BY REMOVING ANY LARGE DEBRIS INCLUDING ROCKS, SOIL CLODS, AND WOODY VEGETATION. EROSION EELS CAN ALSO BE PLACED OVER PAVED SURFACES INCLUDING CONCRETE AND ASPHALT WITH NO SURFACE PREPARATION REQUIRED.
- RAKE BED AREA WITH A HAND RAKE OR BY DRAG HARROW.
- DO NOT PLACE EEL DIRECTLY OVER RILL AND GULLIES UNTIL AREA HAS BEEN HAND-EXCAVATED AND RAKED TO PROVIDE A LEVEL BEDDING SURFACE. ALL SURFACES SHALL BE UNIFORMLY COMPACTED FOR MAXIMUM SEATING OF EELS IN PLACE.
- FOR LOCATIONS WHERE EELS WILL BE PLACED IN CONCENTRATED FLOWS (SUCH AS CHECK DAMS, INLET PROTECTION) AND FOR PERIMETER CONTROLS AT PRIMARY DISCHARGE LOCATIONS, BED THE EELS IN A FLOCMAT CRADLE.
- FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 10 ACRES.
- IF MORE THAN ONE EROSION EEL IS PLACED IN A ROW, THE EELS SHALL BE OVERLAPPED A MINIMUM OF 12 INCHES TO PREVENT FLOW AND SEDIMENT FROM PASSING THROUGH THE FIELD JOINT. COMPRESS THE TWO EELS OF THE OVERLAP TIGHTLY TOGETHER EITHER BY HAND OR MANUFACTURER-APPROVED MECHANIZED MEANS.
- REMOVE SEDIMENT AND DEBRIS WHEN ACCUMULATION REACHES 50% OF THE STORAGE HEIGHT BEHIND THE SINGLE OF STACKED EEL ARRANGEMENT. DISPOSE OF SEDIMENT AND DEBRIS AT AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- WHEN USED IN DITCHES AS A CHECK DAM, EROSION EELS SHALL BE INSTALLED PER MANUFACTURER'S DETAILS.
- FOR CHECK DAM APPLICATIONS, EROSION EELS SHALL BE PLACED PERPENDICULAR TO THE FLOW OF THE WATER. EROSION EELS SHALL CONTINUE UP THE SIDES SLOPES A MINIMUM OF 3 FEET ABOVE THE DESIGN FLOW DEPTH.
- EROSION EELS SHALL REMAIN IN PLACE UNTIL FULLY ESTABLISHED VEGETATION HAS COMPLETELY DEVELOPED OR UNTIL THE STORAGE CAPACITY/FUNCTIONAL LIFE OF THE EEL HAS BEEN EXHAUSTED (REQUIRING REPLACEMENT WITH NEW EELS).
- ANCHORING POSTS FOR CHECK DAM APPLICATIONS SHALL HAVE A MINIMUM WEIGHT OF 1.25 LBS/FT STEEL T-POSTS (5 TO 7 FT. LENGTHS) ROLLED FROM HIGH CARBON STEEL. POSTS SHOULD BE HOT-DIP GALVANIZED OR COATED WITH A WEATHER-RESISTANT PAINT FOR STEEL APPLICATION. POSTS SHOULD BE EQUIPPED WITH A METAL ANCHOR PLATE. INSTALL PER DETAILS ON THIS SHEET.
- PLACE T-POSTS THROUGH HANDLE OF BAGS. DO NOT DRIVE POSTS THROUGH EROSION EELS. T-POSTS ARE TO BE EMBEDDED A MINIMUM OF 2 FT INTO GROUND.

GRATED INLET SEDIMENT TRAP N.T.S.

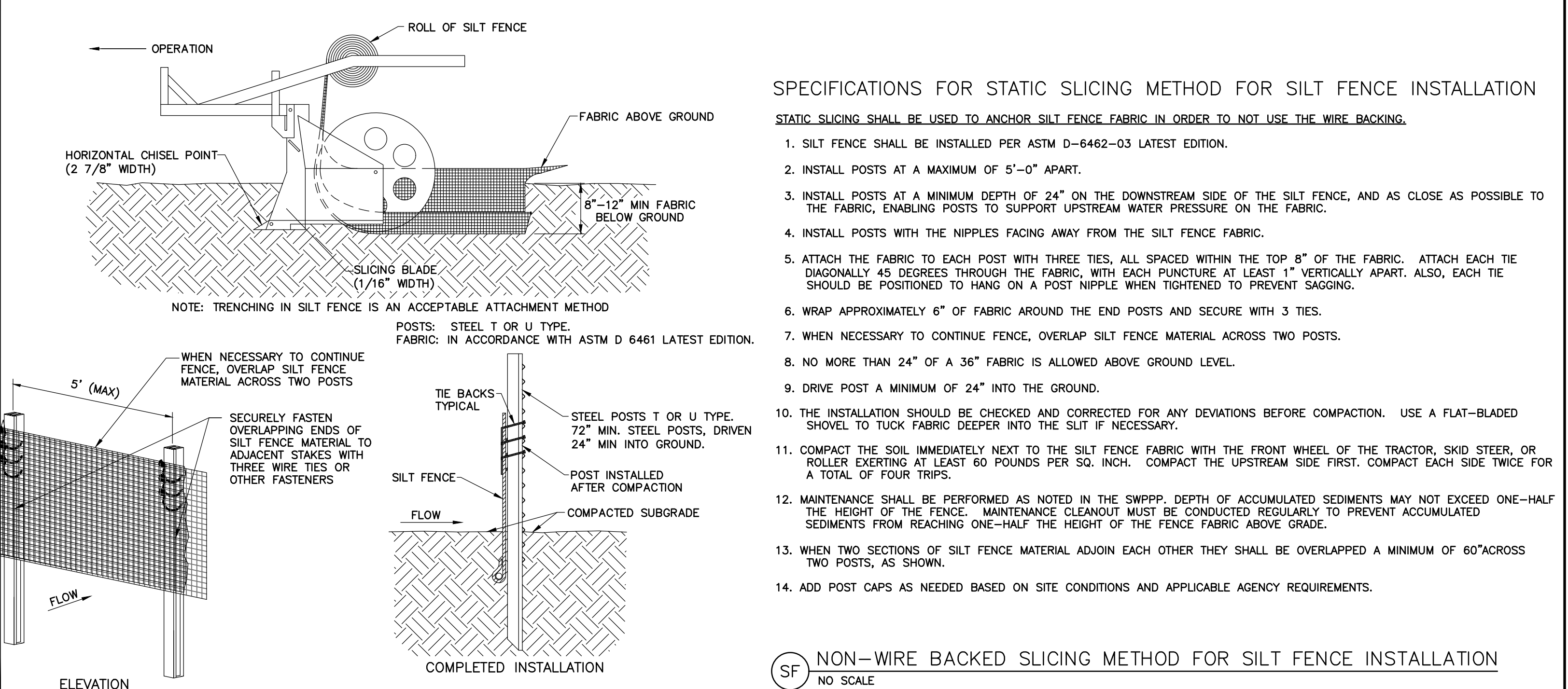
SPACING RECOMMENDATIONS FOR THE EROSION EEL™ FOR PERIMETER CONTROLS AND INTERCEPTING SHEET FLOW ON SLOPES

SLOPE(%)	SINGLE EEL SPACING(ft)	* STACKED DUAL EEL SPACING(ft)
0.5	300	N/A
1	200	N/A
2	150	N/A
3	80	N/A
4	50	N/A
5	40	N/A
6	35	N/A
8	30	N/A
10	25	N/A
15	+17	N/A
20	+12	+25
25	N/A	+15
33	N/A	+10
50	N/A	+6

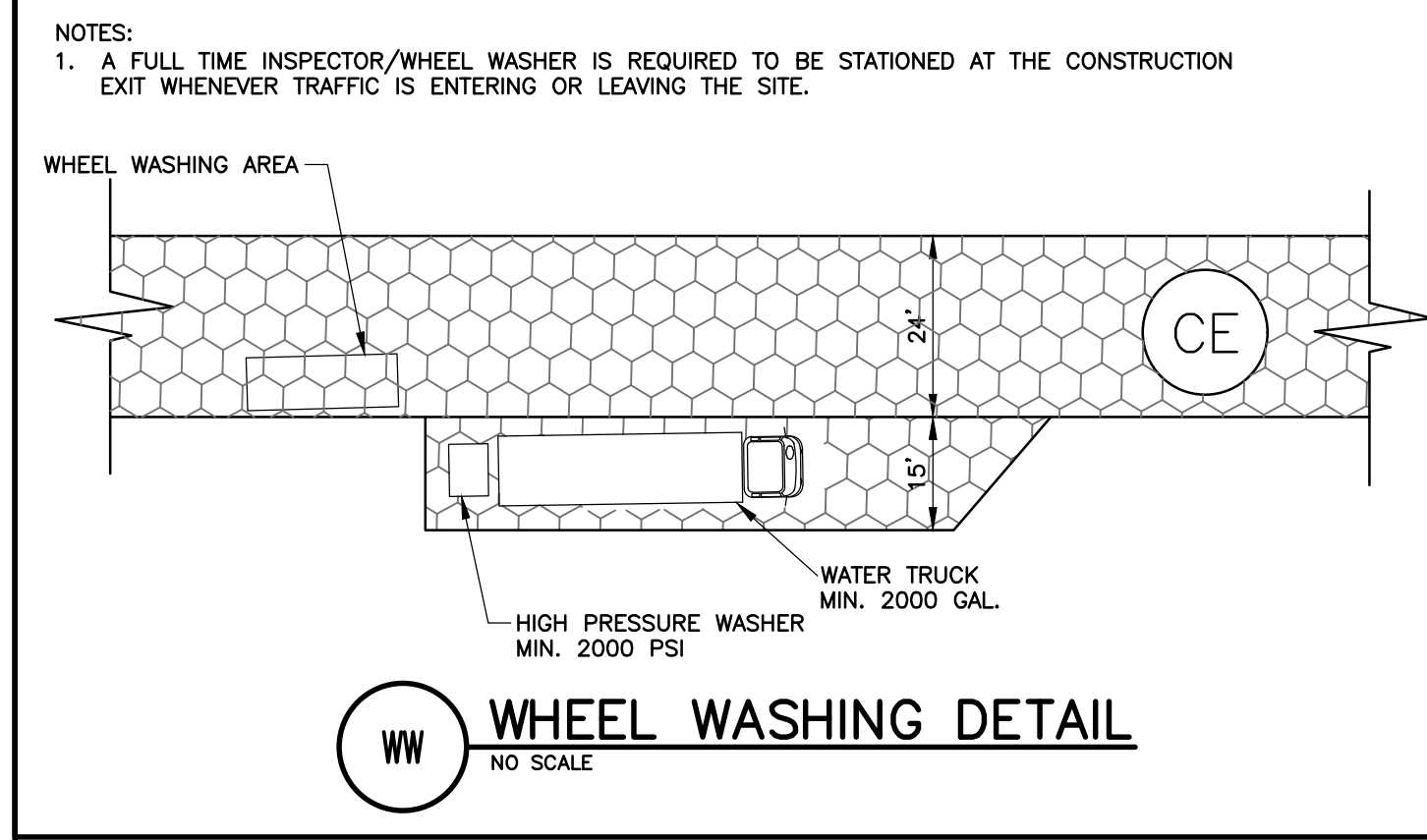
* DUAL STACK REFERS TO TWO EELS STACKED ATOP ONE ANOTHER AND STABILIZED WITH T-POSTS.

+ PLACE STAKES BEHIND EELS @ 24" C/C SPACING.

CONTACT INFORMATION
 FRIENDLY ENVIRONMENT
 100 PRINCE STREET
 SHELBYVILLE, TN 37160
 1-866-H2O-EELS
 INFO@FRIENDLYENVIRONMENT.COM
 http://FRIENDLYENVIRONMENT.COM/INDEX.HTML

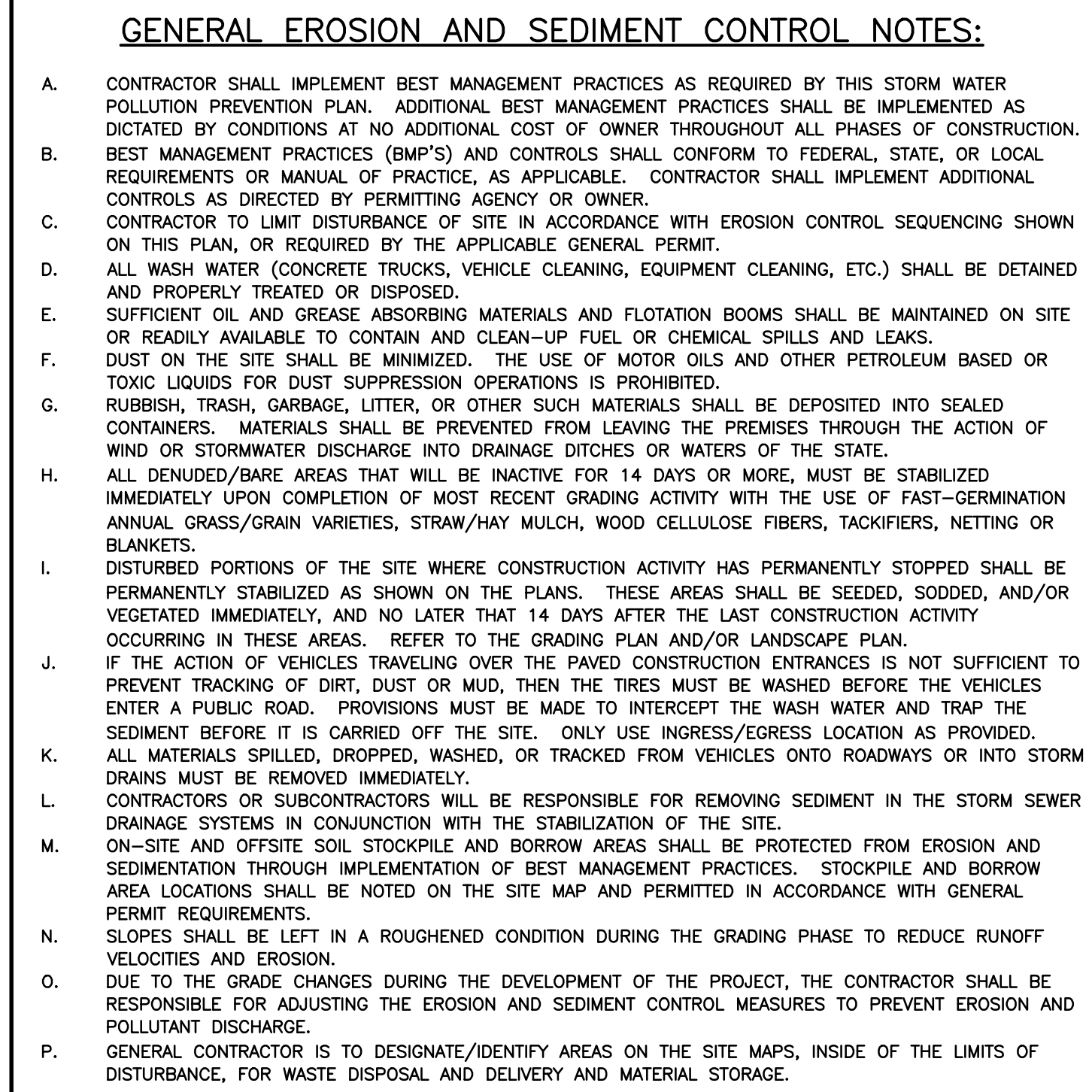


LAST REVISED: BFA STANDARD DETAIL
 JULY 2014



GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR REQUIRED BY THE APPLICABLE GENERAL PERMIT.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL DENUDE/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY WITH THE USE OF FAST-GERMINATION ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEED, SOODED, AND/OR VEGETATED IMMEDIATELY, AND NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE PAVED CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATION AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.



BMP MAINTENANCE EROSION NOTES:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

FOR REVIEW ONLY

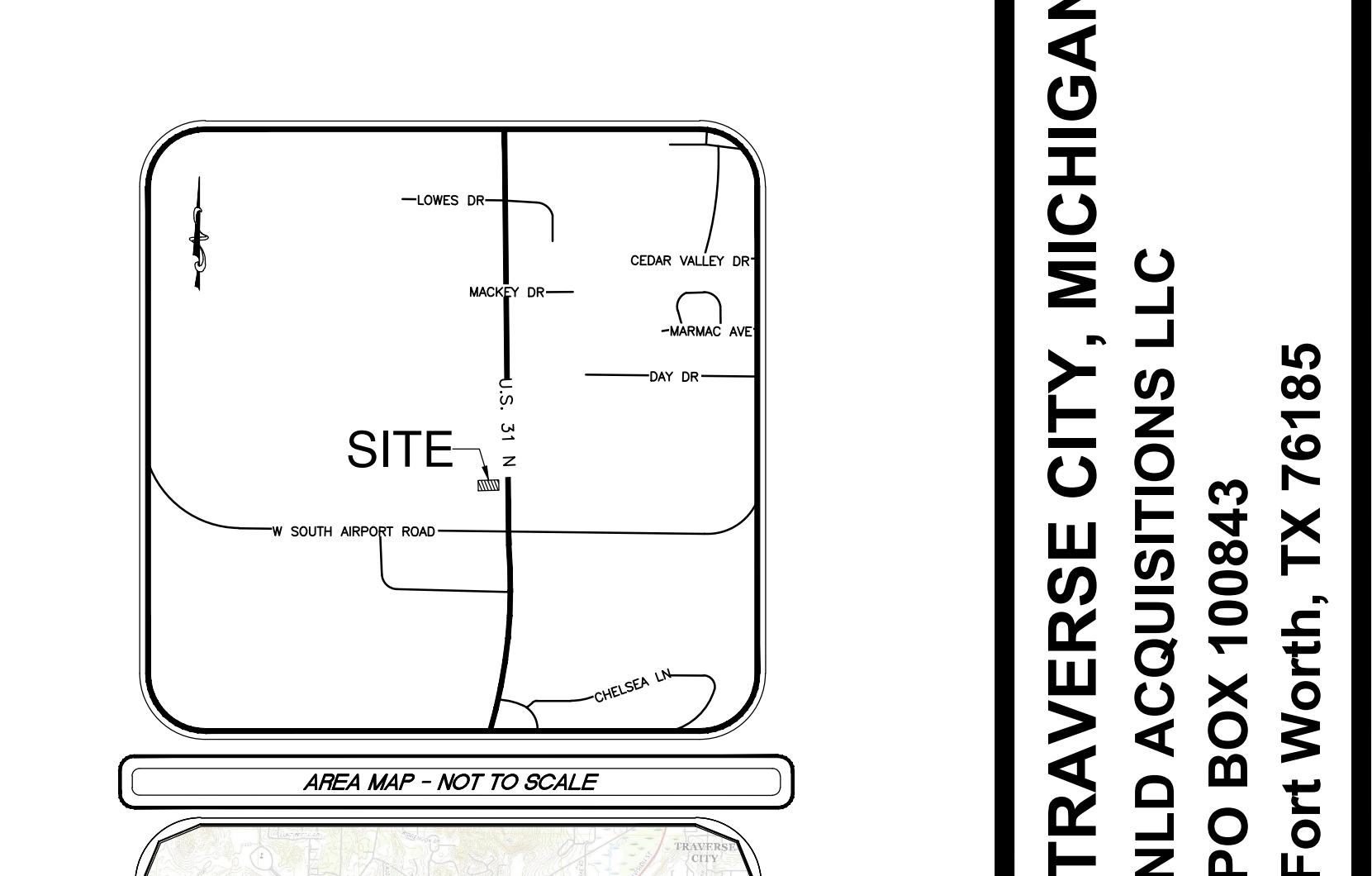
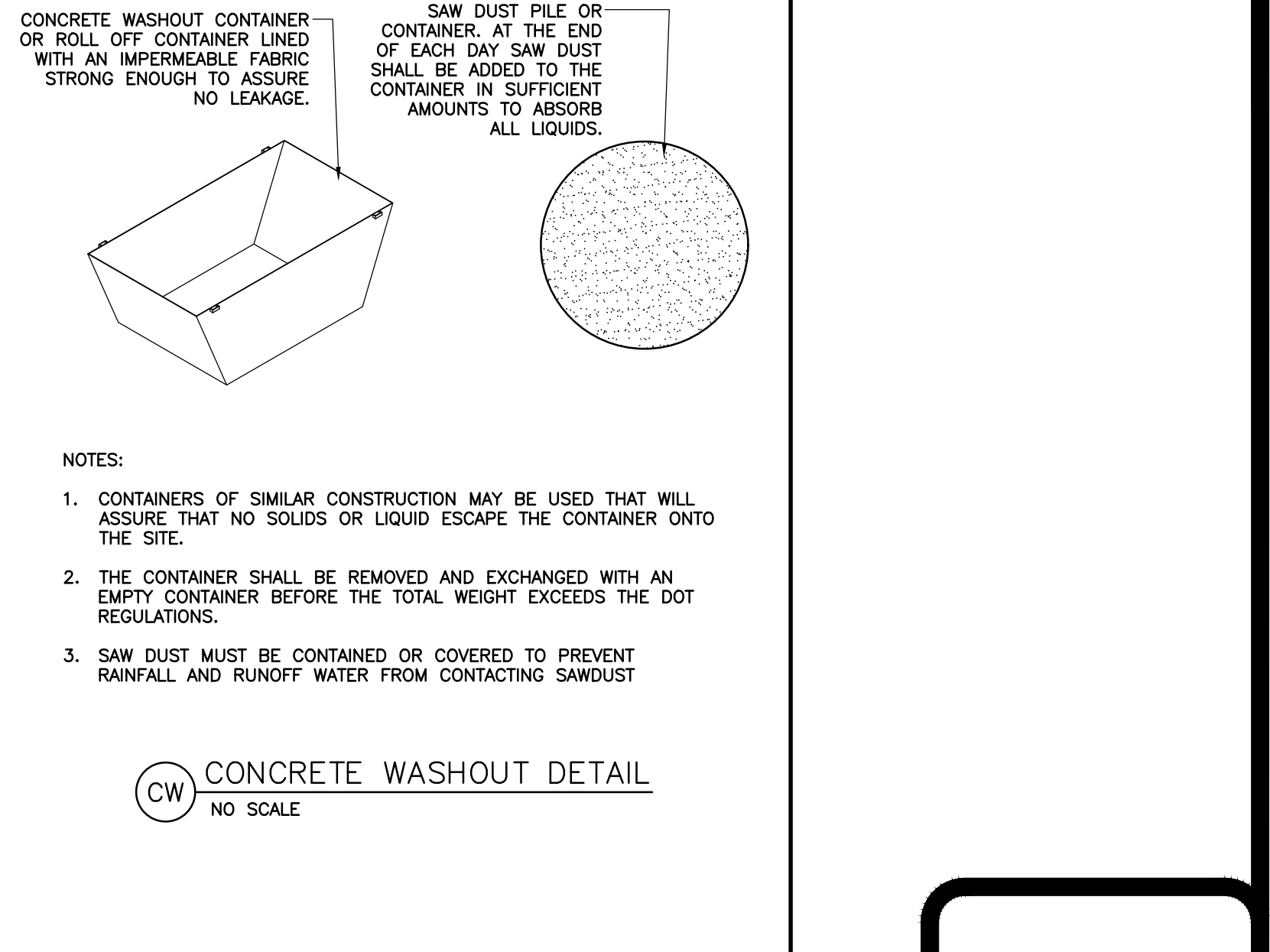
STATE OF MICHIGAN
 LICENSED PROFESSIONAL ENGINEER
 RAYMOND H. FRANKENBERG II
 ENGINEER
 No. 42538
 Date 06/30/22

Raymond H. Frankenberg II, P.E. #42538
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of constructor required by these plans.

SCALE NONE
 JOB No. 7146
 SHEET NAME ESC DETAIL SHEET 1



REVISIONS

No.	By:	App:
1		
2		
3		
4		

TRAVERSE CITY, MICHIGAN
 NLD ACQUISITIONS LLC
 PO BOX 100843
 Fort Worth, TX 76185

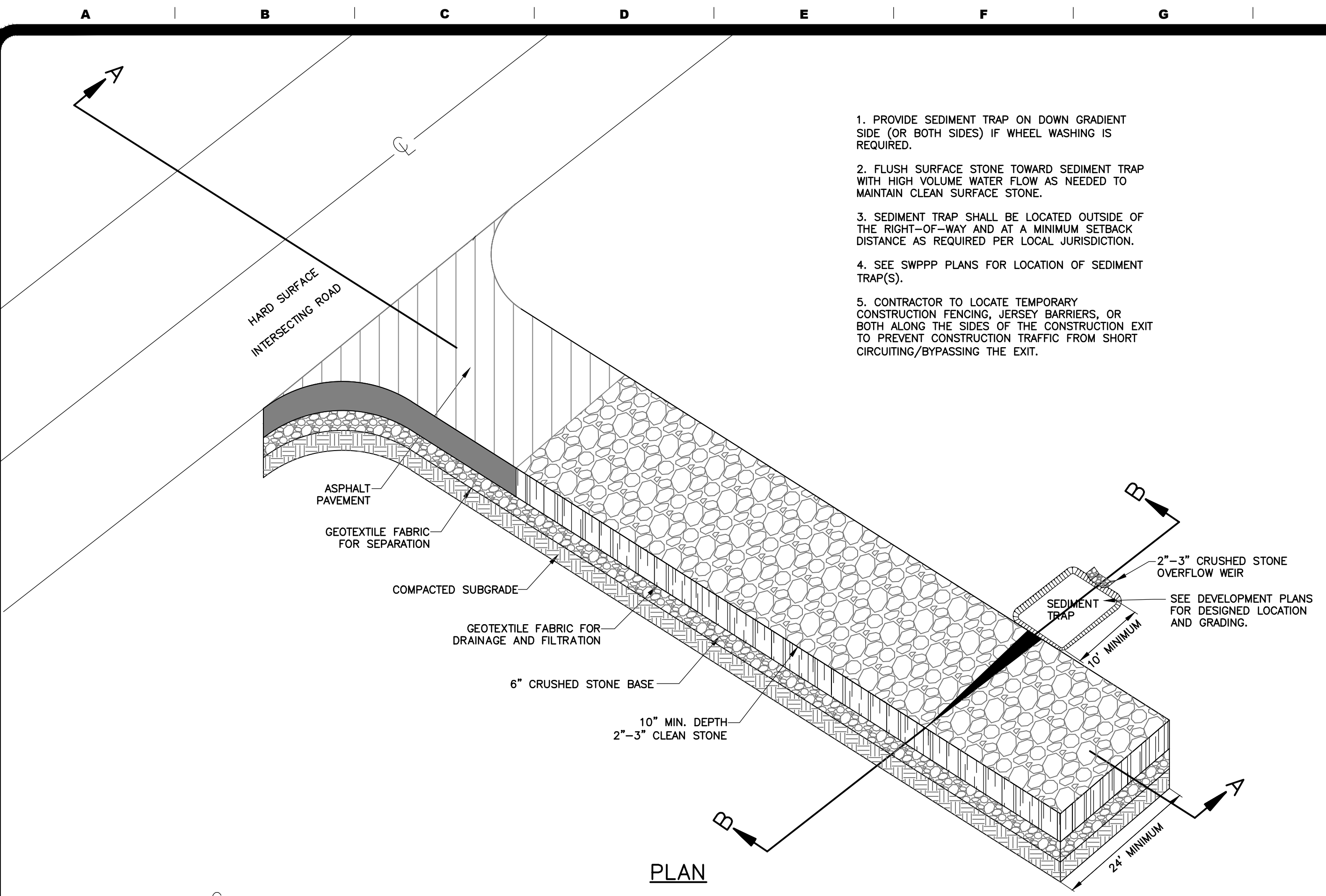
BFA
 Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

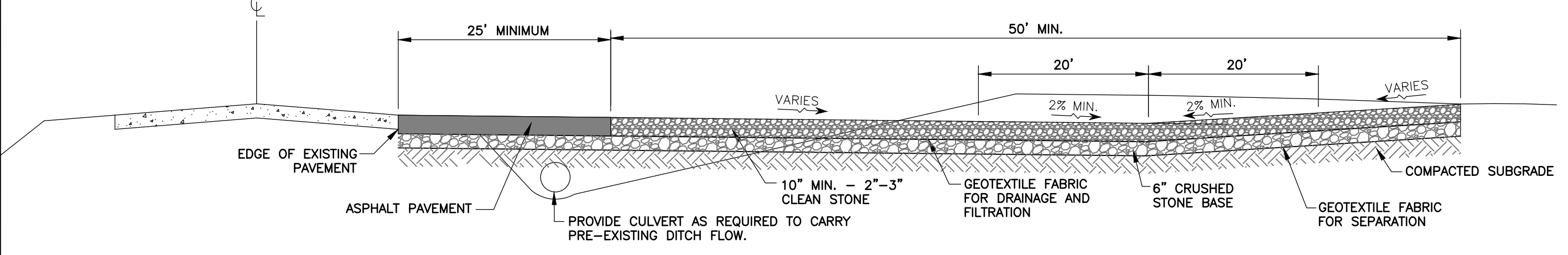
TELEPHONE: (636) 239-4751

ESC-3

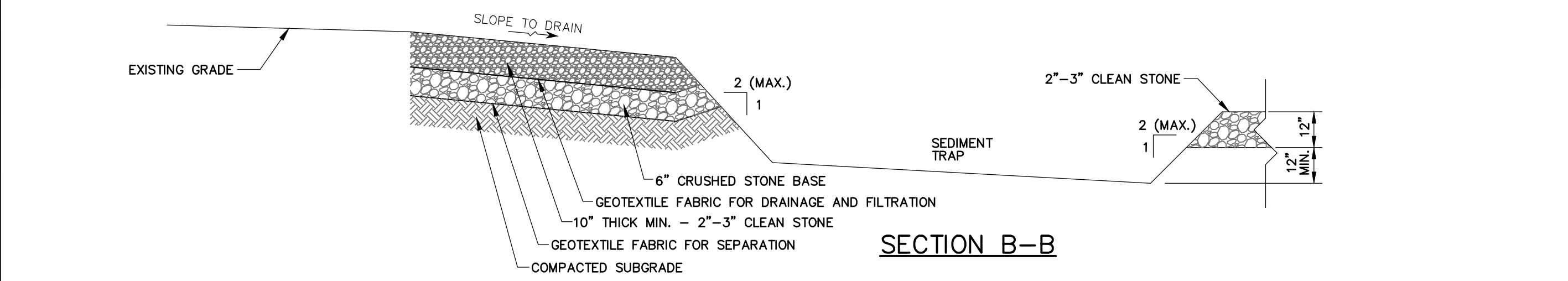
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) IF WHEEL WASHING IS REQUIRED.
2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
3. SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
4. SEE SWPPP PLANS FOR LOCATION OF SEDIMENT TRAP(S).
5. CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CIRCUITING/BYPASSING THE EXIT.



PLAN



SECTION A-A



SECTION B-B

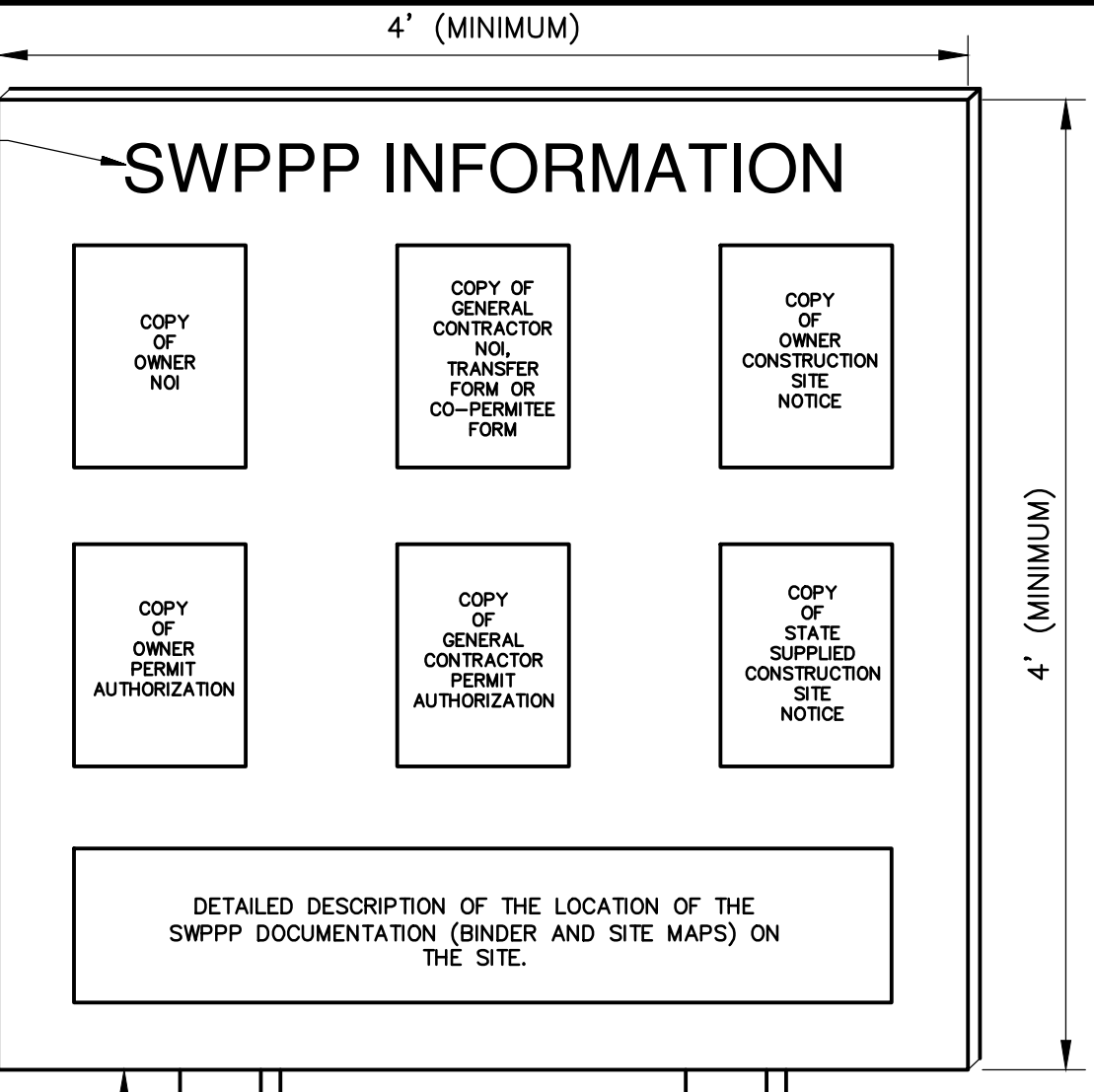
CONSTRUCTION EXIT DETAIL

CE NO SCALE

- NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
 2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
 3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF UTILIZED.
 4. SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED.
 5. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS IN THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (STONE, PAVEMENT, BUILDINGS, ETC.).
 6. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR A ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE TACKIFIED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
 7. ALL AREAS TO BE SEEDING MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS.
 8. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PROVIDES PERMANENT STABILIZATION WITH A UNIFORM DENSITY GREATER THAN 70 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THIS AREA IS EXCLUSIVE OF AREAS THAT ARE COVERED WITH ROCK (CRUSHED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

SD PS PERMANENT SEEDING, SOD OR MULCHING

"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.



SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).

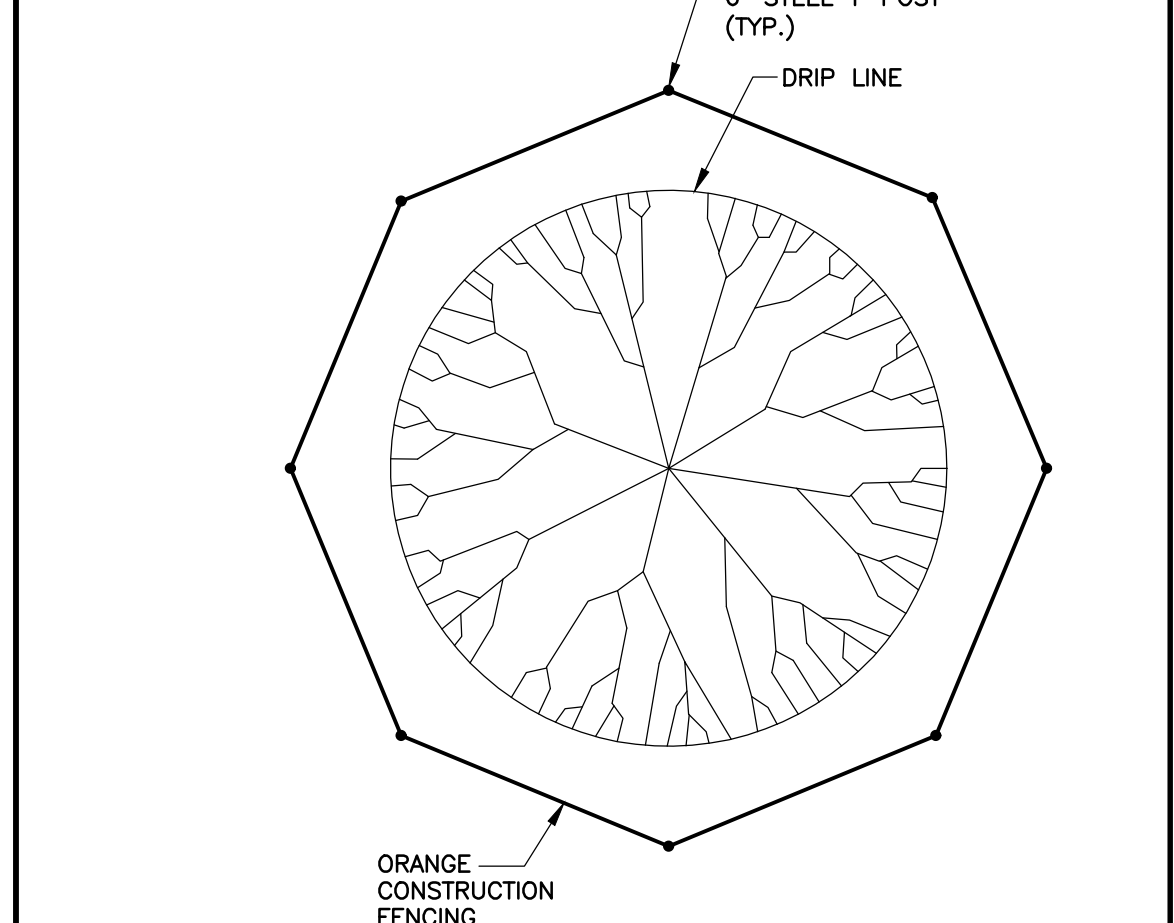
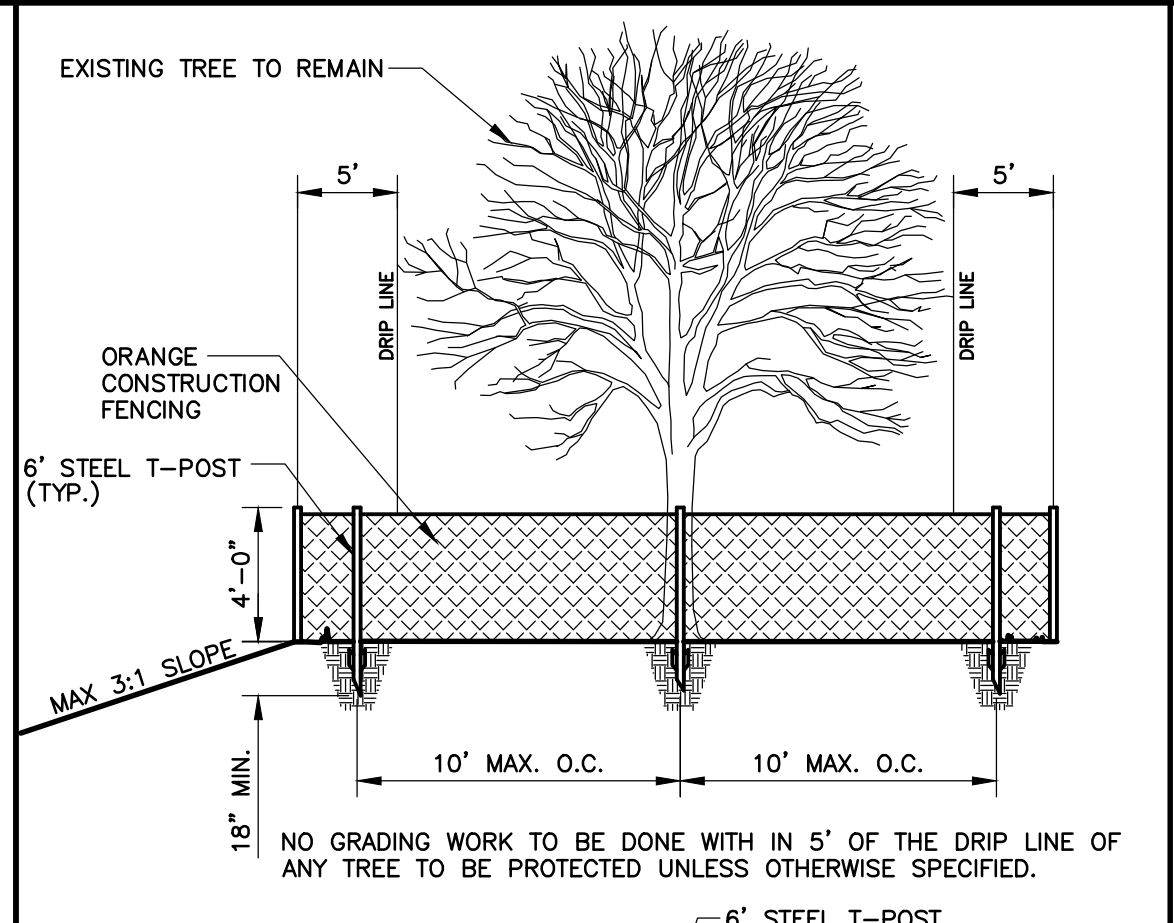
NOTES:

1. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
3. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
4. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN DETAIL

NO SCALE

SS



TREE PROTECTION FENCE DETAIL

NO SCALE

(TO BE REMOVED AT END OF CONSTRUCTION)

TRAVERSE CITY, MICHIGAN
 NLD ACQUISITIONS LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	
By:	App:
2	
By:	App:
3	
By:	App:
4	
By:	App:

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

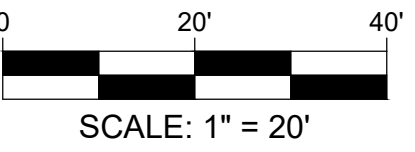
Raymond H. Frankenberg II, P.E. #42538 06/30/22 Date
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 06/30/22
 SCALE NONE
 JOB No. 7146
 SHEET NAME ESC DETAIL SHEET 2
 ESC-4

GRADING PLAN



GRADING NOTES:

- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
 Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD83 (2011) (INTERNATIONAL FOOT).
 Temporary Benchmark No. 1 - Found Iron Rod South West corner
 Northing = 515655.877
 Easting = 19352258.934
 Elevation = 757.15
 Temporary Benchmark No. 2 - Mag Nail in utility pole located on south side of the north entrance to the site.
 Northing = 515725.424
 Easting = 19352463.482
 Elevation = 748.43
- This site scales within Zone X, Defined as areas of determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 26055C0207C dated, August 28, 2018.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- All unsurfaced areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- The earthwork for all building foundations and slabs shall be in accordance with Building Plans & Specifications, unless otherwise noted.
- The contractor is responsible for keeping storm water run-off and sediment under control during construction. All contractors shall refer to the Erosion and Sediment Control Plan throughout construction.
- The Contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in low areas on the site will most likely be required during construction. Also pumping of ground water in utility trenches and deep excavations will be required during construction.
- The sitework for this project shall meet or exceed applicable AHJ Specifications, permit requirements, and/or manufacturer specifications.
- Contractor shall refer to architectural plans for exact locations and dimensions of entrances, exit doors, downspouts, roof drains, precise building dimensions, and exact building utility entrance locations.
- Layers of pavement shall be placed perpendicular to each other with the final layer perpendicular to the finished contours on parking lot.
- Contractor shall refer to architectural plans for exact locations and dimensions of entrances, exit doors, downspouts, roof drains, precise building dimensions, and exact building utility entrance locations.
- Layers of pavement shall be placed perpendicular to each other with the final layer perpendicular to the finished contours on parking lot.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the Contractors expense.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the contractor.
- Prior to placement of the base rock within the parking lot, the entire area shall be proof rolled with a loaded tandem axle dump truck, having no more than 3 axles and weighing a minimum of 40,000 pounds.
- Due to seasonal variations in rainfall and the groundwater level, the Contractor may be required to use light earth moving equipment to minimize pumping.
- The Contractor shall grade all areas to drain in order to prevent ponding water. The minimum allowable slope on all paved surfaces shall be 1 percent.
- The minimum depth of cover for waterlines on this site is 72 inches. Actual depths of waterlines may vary.
- Unless indicated otherwise, all waterline and sanitary sewer crossings shall have a minimum 18 inch vertical separation and 10 feet horizontal separation. The Contractor shall note that the depths of existing utilities have been provided from information provided by various utility companies and is to be considered approximate. If the minimum separations cannot be constructed as shown the Contractor shall notify the BFA and appropriate modifications will be issued.
- All landscaping, paving, curbing, utilities, etc. adjacent to public right-of-way disturbed by construction activities (grading, utilities, sidewalk, etc.) shall be improved to new condition.
- All ramps and sidewalks shall meet jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalk routes exceeding 1'x20' shall be constructed as ramps) that have a vertical change greater than 6 inches. Cross slopes on all sidewalks shall not exceed 2 percent.
- All landscapes/planter areas adjacent to the building shall allow for proper stormwater/irrigation drainage. Where storm structures or storm pipes are readily available, the contractor shall install 4" diameter drain tile and connect to the storm sewer. 2" diameter PVC weep holes shall also be provided in adjacent curb @ 48" O.C. to release at pavement grade.

SOIL PREPARATION AND COMPACTION

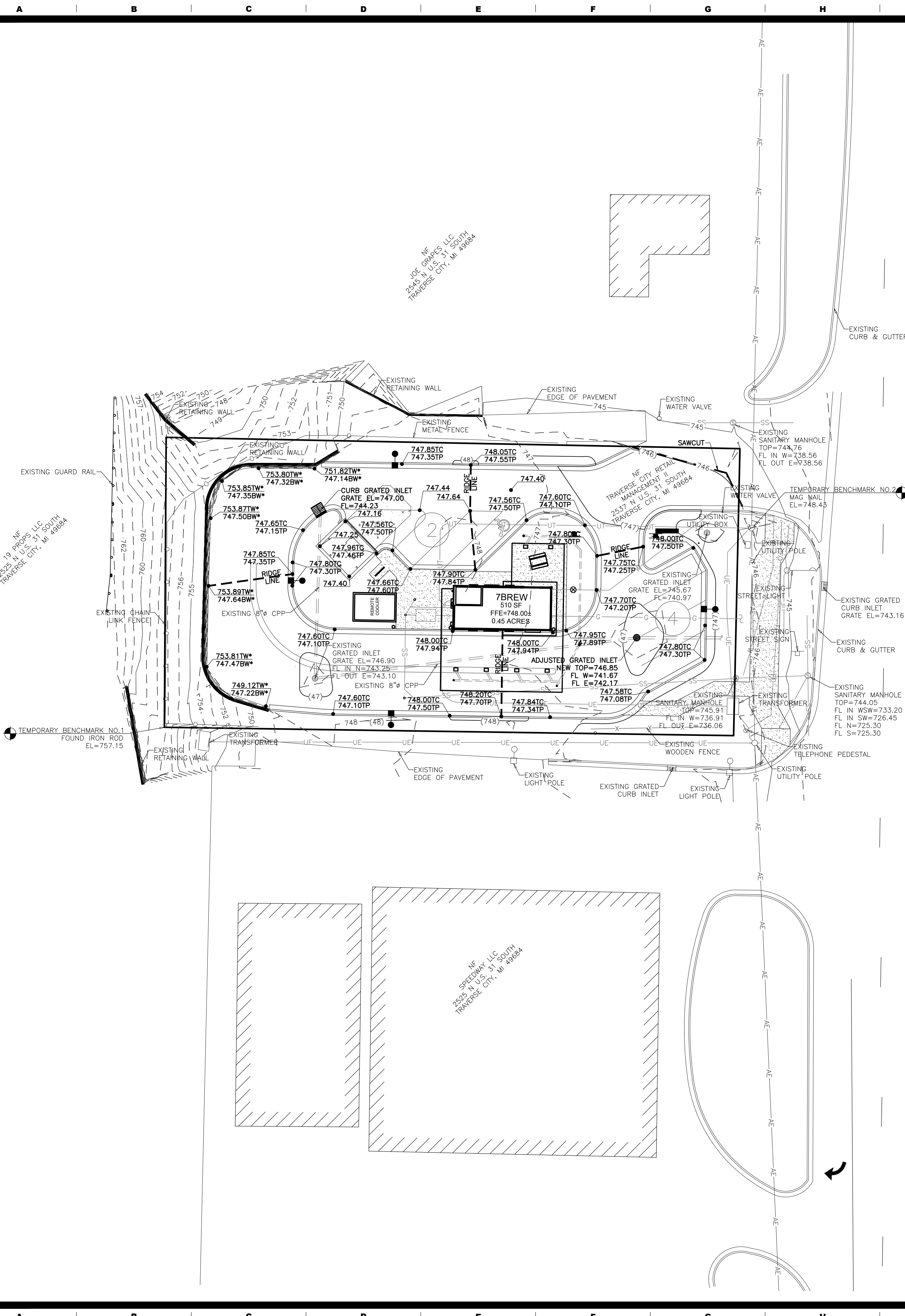
Within all construction areas and five feet beyond, existing utilities, structures, foundations, footings, slabs, pavements, and related below-grade components to be abandoned shall be properly demolished and the debris removed from the site, unless specifically noted otherwise. Existing utilities, cisterns and septic fields, as well as their associated backfill, shall be removed from the site, unless specifically noted to remain. Excavations resulting from the removal of existing site improvements shall be backfilled with properly compacted fill material meeting site specific specifications. Excavations shall be protected from extreme temperatures, precipitation, and construction disturbances. Areas to be cut or to receive fill shall be stripped of any surface vegetation and/or organic topsoil. The strippings shall be removed from the site and/or stockpiled for later placement in landscape or common ground areas. Masonry rubble, rocks, and pavement broken to less than 3 inches in maximum dimension may be used as fill, if properly blended with acceptable soil and placed as approved by the site testing firm. Prior to compaction, soils may require moisture adjustment. The entire site shall be proof-rolled by systematically passing over the subgrade to achieve complete coverage with proper compaction or loaded construction equipment, and observing the subgrade for pockets of excessively soft, wet, or otherwise unacceptable materials. Remove, replace, and/or repair unsuitable areas with suitable material meeting site specific geotechnical recommendations prior to placement of additional fill, then proof-roll again. Proof-roll passes shall be limited, particularly on silty subgrades, to reduce the potential for pumping of moisture from within the soil. Fill material shall be free of organics, debris, other deleterious material, shall contain no chemicals that may result in the material being classified as "contaminated", shall not contain rocks greater than three (3) inches in size, and shall be placed in loose lifts not to exceed eight (8) inches in thickness. Within building and pavement areas, fill material shall be mechanically compacted to at least 98 percent of its Standard Proctor maximum dry density (ASTM D 698) within a moisture content range of 2% of the soil's optimum moisture content for lean clays and 0% to 4% above optimum moisture content for lean to fat or fat clays. Moisture content for granular soils shall be at a workable level to allow for compaction and prevent undue pumping. Fill material shall be plastic with a maximum liquid limit of 50 and a maximum plasticity index of 30. Soils that become unstable due to moisture or disturbance shall be scarified, dried, and recompacted, or undercut to a suitable bearing subgrade and replaced with compacted fill material. Refer to the Building Plans for any additional earthwork criteria associated with the building pad preparation and to the geotechnical report for additional requirements, recommendations, and remediation associated with the site soils. All earthwork activities and soil remediation performed shall be included in the contractor's base bid.

TOP OF CURB	000.00TC
PAVEMENT ELEVATION @ CURB/SIDEWALK	000.00TP
INTERIOR PAVEMENT/ GROUND ELEVATIONS	000.00
GUTTER ELEVATION @ FACE OF CURB	000.00GC
ELEVATION TO MATCH EXISTING	000.00*
TOP OF SIDEWALK	000.00TS
TOP OF EXISTING RETAINING WALL	000.00TW
BOTTOM OF EXISTING RETAINING WALL	000.00BW

ABBREVIATION	DESCRIPTION
BHI	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
(R)	ADA ACCESSIBLE RAMP

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.



N.U.S. 315 (ASPHALT PAVEMENT)

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

No.	By:	App:
1		
2		
3		
4		

DRAWN B.L.F.
 CHECKED R.G.R.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7146
 SHEET NAME GRADING PLAN

FOR REVIEW ONLY

STATE OF MICHIGAN
 RAYMOND H. FRANKENBERG II
 ENGINEER
 No. 42538

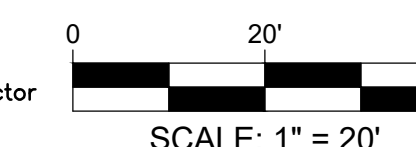
Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan Registered Professional Engineer for BFA, Inc. Date

bfaeng.com TELEPHONE: (636) 239-4751

BFA
Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

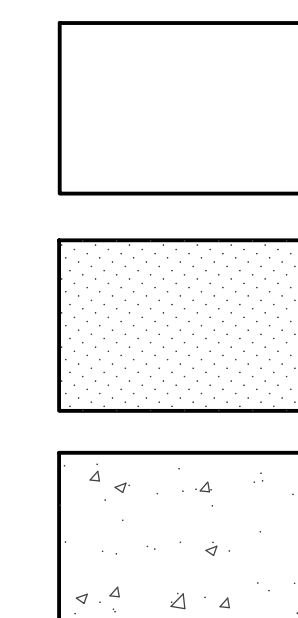
SITE PLAN



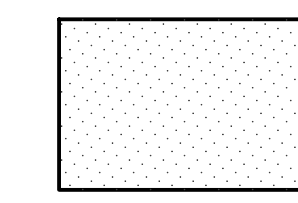
SITE NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
 Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD83 (2011) (INTERNATIONAL FOOT).
 Temporary Benchmark No. 1 - Found Iron Rod South West corner
 Northing = 515655.877
 Easting = 19352258.934
 Elevation = 757.15
 Temporary Benchmark No. 2 - Mag Nail in utility pole located on south side of the north entrance to the site.
 Northing = 515725.424
 Easting = 19352463.482
 Elevation = 748.43
- This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 26055C0207C, dated August 28, 2018.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractors expense.
- The sitework for this project shall meet or exceed industry standards and manufacturers specifications for each improvement feature.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions and radii are to the face of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- The edges of all pavement and curb sections to be removed and/or that will have new pavement/curb sections abutting them, shall be sawcut. Remaining pavement and curb sections shall have smooth, clean edges. This means additional sawcuts may be necessary depending on Contractor's Means and methods.
- This site is zoned C-G General Commercial District per Garfield Township, MI Zoning Code.
 Building setback lines as per Garfield Township, MI Zoning Code:
 Front Yard= 40' (60' W/ Drive Thru use)
 Side Yard= 10% of lot width, not less than 10'
 Rear Yard= 10% of lot width, not less than 10'
- All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalk routes exceeding 1'x20'H shall be constructed as ramps) that have a vertical change greater than 6 inches. Cross slopes on all sidewalks shall not exceed 2 percent.
- Pavement striping and/or markings shall be applied using two coats of the color specified on a clean surface, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.
- Signs are subject to sign permit review by Garfield Township.

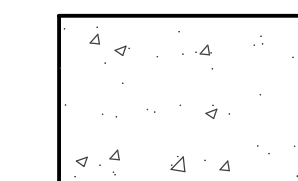
PAVEMENT LEGEND



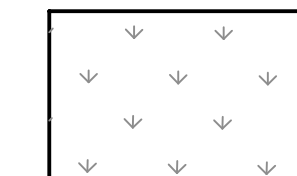
STANDARD DUTY PAVEMENT (SDP)



HEAVY DUTY PAVEMENT (HDP)



CONCRETE PAVEMENT



**SNOW STORAGE AREA
(1,275 SF PROVIDED BASED ON
10,390 SF OF PARKING AREA)**

ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
BHI	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
(R)	ADA ACCESSIBLE RAMP

NOTE:
EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA PONTI CONSULTANTS, INC. ON 05-02-22

SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	•	•
SANITARY MANHOLE	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▢	▢
CLEANOUT	•	•
GRADED INLET	■	■
GUARD RAIL	—	—
CHAINLINK/WOODEN FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

SITE PLAN LEGEND

- STRIPED AREA PAINTED SINGLE YELLOW SOLID LINE/ 4" AT 45° AT 2'-0" O.C.
- ENCLOSED DUMPSTER (SEE DETAILS BY OTHERS)
- HEAVY DUTY CONCRETE PAD FOR ENCLOSED DUMPSTER (ORIENT FOR TRUCK LOADING)
- ACCESSIBLE PARKING SPACE (TYP). SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN, SYMBOL AND STRIPING.
- PAINTED TRAFFIC ARROW (TYP).
- 24" CURB AND GUTTER (TYP). SEE DETAIL.
- STOP BAR
- EXISTING ELECTRIC TRANSFORMER FOR ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- LIGHT POLE (TYP)
- DOWNSPOUT FOR ROOF DRAIN (TO CONNECT TO STORM SEWER) (REF ARCH FOR EXACT LOCATIONS)
- PYLON SIGN (REF SIGNAGE BY OTHERS) (SIGNS ARE SUBJECT TO SIGN PERMIT REVIEW)
- 4'x6' CONCRETE PAD AND INVERTED "U" BIKE RACK (GLOBAL INDUSTRIES U-RACK, BLACK 2-BIKE FLANGE MOUNT OR EQUAL)
- 6" PIPE BOLLARD (TYPICAL, UNLESS NOTED OTHERWISE). SEE DETAIL. CONTRACTOR SHALL COORDINATE BOLLARD INSTALLATION WITH FOOTING, EXTERIOR FINISHES, ETC.

PARKING DATA

PROPOSED BUILDING: COFFEE SHOP 510 S.F.

TOWNSHIP REQUIRED PARKING:

RESTAURANT, DRIVE-THROUGH ONLY:
1 FOR EACH EMPLOYEE ON THE LARGEST WORKING SHIFT, PLUS 1 FOR EACH OUTDOOR TABLE (ASSUME 5 EMPLOYEES, 1 OUTDOOR TABLE)

TOTAL REQUIRED: 6 SPACES

PROVIDED STANDARD SPACES 5 SPACES
 PROVIDED H.C. ACCESSIBLE SPACES 1 SPACES
 PROVIDED TOTAL PARKING 6 SPACES

PROVIDED OVERALL PARKING RATIO: 11.76/1,000 S.F.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

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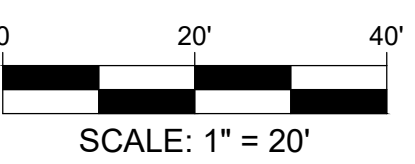
REVISIONS

NO.	DATE	BY	APP.
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B.L.F.
 CHECKED
J.B.S.
 DATE
06/30/22
 SCALE
1"=20'
 JOB No.
7146
 SHEET NAME
SITE PLAN

SP-1

UTILITY PLAN



UTILITY NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD83 (2011) (INTERNATIONAL FOOT).
- Temporary Benchmark No. 1- Found Iron Rod South West corner
 Northing = 515655.877
 Easting = 19352258.934
 Elevation = 757.15
- Temporary Benchmark No. 2- Mag Nail in utility pole located on south side of the north entrance to the site.
 Northing = 515725.424
 Easting = 19352463.482
 Elevation = 748.43'
- This site scales within Zone X, Defined as areas of determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 260550207C dated, August 28, 2018.
 - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installation.
 - Contractor to contact telephone, electric, gas, cable, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
 - The Contractor is responsible for keeping storm water run-off and sediment under control during construction. All contractors shall refer to Erosion and Sediment Control Plans throughout construction.
 - All survey monuments disturbed during construction shall be replaced at the Contractor's expense, by a surveyor licensed in the state in which this project is located, at the Contractor's expense.
 - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the contractor.
 - Contractor shall notify utility authorities inspectors at least 72 hours before connecting to any existing line. Underground utilities shall be installed, inspected and approved prior to backfilling.
 - Sanitary sewer pipe shall be PVC SDR 35.
 - Waterline: Unless otherwise required by local codes, waterlines that are for installation below grade and outside the building shall comply as follows: Pipe sizes 3-inch and smaller shall be Type K Copper, meeting ASTM D 2241, with ASTM D 1784 material classification. Pipe sizes 4 to 16 inches shall be PVC, AWWA C900, rated DR 18 (class 150). Waterlines shall have a minimum of 72 inches of cover below finish grade, unless otherwise indicated on plans. PVC pipe and fittings shall be installed in accordance with AWWA C605. Ductile iron pipe and fittings shall be installed in accordance with AWWA C600.
 - Contractor shall provide all waterline tees, valves, bends, tapping sleeves, meters, meter pits, fire hydrants, etc. necessary to construct the waterlines as shown on these plans. Thrust blocking shall be provided at all tees, bends and fire hydrants.
 - All flared end sections shall be RCP or CMP. Flared end sections that are CPP will not be allowed. Connections must be soil tight.
 - Contractor shall obtain and follow installation requirements for storm sewer from pipe manufactures for each type of piping material.
 - Contractor shall coordinate adjustments to existing utilities with appropriate utility company as work progresses. All costs shall be paid by the Contractor.
 - Utility Contractor shall be responsible for all taping and tie-in fees, as well as cost of service connections. Utility Contractor shall coordinate and schedule site inspections for all utility infrastructure improvements with authorities having jurisdiction prior to construction commencement and again prior to backfill placement. All required inspections shall be the responsibility of the contractor.
 - Unless indicated otherwise, all waterline and sanitary sewer crossings shall have a minimum 18 inch vertical separation and 10 feet horizontal separation. The Contractor shall note that the depths of existing utilities have been plotted from information provided by various utility companies and is to be considered approximate. If the minimum separations cannot be constructed as shown the Contractor shall notify BFA and appropriate modifications will be issued.
 - Verify location of all existing utilities to be crossed and identify potential conflicts prior to starting construction.
 - Location of site utilities shall be verified by General Contractor the proper utility company providing service.
 - General Contractor shall provide 2"x2"x8" thick concrete apron at all cleanouts, valves and meters. See Detail.
 - General Contractor will be responsible for all tap and tie on fees required, as well as cost of underground service connections to the building.
 - Contractor will be responsible for installing all 4" underground conduit from the electrical connection to the pad mounted transformer. Top of conduit shall be a minimum of 48" below finished grade, have a pull cord installed, and have no more than three (3) 90° bends. Contractor is also responsible for the wire from the pad mounted transformer to the building. Electric service connection shall be coordinated with Consumers Energy.
 - Thrust blocks shall be provided at all bends, tees, and fire hydrants.
 - Dimensions shown are to centerline of pipe or fitting.
 - All fire hydrants shall be provided with an approved gate valve a maximum of 5'-0" from hydrant.
 - All trenching, pipe laying, and backfilling shall be in accordance with federal OSHA Regulations.
 - General Contractor shall have approval of all governing agencies having jurisdiction over utility infrastructure systems prior to installation.
 - All parking lot lighting poles and fixtures with lamps and paint will be provided by owner and installed by the Electrical Contractor. The Electrical Contractor shall provide owner a one-year warranty certificate. All incurred costs for receiving, storage, liability and warranty labor shall be included in the installation and contract price. Refer to architectural plans for location and layout of conduit and wiring.
 - Contractor is cautioned of existing underground and above ground utilities that will be crossed and/or that are in the vicinity of proposed improvements shown hereon. Contractor shall locate all existing utilities and shall provide temporary support for them, as needed, for the construction of the proposed site and utility infrastructure improvements.
 - The Contractor shall provide a line item cost for irrigation to landscaping and lawn in their Design Build pricing. Contractor shall verify with the Developer prior to construction to confirm installation. The Contractor shall coordinate with water service provider for separate water meter for landscape/irrigation.
 - Contractor shall coordinate Gas Service Connection with Gas Company.

UTILITY PLAN LEGEND

1	WATER VALVE
2	EXISTING WATER METER/VALVE (COORDINATE METER SIZE, LOCATION, AND REQUIREMENTS W/ PROVIDER)
3	1" DOMESTIC WATERLINE W/ TRACER WIRE
4	GREASE INTERCEPTOR (REF MEP)
5	(2) SETS OF 4" PVC CONDUITS FOR ELECTRIC WITH PULL ROPE
6	EXISTING ELECTRIC TRANSFORMER (COORDINATE CONNECTION W/ LOCAL POWER COMPANY)
7	DOWNSPOUTS (TO CONNECT TO STORM SEWER)
8	(2) 3" CONDUITS FOR TELEPHONE/INTERNET SERVICE
9	LIGHT POLE (TYP)

LEGEND

DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	=====	=====
EASEMENT	-----	-----
PROPERTY LINE	-----	-----
CHAINLINK FENCE	—○—	—○—
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	●	○
WATER VALVE	+	+
FIRE HYDRANT	+	+
CATCH BASIN	■	■
JUNCTION BOX	●	○
FLARED END SECTION	⊠	⊠
CLEANOUT	•	•
GRATED INLET	■	■
DRAINTILE	—DT—	—DT—

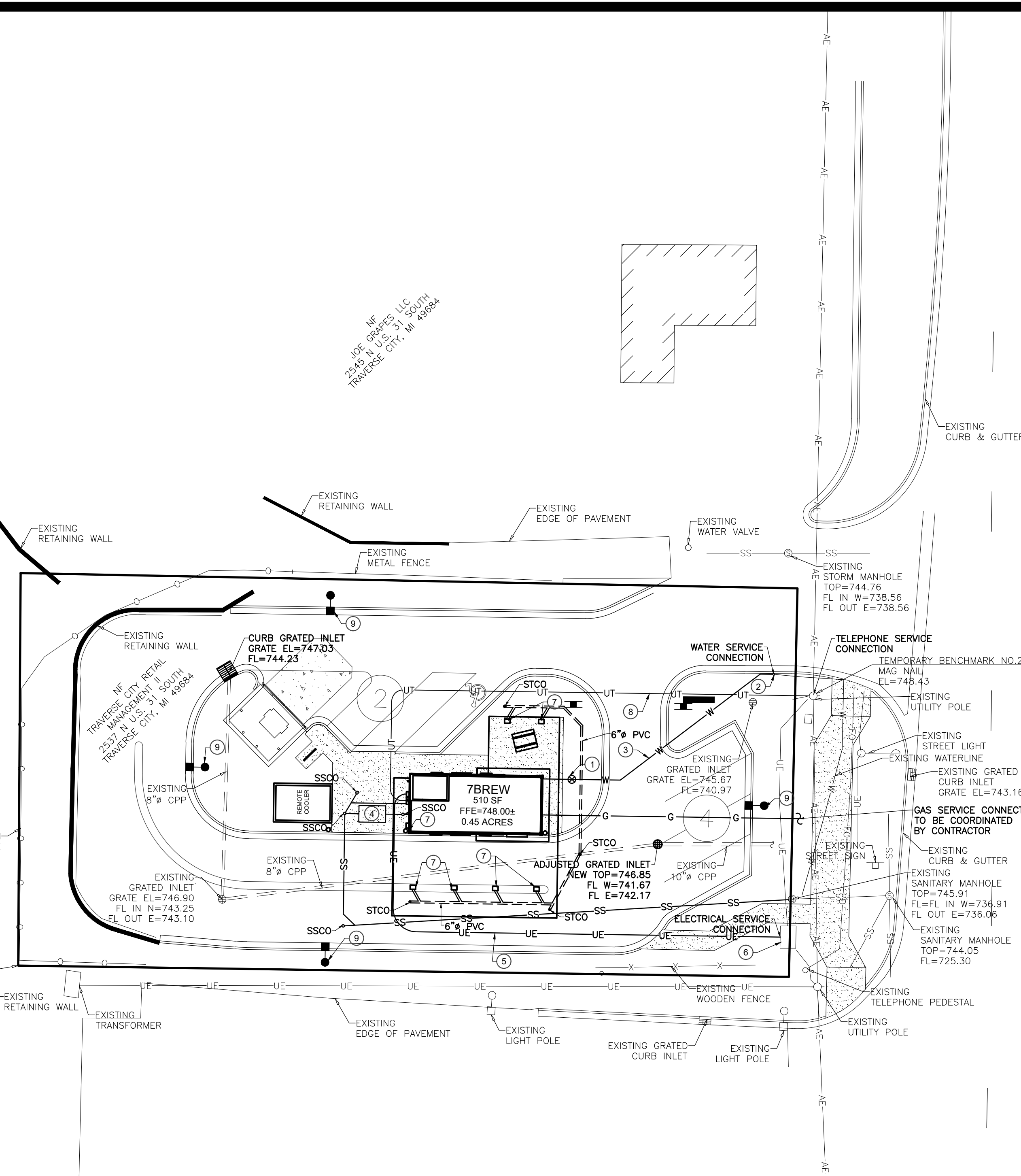
ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
STCO	STORM CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SAMPLING MANHOLE
EL	ELEVATION
BHI	BEE HIVE INLET
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
DS/CO	DOWNSPOUT W/CLEANOUT
ATG	ADJUST TO GRADE
NFV	NOT FIELD VERIFIED

CAUTION—NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.



N.U.S. 315
(ASPHALT PAVEMENT)

NF
2535 KY SWARDS LLC
2535 U.S. 31 SOUTH
TRAVERSE CITY, MI 49884

NF
19 PIVENS LLC
2525 N. 151 ST.
TRAVERSE CITY, MI 49884

NF
2535 KY SWARDS LLC
2535 U.S. 31 SOUTH
TRAVERSE CITY, MI 49884

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

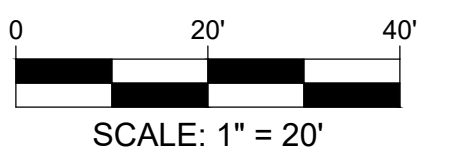
TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS

NO.	DATE	BY	APP.
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DRAWN B.L.F.
 CHECKED R.G.R.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7146
 SHEET NAME UTILITY PLAN
UT-1

LANDSCAPE PLAN



LANDSCAPE NOTES:

- Contractor shall place sod in all grass/turf areas as shown, and all other disturbed areas.
- After a stand of grass is established and no more erosion and sediment is expected, concrete swales shall be cleaned out.
- The site work for this project shall meet or exceed Industry Standards and Manufacturer's Specification for each improvement feature.
- The Contractor shall provide owner a two-year maintenance contract for all landscaping and the irrigation system.
- The planter areas shall have a weed barrier and be covered with landscape gravel of 3" minimum depth. A steel edging shall be used on all landscaped areas within grass areas.
- The Contractor is specifically cautioned that the locations and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All unsurfaced areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- Sod shall be well-rooted and be completely free from noxious weeds and reasonably free from other objectionable grasses, weeds, and stones. Sodding and seeding shall be done in accordance with this landscape plan.
- All plants must be healthy, vigorous material, free of pest and disease.
- All plants must be container grown or balled and burlapped as indicated in the plant list.
- All trees must be straight trunked and full headed and meet all requirements specified.
- All plants are subject to the approval of the owner before, during and after installation.
- Prior to construction, the Contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The Contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc which occurs as a result of the landscape and irrigation construction.
- Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- All planter islands and planter areas shall be bermed with a 3H:1V slope and seeded to meet the seeding specifications, unless otherwise indicated on these plans.
- All landscape material must be provided by a local nursery or tree farm within a 100 radius of site.
- Contractor to adjust plantings accordingly, notify BFA and Owner of any major changes.
- Proposed plant material is to be selected by the contractor and approved by the Owner prior to Construction.
- Tree locations and planting bed to be located by the contractor and approved by the owner prior to installation.
- Planting shall not prohibit site distance requirements.
- Contractor shall coordinate with owner and water provider prior to construction to determine if a separate irrigation water meter is needed.
- The Contractor shall provide a line item cost for irrigation to landscaping and lawns in their Design Build pricing. Drip irrigation shall be provided for all shrubs/trees, and spray irrigation for all sod areas. Drip irrigation shall be installed below the weed barrier. Contractor shall verify with the Developer prior to construction to confirm installation.

LANDSCAPE REQUIREMENTS

NORTH: TYPE "B" BUFFER

- REQUIRED: 3 LARGE TREES, 2 MEDIUM/SMALL TREES, 8 SHRUBS (BASED ON 165 LF OF GREENSPACE AREA)
- PROVIDED: 2 EXISTING MEDIUM/SMALL TREES (4 CREDITS), 1 NEW MEDIUM/SMALL TREE, 10 SHRUBS

EAST: TYPE "D" BUFFER

- REQUIRED: 3 LARGE TREES, 2 MEDIUM/SMALL TREES, 2 EVERGREEN/CONIFEROUS TREES (BASED ON 75 LF OF GREENSPACE AREA)
- PROVIDED: 3 MEDIUM/SMALL TREES, 13 SHRUBS (LIMITED OPTIONS DUE TO UTILITIES)

SOUTH: TYPE "B" BUFFER

- REQUIRED: 4 LARGE TREES, 2 MEDIUM/SMALL TREES, 8 SHRUBS (BASED ON 200 LF OF GREENSPACE AREA)
- PROVIDED: 4 EXISTING LARGE TREES (16 CREDITS), 4 EXISTING MEDIUM/SMALL TREES (8 CREDITS), 8 SHRUBS

WEST: TYPE "B" BUFFER

- REQUIRED: 2 LARGE TREES, 1 MEDIUM/SMALL TREE, 4 SHRUBS (BASED ON 100 LF OF GREENSPACE AREA)
- PROVIDED: NONE PROVIDED DUE TO EXISTING RETAINING WALL. PROPOSED PLANTINGS AND IRRIGATION COULD NEGATIVELY IMPACT THE RETAINING WALL.

PLANTING LEGEND

COMMON NAME (PLANT LABEL)	SYMBOL	BOTANICAL NAME	PLANT SIZE	QUANTITY
SHADBLOW SERVICEBERRY		AMELANCHIER ARBOREA	6" HEIGHT	4
WINTERGREEN		GAULTHERIA PROCUMBENS	5 GAL	6
YEW		TAXUS CANADENSIS	5 GAL	9
SNOWBERRY		SYMPHORICARPOS ALBUS	5 GAL	16
TURF-SOD		TURF TYPE FESCUE		
LANDSCAPE GRAVEL		1.5"-2" GRANITE LANDSCAPE GRAVEL		

NOTE: ALL QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.

N.U.S. 315
(ASPHALT PAVEMENT)

SITE PLAN LEGEND

DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	●	○
CATCH BASIN	■	■
JUNCTION BOX	●	○
FLARED END SECTION	▢	▢
CLEANOUT	•	•
GRATED INLET	■	■
GUARD RAIL	—	—
CHAINLINK/WOODEN FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-02-22

FOR REVIEW ONLY



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State of Michigan
Registered Professional Engineer
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Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

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bfaeng.com TELEPHONE: (636) 239-4751

BFA
Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

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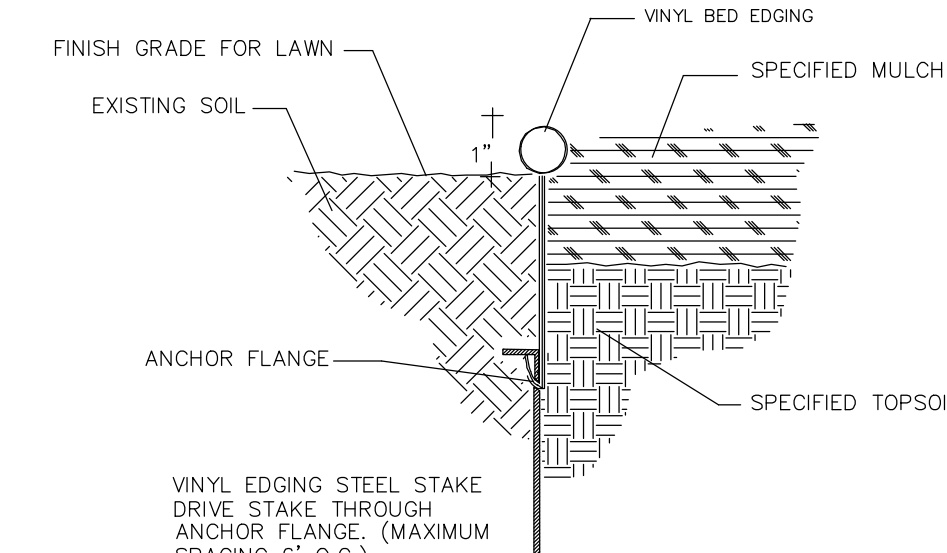
SHEET NAME
LANDSCAPE PLAN

LP-1

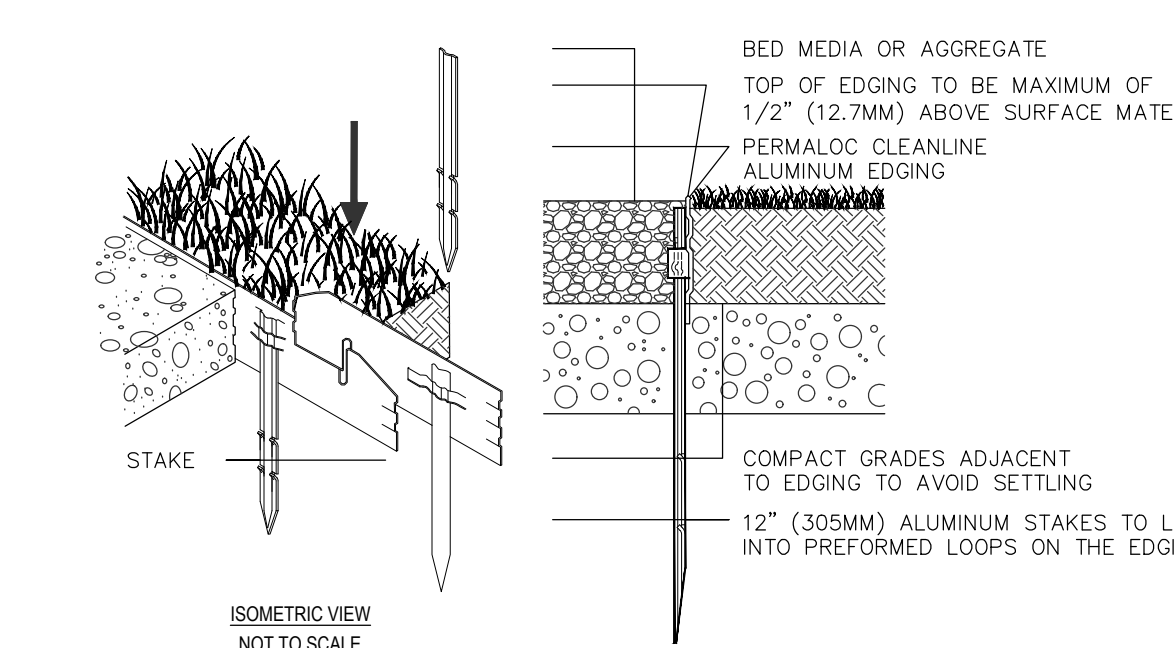
LANDSCAPE DETAILS

permaloc
WORLD'S BEST LANDSCAPE EDGING

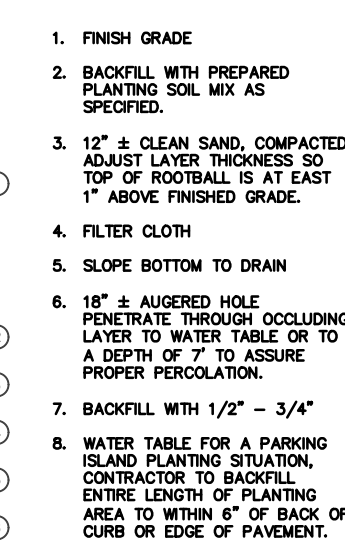
PERMALOC CORPORATION
13505 BARRY STREET
HOLLAND, MI 49424
1-800-356-9660
PHONE: (616) 399-9600
FAX: (616) 399-9770
www.permaloc.com



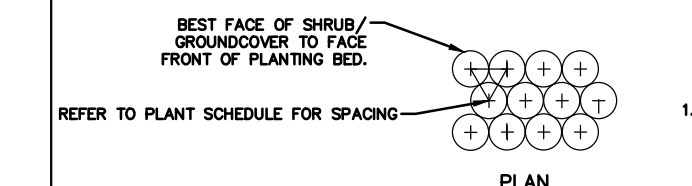
VINYL EDGE DETAIL
N.T.S.



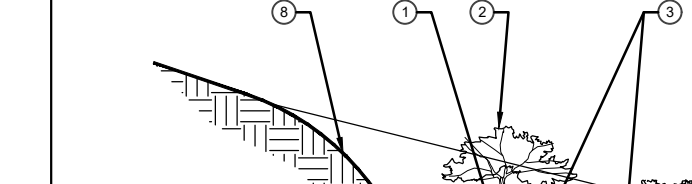
ALTERNATE #1: PERMALOC ALUMINUM EDGE DETAIL
N.T.S.



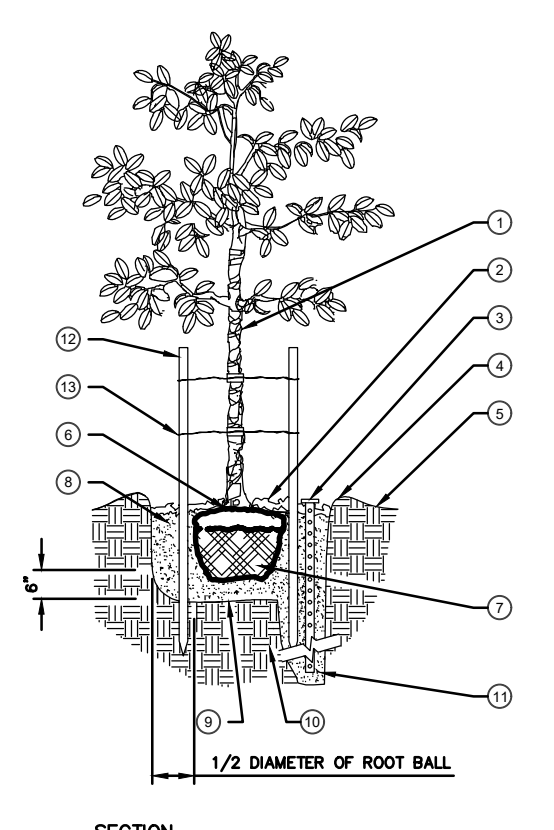
POOR DRAINAGE CONDITION
N.T.S.



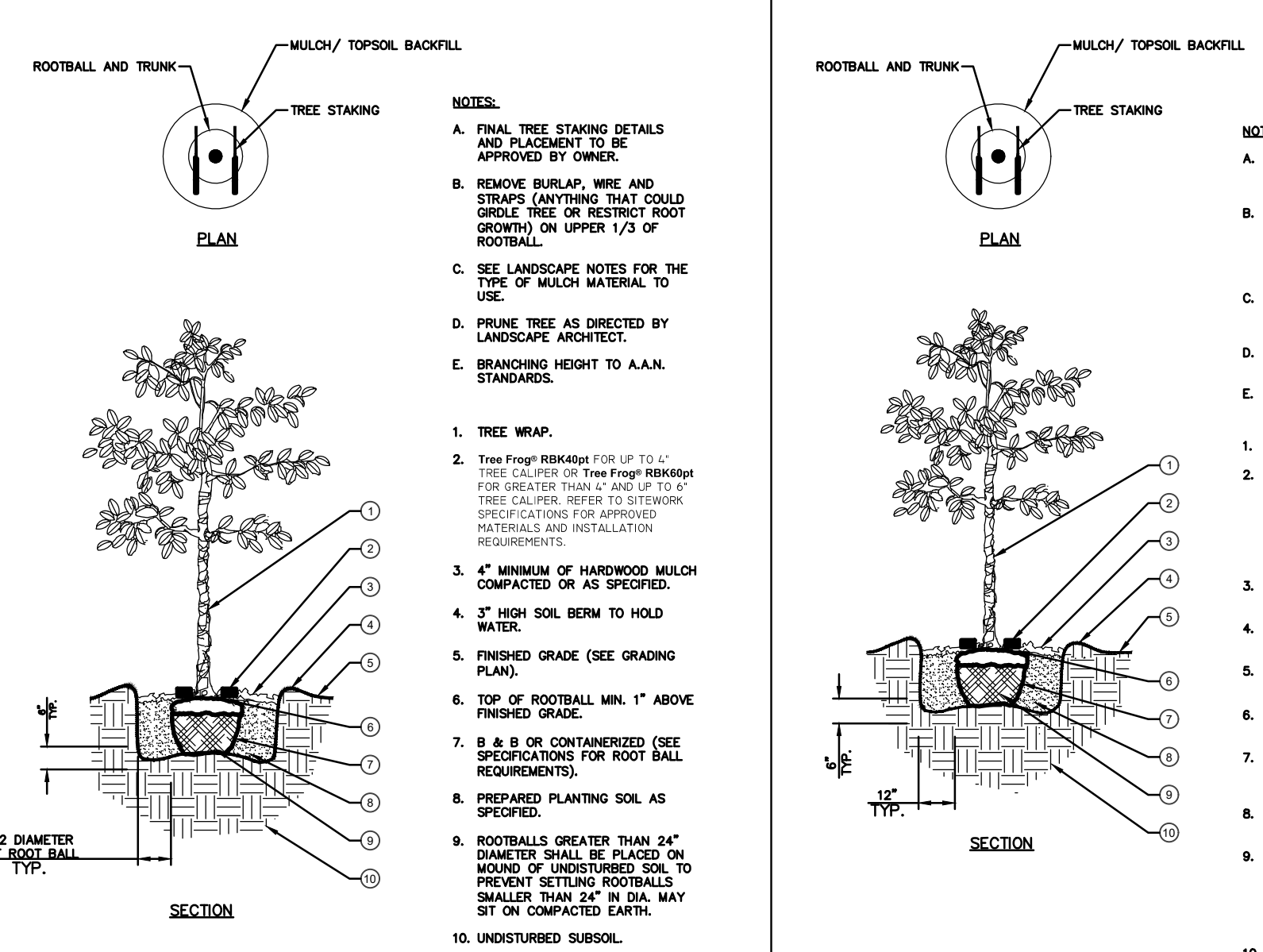
SHRUB/GROUNDCOVER PLANTING
N.T.S.



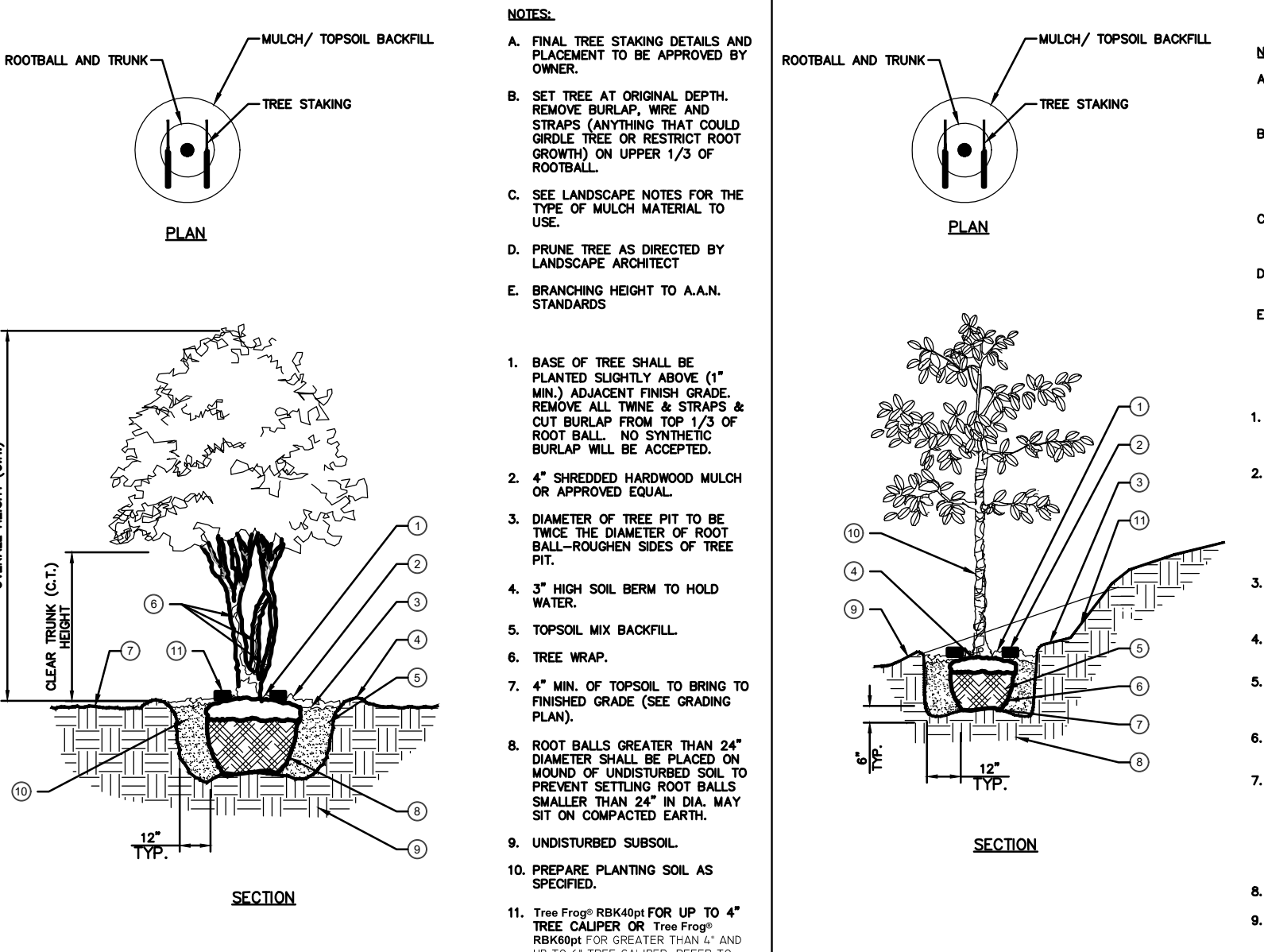
SHRUB/GROUNDCOVER PLANTING ON SLOPE
N.T.S.



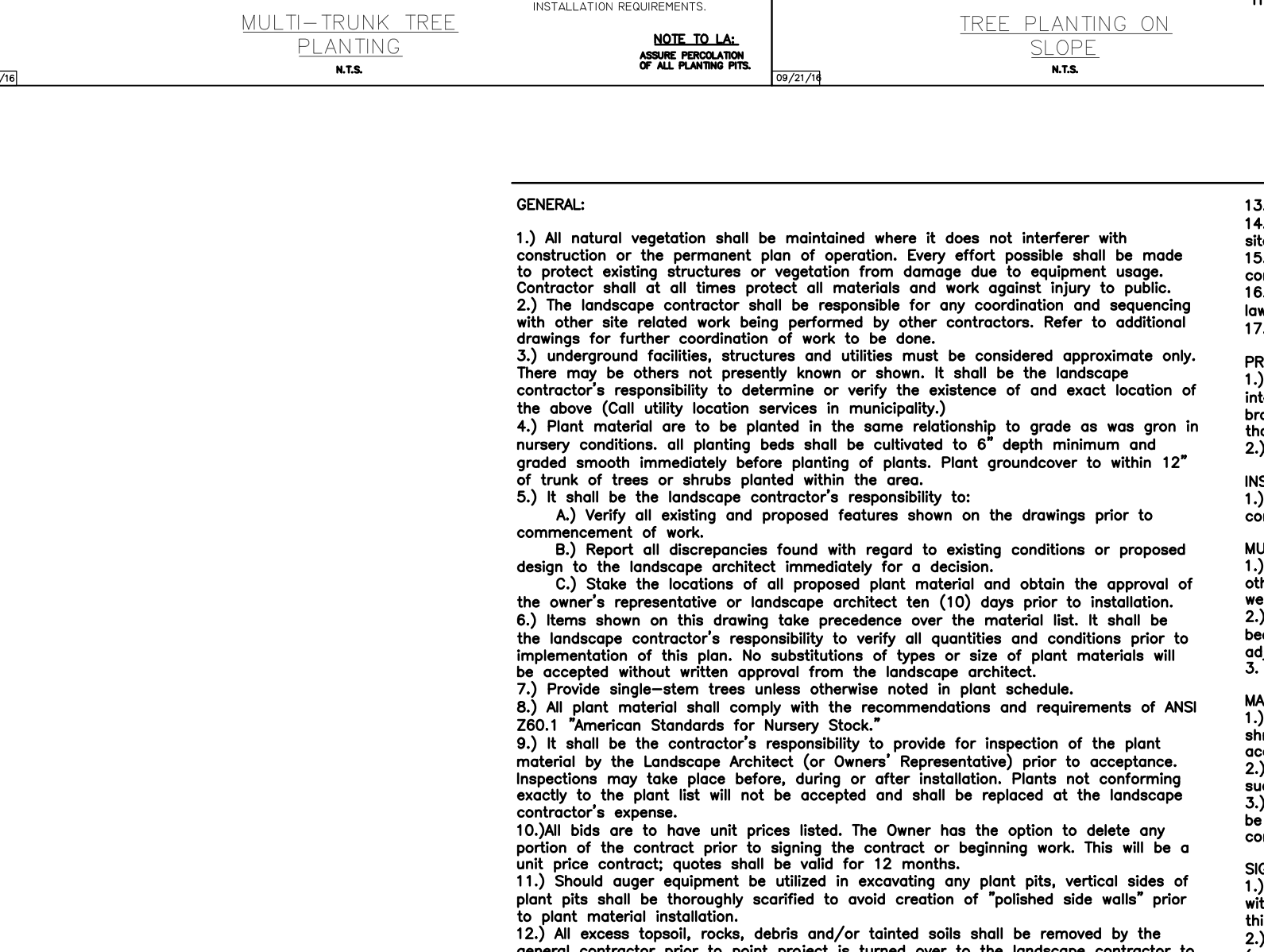
CANOPY TREE PLANTING
N.T.S.



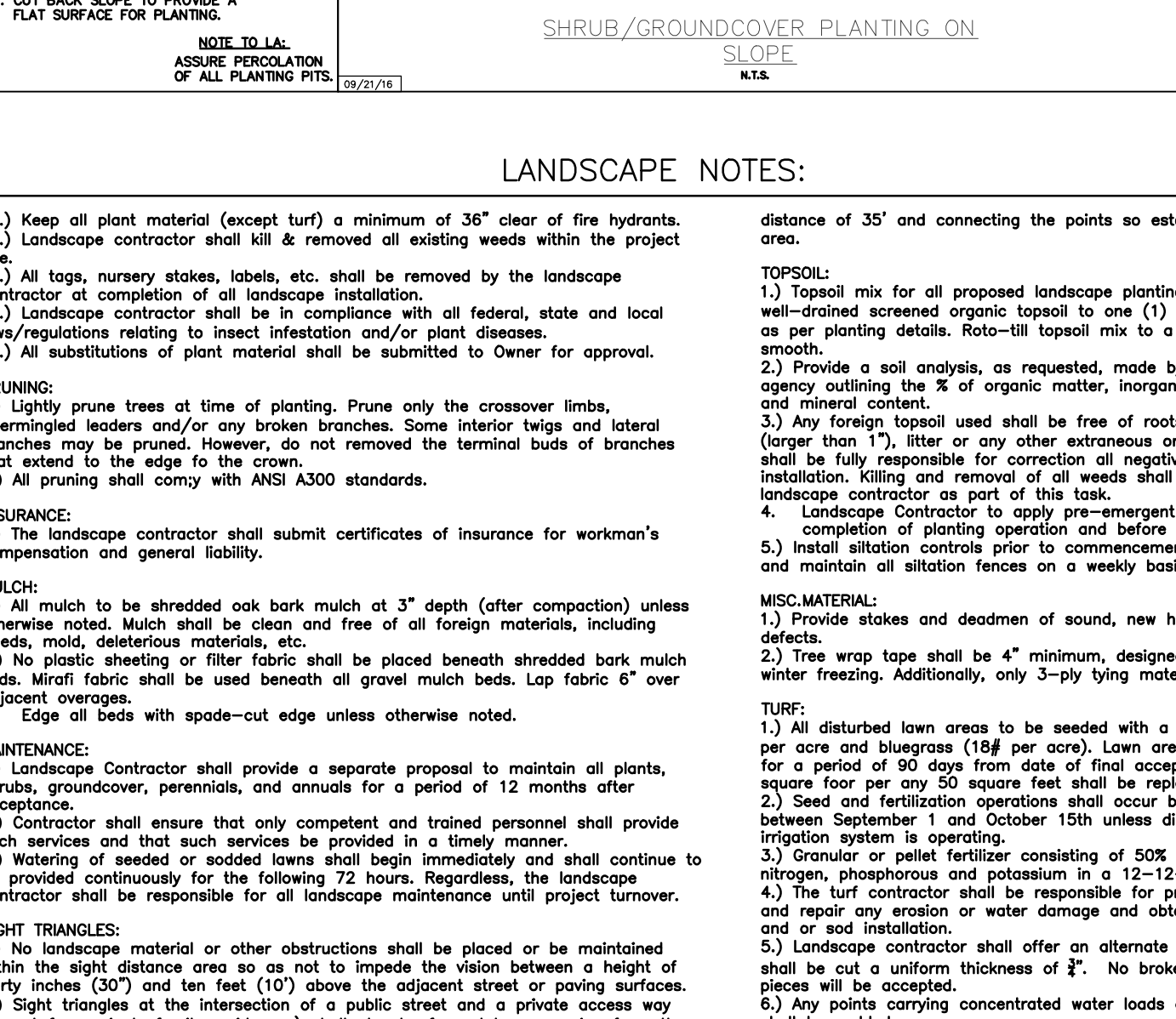
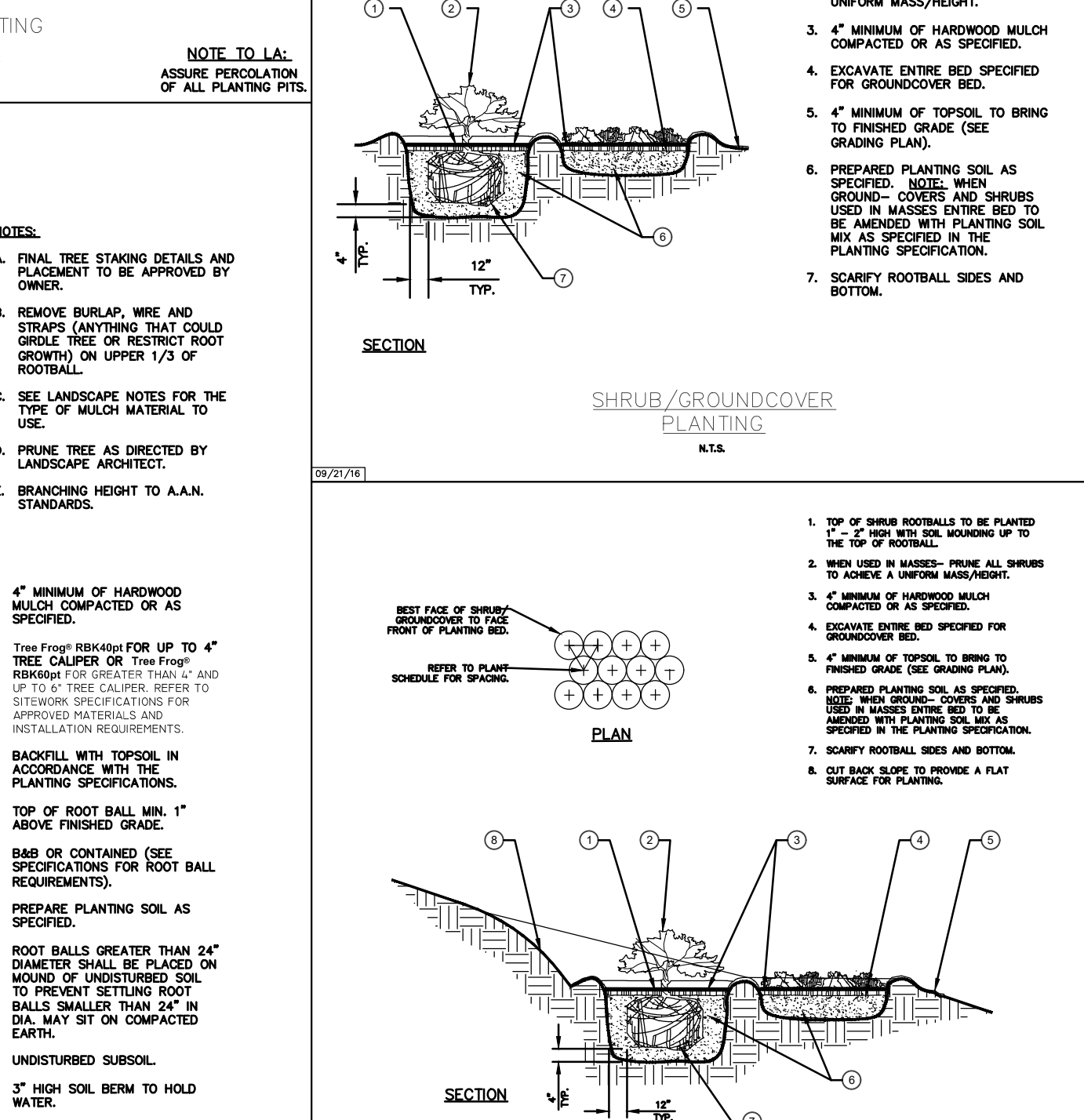
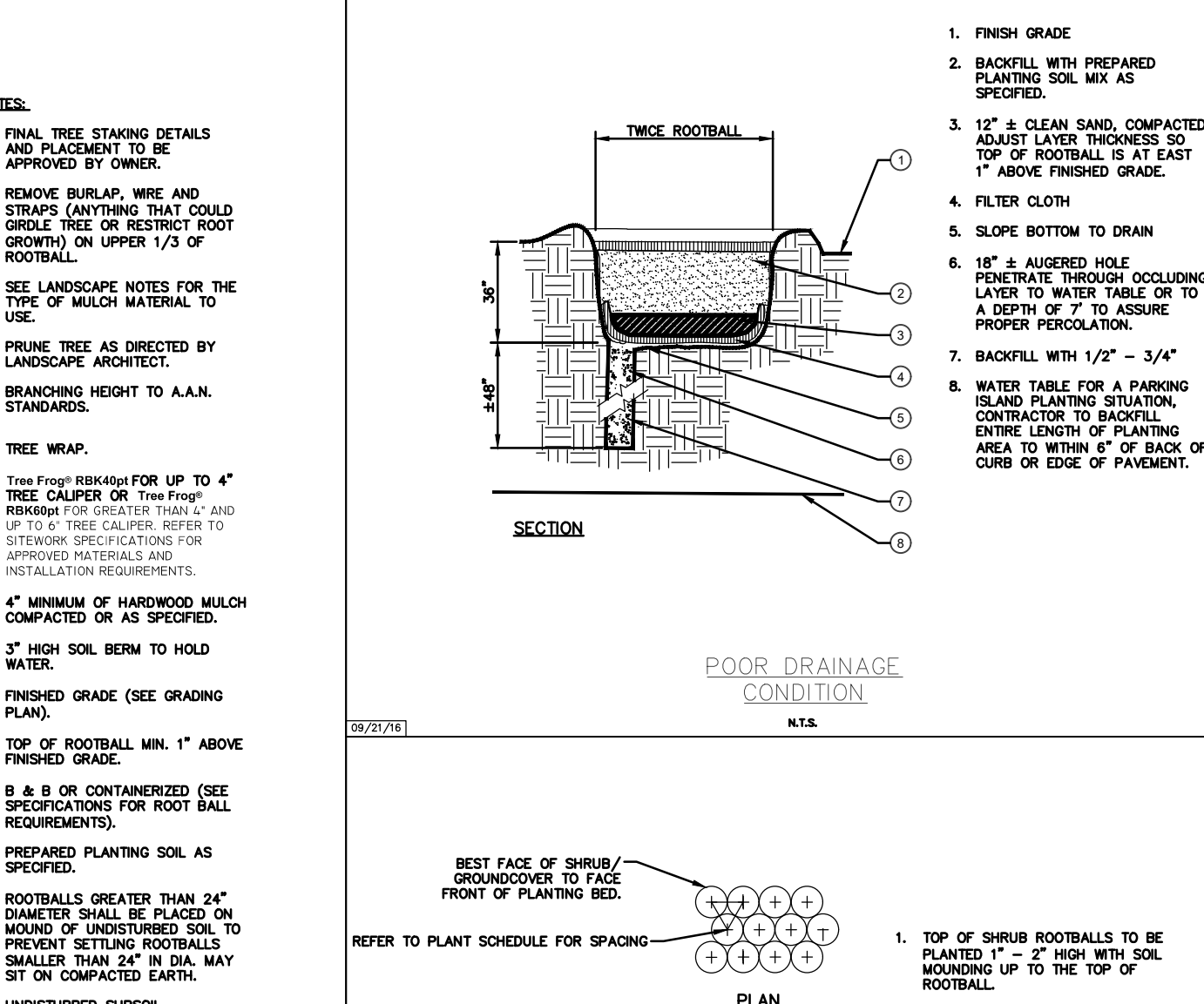
LARGE TREE PLANTING (14' OR GREATER)
N.T.S.



SMALL TREE PLANTING (14' OR LESS)
N.T.S.

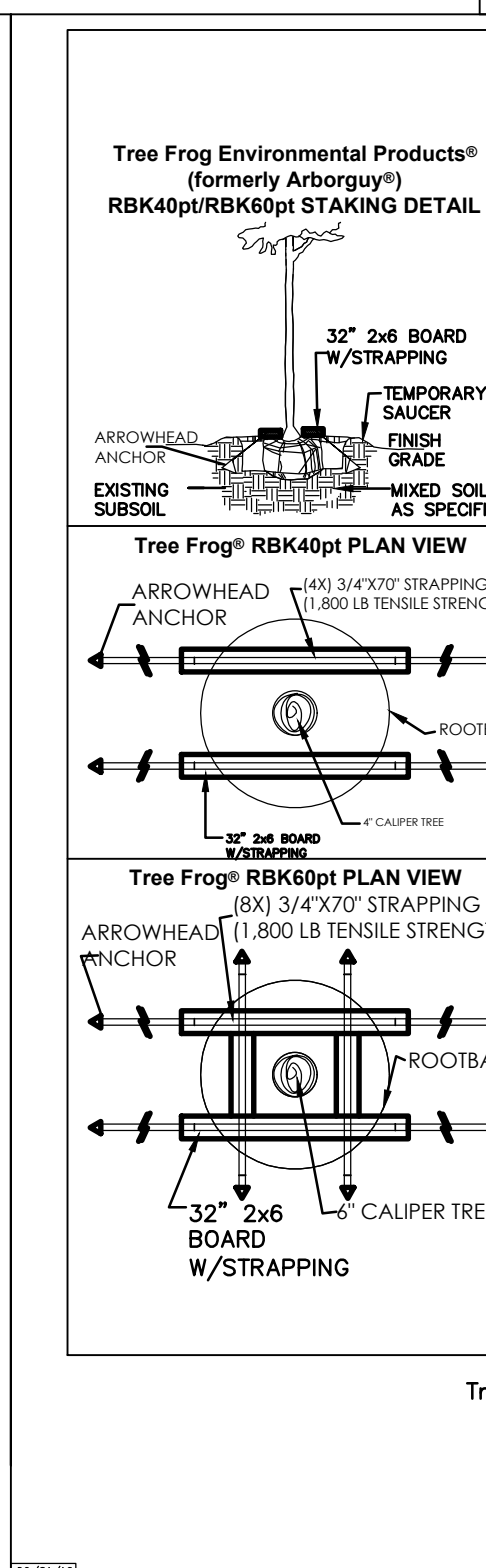


MULTI-TRUNK TREE PLANTING
N.T.S.

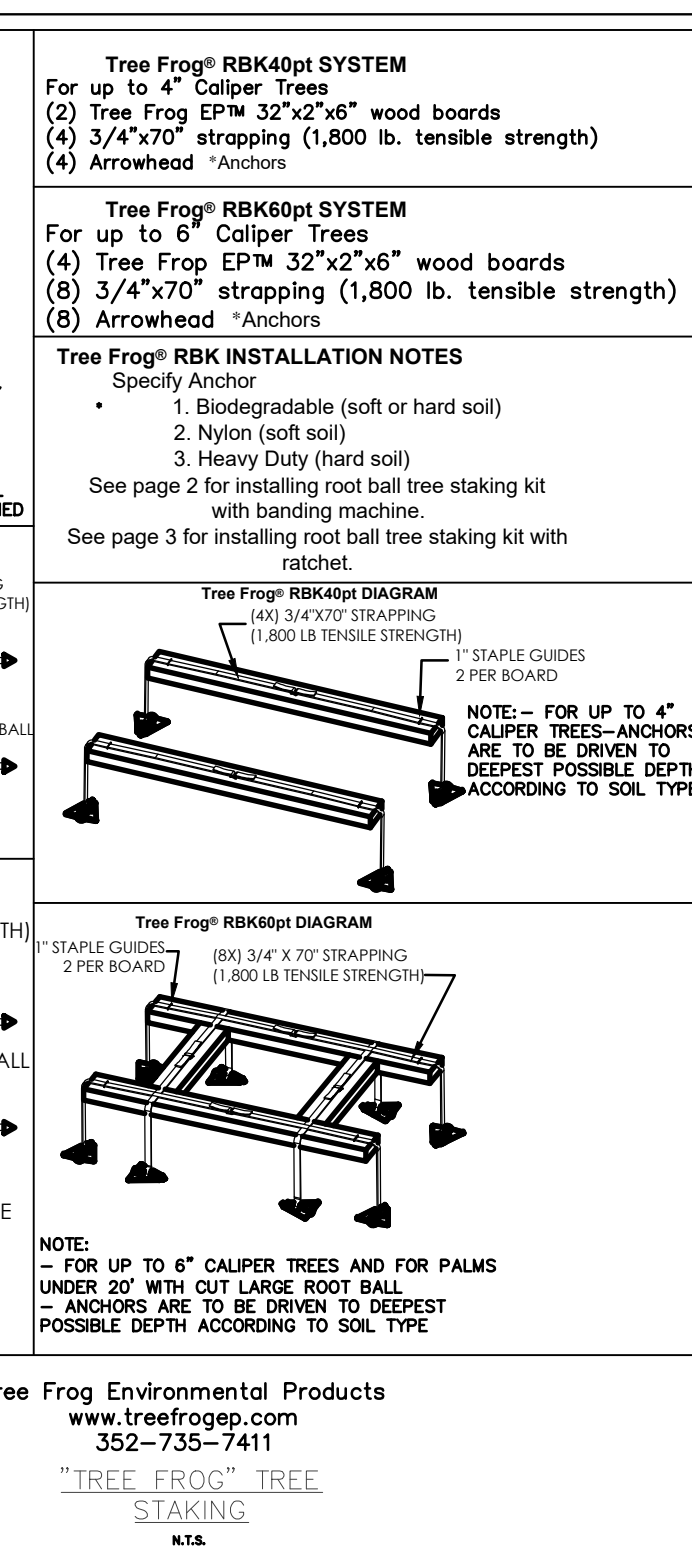


LANDSCAPE NOTES:

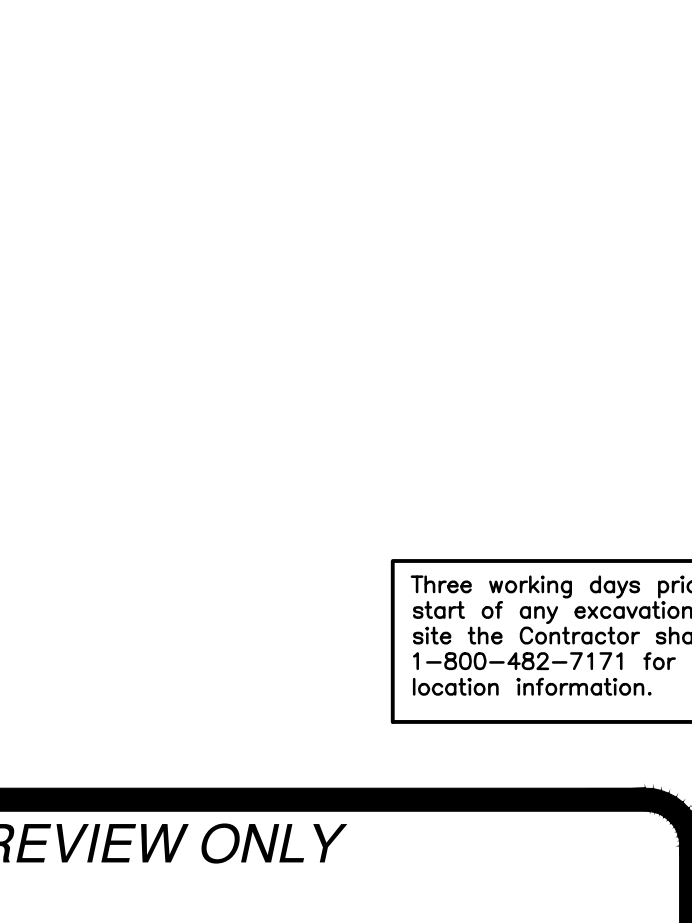
- GENERAL:**
- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
 - The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
 - underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
 - Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 - It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - State the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
 - Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - Provide single-stem trees unless otherwise noted in plant schedule.
 - All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock."
 - It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owner's Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 10. All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract. Quotes shall be valid for 12 months.
 - Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
 - All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to plant project is turned over to the landscape contractor to commence landscape installation.
- 13.** Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- 14.** Landscape contractor shall kill & remove all existing weeds within the project site.
- 15.** All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- 16.** Landscape contractor shall be in compliance with all federal, state and local laws/regulations relating to insect infestation and/or plant diseases.
- 17.** All substitutions of plant material shall be submitted to Owner for approval.
- PRUNING:**
- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior limbs and lateral branches may be pruned. However, do not remove the terminal buds of branches which are fully responsive to insect infestation and/or plant diseases.
 - All pruning shall comply with ANSI A300 standards.
- INSURANCE:**
- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.
- MULCH:**
- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
 - No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Filter fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent overlaps.
 - Edge all beds with spade-cut edges unless otherwise noted.
- MAINTENANCE:**
- Landscape Contractor shall provide a separate proposal to maintain all plants, shrubs, groundcover, perennials, and annuals for a period of 12 months after acceptance.
 - Contractor shall ensure that only competent and trained personnel shall provide such services and that such services be provided in a timely manner.
 - Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.
- SIGHT TRIANGLES:**
- No landscape material or other obstructions shall be placed or be maintained within the sight distance area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
 - Sight triangles at the intersection of a public street and a private access way (except for a single family residence) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.
- TOPSOIL:**
- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian agriplant peat moss per planting details. Ratio-tilled topsoil mix to a depth of 4" minimum and grade smooth.
 - Provide a soil analysis, as requested, made by independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
 - Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correction of all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
 - Landscape Contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operation and before application of shredded bark mulch.
 - Initial siltation controls prior to commencement of any grading operation, inspect and maintain all siltation fences on a weekly basis until vegetation is established.
- MISC. MATERIAL:**
- Provide stakes and deadman of sound, new hardwood, free of knots, and winter freezing. Additionally, only 3-ply tyne material shall be used.
- TURF:**
- All disturbed lawn areas to be seeded with a mixture of turf-type fescue (300# per acre and bluegrass (16# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. One area more than one square foot per any 50 square feet shall be replaced.
 - Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND Irrigation system is operating.
 - Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.
- EROSION CONTROL BLANKET (Where applicable):**
- All seeded areas on slopes greater than 4:1 shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by Northern American Green, DS 75 or approved equal. Install per manufacturer's recommendations.
- PLUG PLANTING NOTES:**
- All plugs to be 4-1/2" deep X 2" diameter minimum.
 - Plugs are to be planted in a hole dug with a trowel spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
 - Plugs shall be spaced in a triangulated layout approximately 24" on center. Plugs shall be planted through erosion control blanket where appropriate.
 - Obtain plugs from a reputable nursery.
 - Water plugs upon completion of planting so that soil is moist but not saturated.
 - If planting is delayed more than six hours after delivery, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.
- WARRANTY:**
- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
 - Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
 - Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
 - Lawn establishment periods will be in effect once the lawn has been mowed three times. Plant establishment periods shall commence on the date of acceptance and 100% completion.
 - Written guarantee shall be provided to the owner per conditions outline in #1 above.



Tree Frog Environmental Products
www.treefrog.com
352-735-7411
"TREE FROG" TREE STAKING
N.T.S.



Tree Frog RBK40pt PLAN VIEW
N.T.S.



Tree Frog RBK60pt PLAN VIEW
N.T.S.

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS		
1	By: _____	App: _____
2	By: _____	App: _____
3	By: _____	App: _____
4	By: _____	App: _____

Three working days prior to the start of any excavation on the site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

STATE OF MICHIGAN
RAYMOND H. FRANKENBERG II
ENGINEER
No. 42538
LICENSED PROFESSIONAL ENGINEER

Raymond H. Frankenberg II, P.E. #42538
State of Michigan
Registered Professional Engineer
for BFA, Inc.

06/30/22
Date

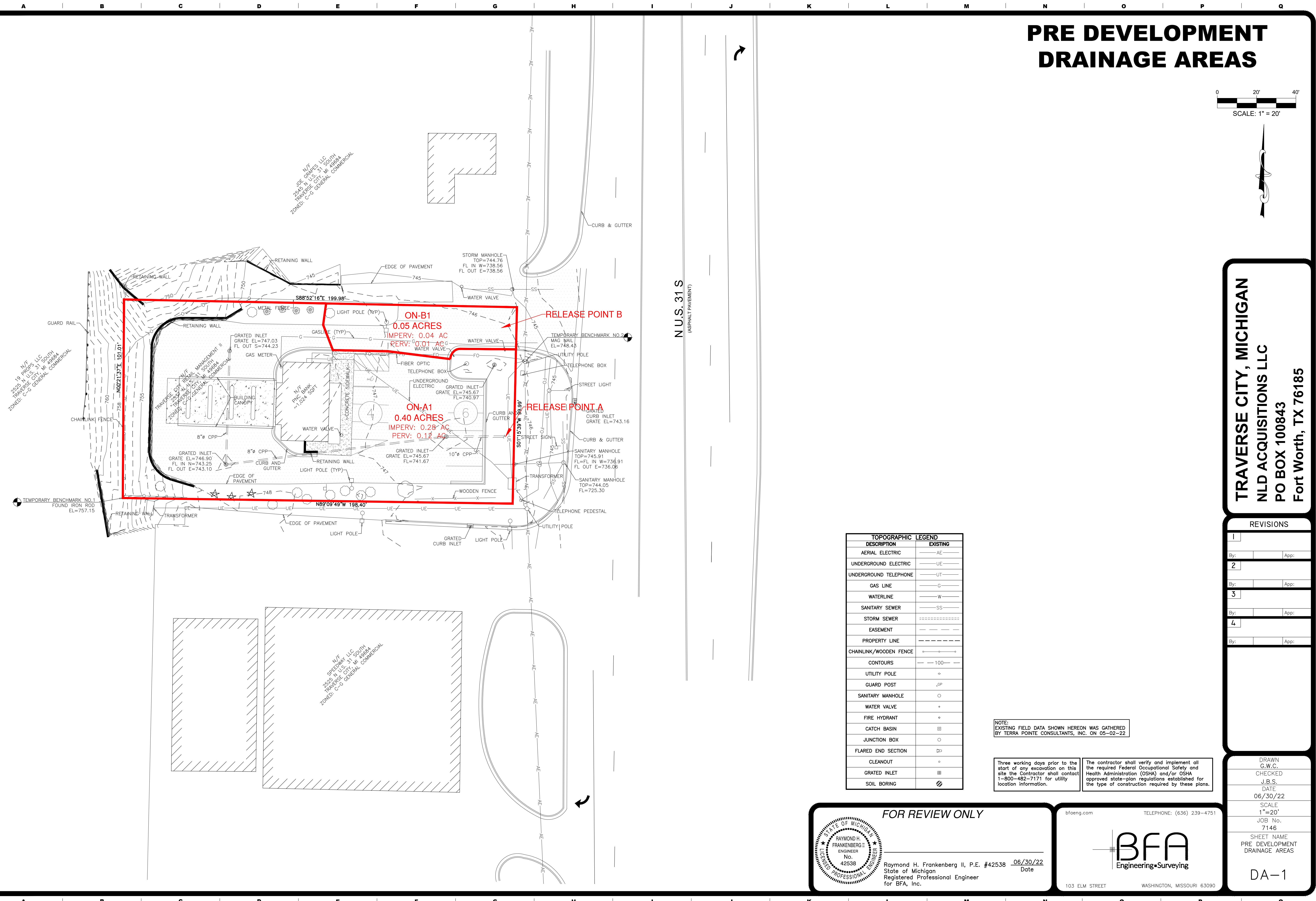
bfaeng.com TELEPHONE: (636) 239-4751

SCALE 1"=20'
JOB No. 7146
SHEET NAME LANDSCAPE DETAILS
LP-2

103 ELM STREET WASHINGTON, MISSOURI 63090

BFA
Engineering-Surveying

PRE DEVELOPMENT DRAINAGE AREAS



N.U.S. 31S
(ASPHALT PAVEMENT)

TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	— AE —
UNDERGROUND ELECTRIC	— UE —
UNDERGROUND TELEPHONE	— UT —
GAS LINE	— G —
WATERLINE	— W —
SANITARY SEWER	— SS —
STORM SEWER	=====
EASEMENT	— — — — —
PROPERTY LINE	— — — — —
CHAINLINK/WOODEN FENCE	— — — — —
CONTOURS	— 100 —
UTILITY POLE	o
GUARD POST	o
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	o
JUNCTION BOX	o
FLARED END SECTION	o
CLEANOUT	o
GRATED INLET	o
SOIL BORING	o

NOTE:
EXISTING FIELD DATA SHOWN HEREON WAS GATHERED
BY TERRA POINTE CONSULTANTS, INC. ON 05-02-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN
G.W.C.
 CHECKED
J.B.S.
 DATE
06/30/22
 SCALE
1"=20'
 JOB No.
7146

SHEET NAME
PRE DEVELOPMENT
DRAINAGE AREAS
DA-1

FOR REVIEW ONLY

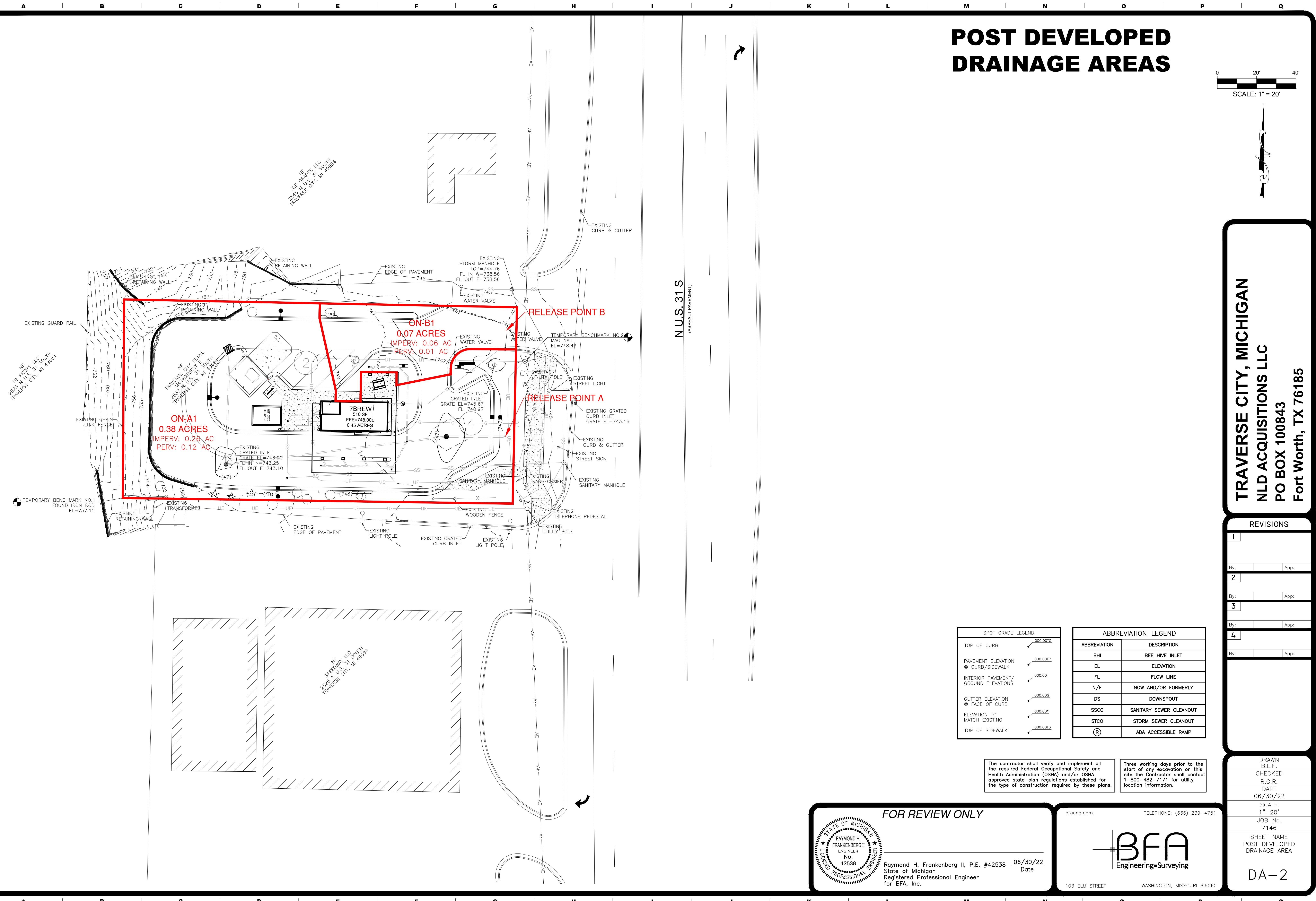
Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan Date
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

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POST DEVELOPED DRAINAGE AREAS



TRAVERSE CITY, MICHIGAN
NLD ACQUISITIONS LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

SPOT GRADE LEGEND	
TOP OF CURB	0.000.000C
PAVEMENT ELEVATION @ CURB/SIDEWALK	0.000.000P
INTERIOR PAVEMENT/GROUND ELEVATIONS	0.000.00
GUTTER ELEVATION @ FACE OF CURB	0.000.000G
ELEVATION TO MATCH EXISTING	0.000.000*
TOP OF SIDEWALK	0.000.000TS

ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
BHI	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
(R)	ADA ACCESSIBLE RAMP

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

FOR REVIEW ONLY

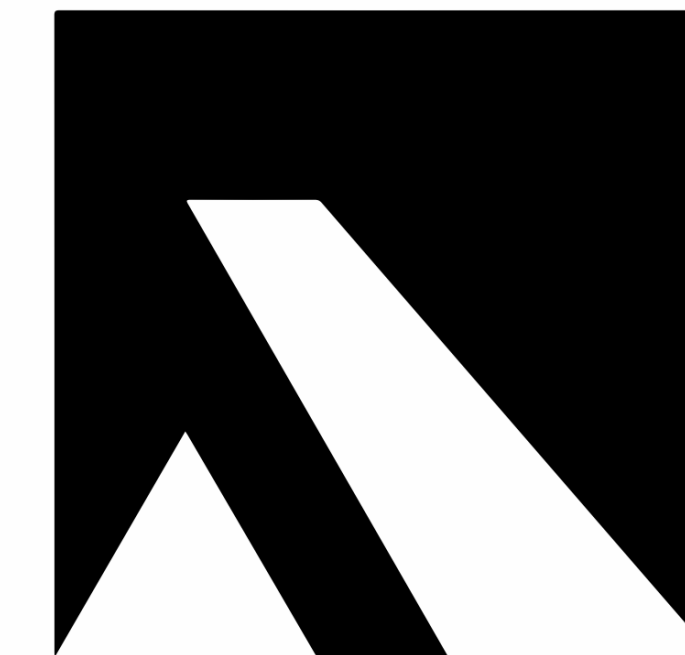
Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan Date
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN B.L.F.
 CHECKED R.G.R.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7146
 SHEET NAME POST DEVELOPED DRAINAGE AREA
DA-2

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ARKIFEX
STUDIOS

221 SOUTH AVE, SPRINGFIELD, MO 65806

Architect of Record

PRELIMINARY - NOT FOR CONSTRUCTION
DATE

Certificate of Authority: A-2014032536

© Copyright 2021 Arkifex Studios LLC
Drawings and Specifications as Instruments of Service are and shall remain the property of the Architects. They are not to be used on other projects or extensions to this project except by agreement in writing with appropriate compensation to the Architect.

Contractor is responsible for construction means, methods and techniques, sequence or procedures or for safety precautions and programs in connection with the project.

7 BREW DRIVE-THRU

PROJECT ADDRESS

Revisions

No.	Description	Date

A5.0
TRASH ENCLOSURE

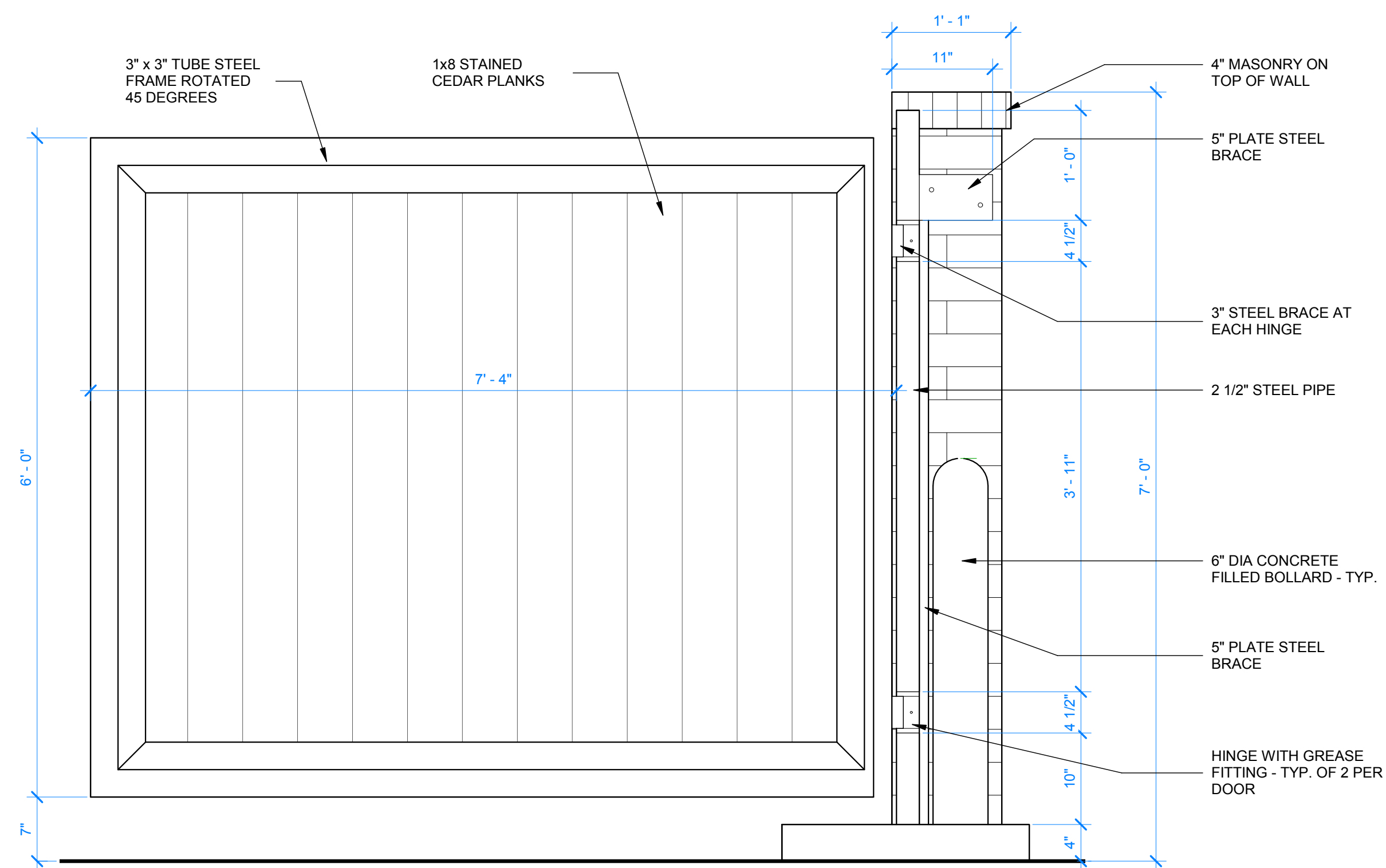
project #: PROJECT NUMBER
date: 1/14/2022 8:37:17 AM

TRASH ENCLOSURE GENERAL NOTES

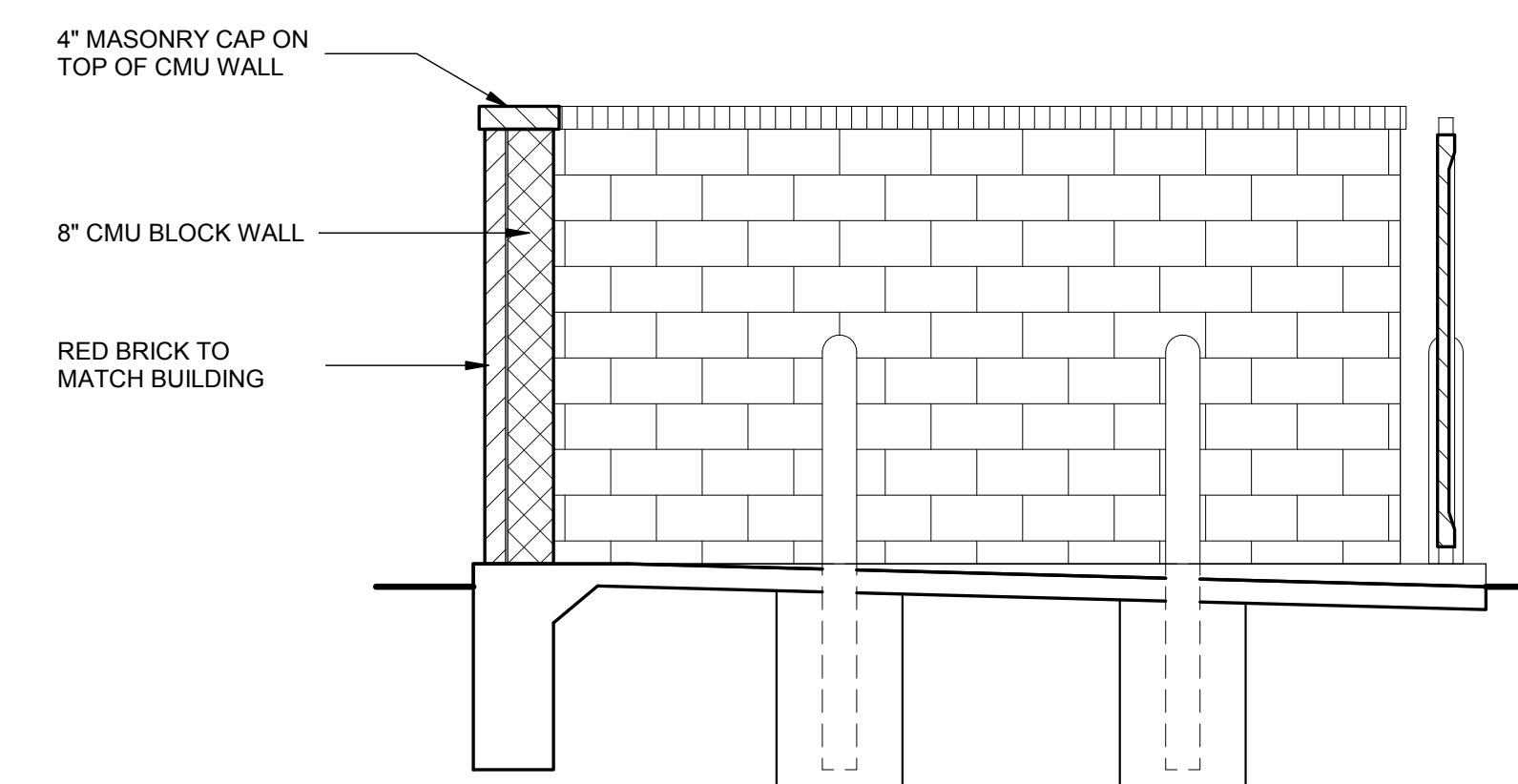
- PRE-PAINT ALL BARE METAL WITH POR-15 PRIMER PRIOR TO INSTALLATION.
- PAINT DOOR FRAMES, HINGES, AND BOLLARDS TO MATCH THE CANOPY OF THE PREFABRICATED BUILDING - MORIN REGAL BLUE.

TRASH ENCLOSURE KEYNOTES

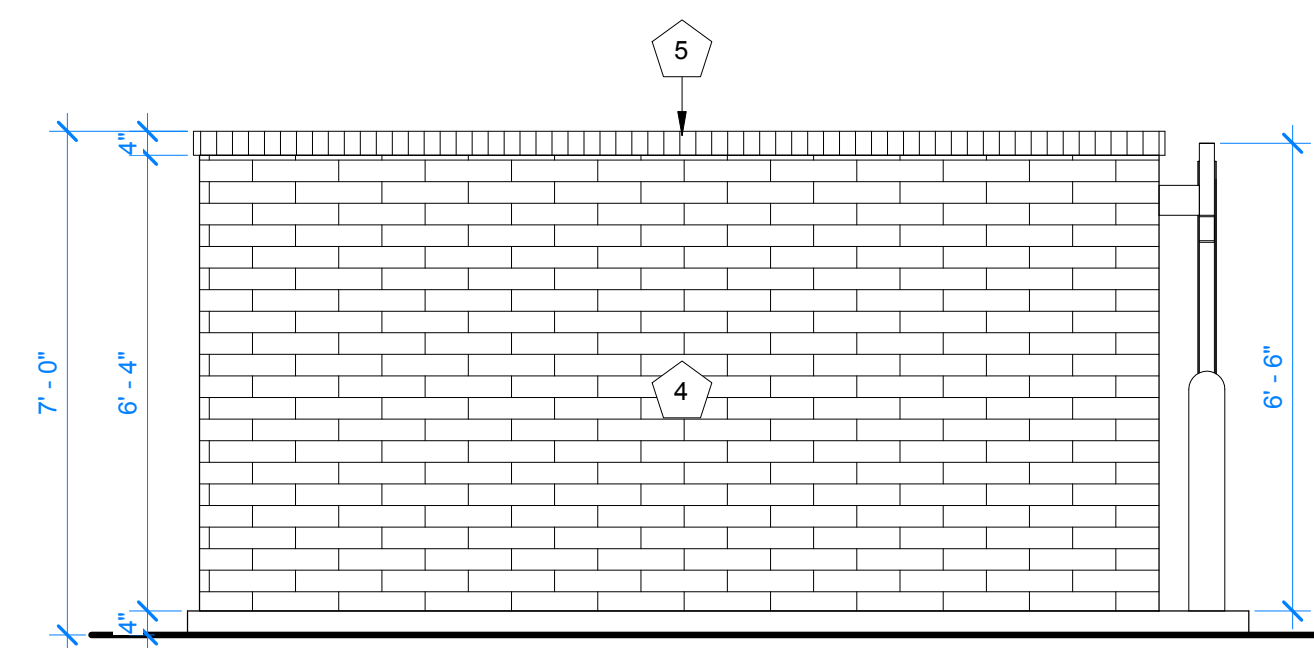
Note Number	Note Text
1	6" CONCRETE FILLED BOLLARD - TYP.
2	CUSTOM GATES: SEE 6/A1.2
3	MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER
4	RED BRICK, COMMON (COLOR TO MATCH BUILDING) OVER 8" CMU BLOCK
5	4" MASONRY CAP ON TOP OF CMU WALL



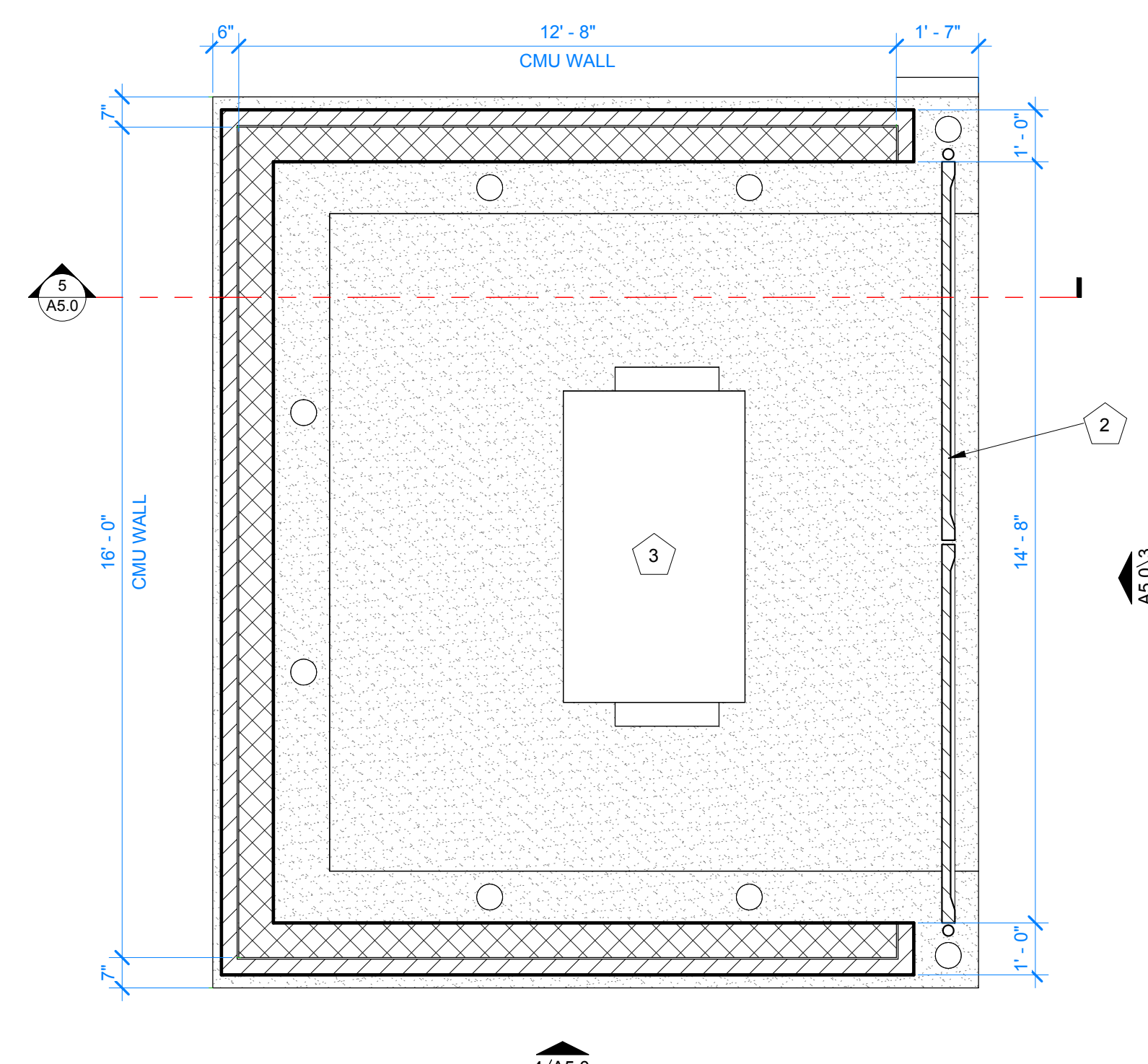
6 DOOR / HINGE DETAIL
1" = 1'-0"



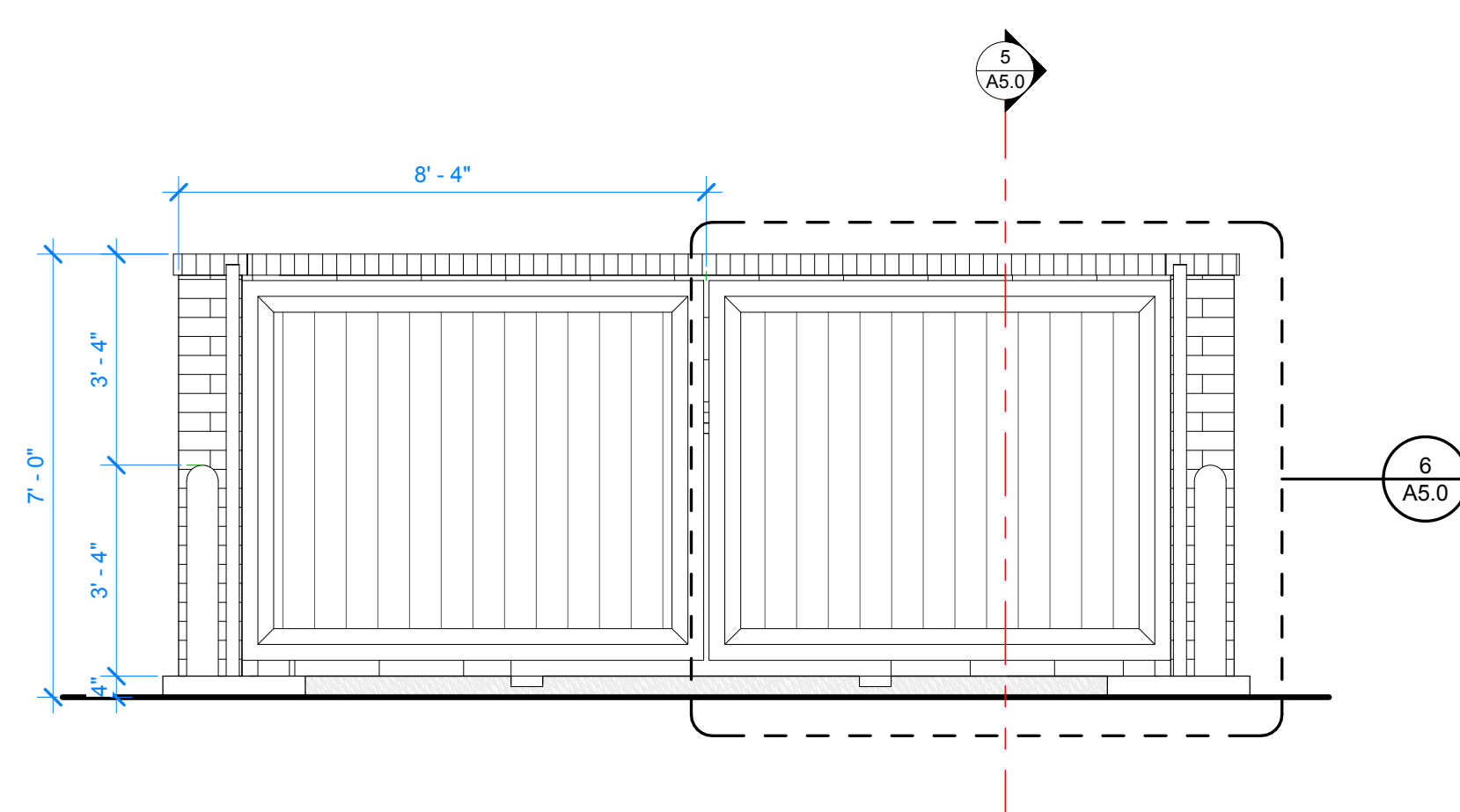
5 SECTION THRU TRASH ENCLOSURE
3/8" = 1'-0"



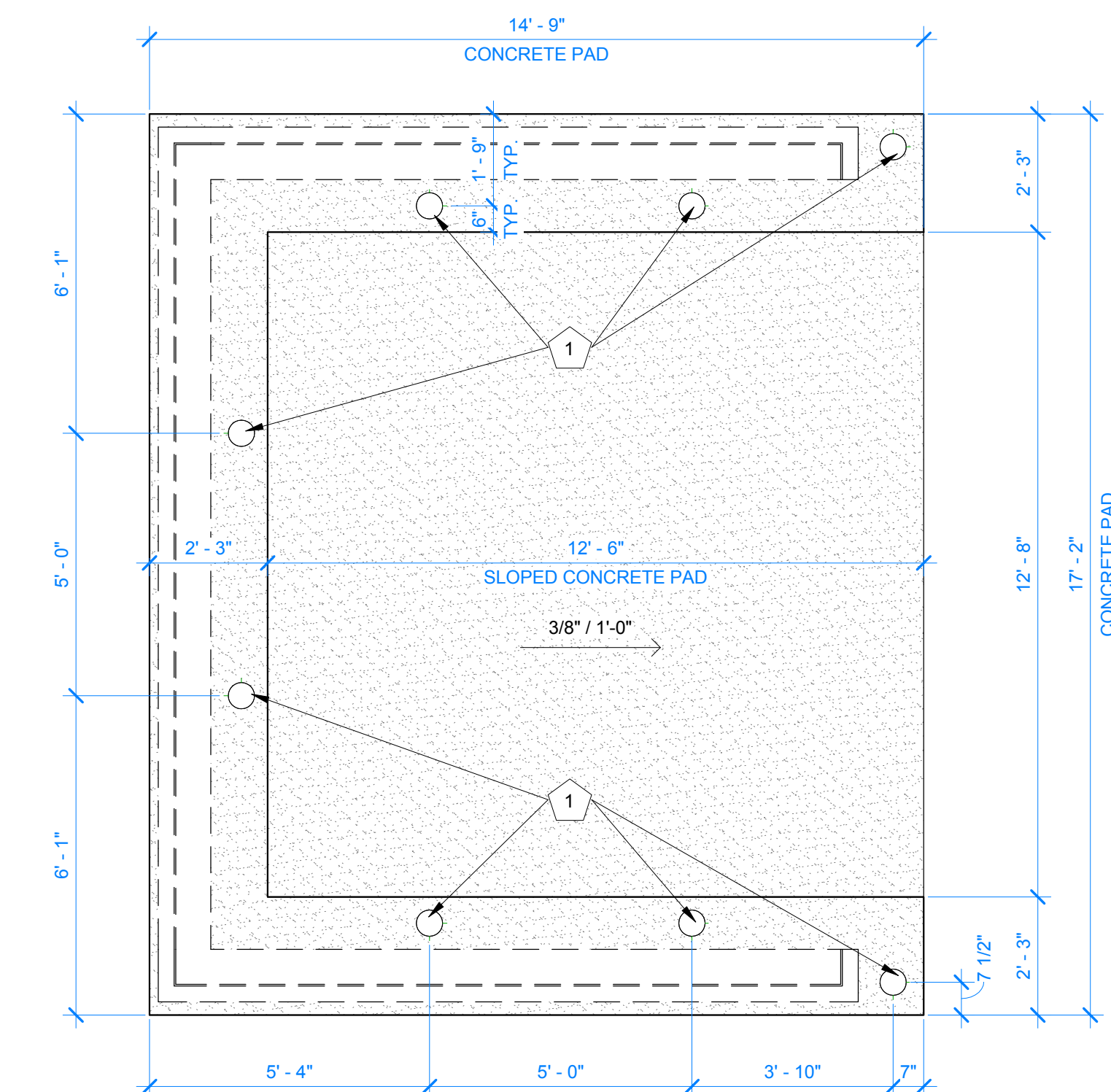
4 TRASH ENCLOSURE - SIDE ELEVATION
3/8" = 1'-0"



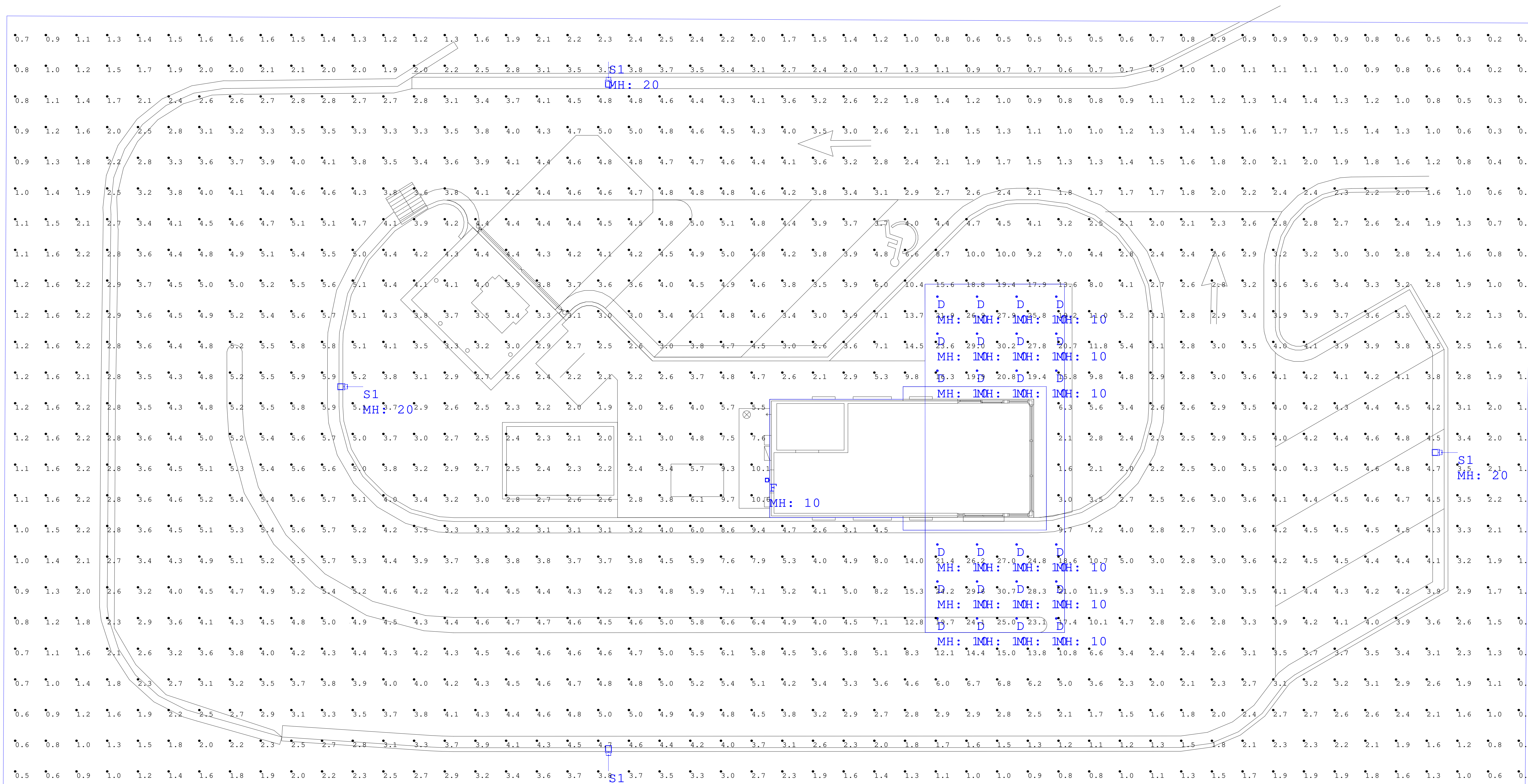
2 TRASH ENCLOSURE PLAN
3/8" = 1'-0"



3 TRASH ENCLOSURE - FRONT ELEVATION
3/8" = 1'-0"



1 TRASH ENCLOSURE - CONCRETE PLAN
3/8" = 1'-0"



Symbol	Qty	Label	Description	Tag	LLF	Luminaire Lumens	Total Watts	BUG Rating
□	1	WSQ_LED_P3_SR2_35K_MVOLT	WSQ LED P3 SR2 35K MVOLT		0.880	4799	39.31	B2-U0-G1
□	4	SAS-15L-U-35-T3	SAS-15L-U-35-T3	S1	0.900	16982	442	B2-U0-G3
⊕	24	S11810	Satco S11810	D	0.880	1109	327.85	B1-U1-G0

Light Fixture Pricing Information
Contact Information
 FOR SITE LIGHTING PRICING, CONTACT RYAN DENNEY WITH CED NATIONAL ACCOUNTS AT 281-733-8884

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
7Brew Site_Planar	Illuminance	Fc	3.90	30.7	0.1
			Avg/Min		Max/Min
			39.00		307.00

#	Date	Comments

Revisions

Drawn By: Ben Kerstiens, LC
 Checked By:
 Date: 6/27/2022
 Scale:

7Brew
 Traverse City, MI

**CHARTER TOWNSHIP OF GARFIELD
SPECIAL USE PERMIT 99-02**

To: National City Bank
901 S. Garfield Ave.
Traverse City, MI 49686

WHEREAS,

Application having been made December 29, 1998, by the above named for a Special Use Permit to construct a drive in banking facility, and due notice having been given and a public hearing having been held on said Application, and the Township Planning Commission having determined that the requested Special Use Permit is appropriate, and in the best interest of the Township and meets the specific and special standards as set forth in the Zoning Ordinance as required by Section 16(b) of Public Act 184 of 1943, as amended.

The Township Planning Commission having determined that certain conditions upon the use of the premises are necessary to protect the health, safety and welfare of Township residents, to uphold the spirit and purpose of the Zoning Ordinance, and to insure that the development is harmonious and appropriate.

NOW, THEREFORE, BE IT RESOLVED as follows:

The Township Planning Commission does hereby issue a Special Use Permit for the use of the above referenced property, subject to the following requirements:

1. Development Plan. Subject to the requirements set forth in this Special Use Permit, the Applicant's Development Plan, comprised of the drawings set out in the Schedule below shall constitute the Development Plan.

Drawings

Name of Drawing	Date	Sheet	Scale
Cross Section A-A & Site Plan	02/11/99	1 of 1	1"=20'
Layout and Dimension Plan for: NCB	02/11/99	1 of 2	1"=20'
Drainage Plan For: NCB	02/11/99	2 of 2	1"=20'
Preliminary Floor Plan & Elevation	01/27/99	A-1	varies
Landscape Plan	01/25/99	L-1	1"=10'
Example: Proposed Right-In, Right-Out Driveway to Accommodate WB-50 Truck	5/93		1"=30'

2. Documentation. The representations made by the Applicant in its Application dated December 29, 1998 and the documents appearing in the Schedule below, as attached hereto and incorporated herein have been relied upon by the Township in making its determination in this matter. It is a condition of this Permit that the Applicant shall abide by all representations in these documents and may not deviate from these documents without the prior written consent of the Township. The Schedule of Documents follow:

Documents

Document Name	Date
Application checklist data and Impact Assessment from Elmer's	01/27/99
Letter from Maureen Kennedy Templeton, GTC Drain Commissioner	02/02/99
Letter from Michigan Department of Transportation	02/03/99
Letter from Brad Schnaidt, Fire Marshall GT Fire Department	01/29/99
Letter from Sgt. Robert Woods, GT County Sheriff	01/28/99
Traffic Impact Assessment, Steven W. Patmore	01/27/99
Subsurface Investigation Report - AKT Environmental Consultants, Inc.	
Letter from Rick Lyles Re: Review of proposed NCB site	03/16/99
Letter/Report from Rick Lyles Re: "National City Bank Proposal - results of detailed investigation"	04/03/99
Letter from Rick Lyles Re: "National City Bank Proposal - follow-up questions"	4/19/99
Letter from MDOT Re: Proposed National City Bank, US31 South, Garfield Township	5/18/99

3. Further Conditions. This Permit is subject to the following additional conditions:

a. Applicant shall obtain all other permits required by law including, a Soil and Erosion Permit from Grand Traverse County Drain Commissioner. Compliance with those permits is a condition of this Special Use Permit and the terms of those permits are incorporated herein by reference. The Applicant shall engage in no activity relating to this project which requires a permit from any governmental unit or agency, until that permit has been obtained.

b. Drawings to be submitted for the Township Zoning/Building Permit shall include, however, not be limited to a Site Plan or Development Plan for entire parcel, Drainage Plan and Landscape Plan.

c. Final development plans and documents shall be reviewed by the Township Code Enforcement Officer and the development shall meet all requirements of the Township as set out in this special use permit or if not specifically addressed in this special use permit as regulated in the Township Zoning Ordinance, including landscaping, lighting, signage and utility easements, construction and related issues.

d. The development shall meet all of the requirements of the Grand Traverse Co. Metro Fire Department.

e. That the development shall meet all the requirements of Section 8.7.3(11) of the Garfield Township Zoning Ordinance.

f. The applicant shall provide a bond, letter of credit or cash surety in a form and amount acceptable and approved by the Township Code Enforcement Office before commencement of the construction of the development or any phase of the development, for completion of site restoration, landscaping, irrigation, lighting, parking and roadways, blacktopping, utilities, sidewalks, drainage and other site improvements when improvements are proposed for which such bonds, letter of credit or cash surety are not required by other permitting agencies. This requirement recognizes that various developers or builders may be involved in the project, for example, it has been indicated by the applicant that he will construct the project through the completion of the infrastructure and that other parties will construct and own the buildings. In the event that the work is undertaken in phases, individual bonds may be required from each party responsible for that particular phase of the improvement.

g. The applicant will cooperate with the Michigan Department of Transportation through the MDOT driveway permitting process to construct and appropriately sign, at the applicants expense, a directional driveway which will effectively limit to only right hand turning movements ingress to and access from the property. This will apply to the offsite installation of and cost of "no left turn" signage required by MDOT as a part of the driveway permit approval.

h. The site design for the project shall provide for eventual internal access to the adjacent properties to the north, west and south at such a time as those properties may be developed or redeveloped.

i. Hours of Operation - Lobby Hours Monday thru Friday 9:00 a.m. to 5:00 p.m.; Drive-In Hours - Monday thru Wednesday 9:00 a.m. to 5:00 p.m., Thursday & Friday - 9:00 a.m. to 6:00 p.m., and Saturday - 9:00 a.m. to 12:00 p.m. (Am. 10/9/2002)

4. Violations and Notice Requirements. Any violation of these conditions shall serve as grounds for revocation for this Special Use Permit by the Township. In the event of any such violation,

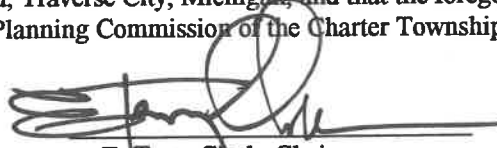
the Township shall give written notice to the Applicant by ordinary mail addressed to the Applicant at the last address furnished to the Township by the Applicant. The Notice shall state that unless the violation is corrected or resolved to the satisfaction of the Township within 30 days from the date of the Notice, then the Township may revoke this Special Use Permit after hearing. In the event a hearing becomes necessary, the Township shall establish the notice requirements and such other conditions with respect to the hearing as the Township may deem appropriate. After the hearing, if the Township revokes this Special Use Permit, then enforcement of the revocation may be made by application for appropriate relief in Grand Traverse County Circuit Court and the Township may recover all of the costs, including attorney fees, associated with or resulting from such violation or noncompliance.

5. Fees and Expenses. All fees and expenses charged to the Applicant pursuant to Township ordinance shall be paid before this Permit becomes effective.

6. Non-vesting. The approval of this Special Use Permit by the Charter Township of Garfield shall not operate to vest in the Applicant any right to rely upon any permission given herein until compliance has been had with all stated conditions herein.

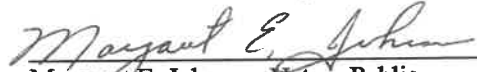
7. Alteration, Amendment or Cancellation of Special Use Permit. By compliance with the same procedures requiring for the issuance of this Permit, including a public hearing, the Township may alter, amend or cancel this Special Use Permit to the extent permitted by law.

The undersigned hereby certifies that he is the Chairman of the Planning Commission of the Charter Township of Garfield, Traverse City, Michigan, and that the foregoing National City Bank Special Use Permit was approved by the Planning Commission of the Charter Township of Garfield on the 18th day of May, 1999.


E. Terry Clark, Chairman
Planning Commission

STATE OF MICHIGAN
COUNTY OF GRAND TRAVERSE

Subscribed and sworn to before me this 20th day of July, 1999, by E. Terry Clark, Chairman of the Planning Commission of the Charter Township of Garfield.


Margaret E. Johnson, Notary Public
Leelanau County, Michigan (Acting in Grand Traverse Co., MI)
Comm. Exp. 9-30-2002


A. Lincoln Lewis, on behalf of National City Bank, hereby acknowledges receipt of this Special Use Permit and has read and understands all of the terms and conditions of the Special Use Permit. The Applicant agrees to comply with all of the terms and conditions thereof and further agrees that all of the terms and conditions of said Permit shall be binding upon all other owners or occupants of the subject property.

NATIONAL CITY BANK

By: A. Lincoln Lewis


STATE OF Michigan
COUNTY OF Kalamazoo

Subscribed and sworn to before me this 22nd day of June, 1999 by _____.

A. Lincoln Lewis

Notary Public

Commission Expires: BARBARA A. ANTOSZ
NOTARY PUBLIC KALAMAZOO COUNTY, MI
MY COMMISSION EXP. 03/27/2001

Drafted by:
Garfield Charter Township, Gerry Harsch
3848 Veterans Drive
Traverse City, MI 49684
Ph: (616) 941-1620
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 Charter Township of Garfield Planning Department Report No. 2022-60			
Prepared:	July 6, 2022	Pages:	9
Meeting:	July 13, 2022 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	7Brew 1114 W. South Airport Road/Cherryland – Site Plan Review		
Applicant:	NLD Acquisitions LLC – Kevin Myers		
Owner:	NexGen HTP LLC		
Agent:	BFA, Inc. – John Schebaum		
File No.	SPR 2022-06		
Parcel No.	05-014-049-40		

PURPOSE OF APPLICATION:

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards.

BACKGROUND:

The project is to construct a 7Brew drive-through coffee shop on a 0.47-acre parcel on West South Airport Road, just west of South Garfield Avenue, between Big Lots and the approved Biggby Coffee. The proposed building would be 510 square feet and offer only drive-through and walk-up service, with no dine-in services.

The site (Parcel ID #05-014-049-40) is occupied by the former Hometown Pharmacy. Restaurants with a drive-through are permitted by right in the C-P Planned Shopping Center district. The intent of the C-P district as stated in the Zoning Ordinance is as follows:

“It is the intent of the C-P (Planned Shopping) Districts to recognize the various areas of our community that have been developed in a grouped retail setting with department store anchors and expansive parking areas. These planned centers are typically located on a single, unified site and are designed and constructed as an integrated unit for shopping and other business activity. This section recognizes the transition from antiquated development patterns and encourages multi-use, multi-story, infill development of the parking areas to create a more pedestrian-friendly, mixed-use area. Multi-story structures are encouraged.”

Zoomed-out (left) and zoomed-in (right) aerial images of the subject property (highlighted in blue):



SITE DEVELOPMENT REQUIREMENTS:***(1) General***

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards. The following criteria as listed in Section 424.F(1)(a)-(j) of the Zoning Ordinance are offered for consideration by the Planning Commission:

(a) Required Information. *All required information shall be provided.*

- Staff has determined the application and site plan to be substantially complete for purposes of completing this report.

(b) Outside Agencies. *All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.*

- The applicant is required to comply with all agencies with jurisdiction. Agency approvals that are not received may be made conditions of the site plan approval.

(c) Essential Facilities and Services. *Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.*

- The project will repurpose a site occupied by a vacant building surrounded by other developments in the area. Many essential facilities and services are in place.
- The site is only 0.47 acres and is not anticipated to overburden area municipal services.
- The site is accessed from within the Cherryland Center using an existing access from South Airport Road. The site is serviced by existing public sewer and water.

(d) Natural Features. *Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.*

- This is a vacant building on an existing parcel in a planned commercial shopping area.
- There are no known sensitive natural features that would be impacted by this project.

(e) Site Design. *All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.*

- The proposed 7Brew will be appropriate in character with other sites in the general vicinity including the existing Burger King and proposed Biggby Coffee immediately to the east.
- Proposed landscaping will provide screening and help minimize adverse effects on adjacent properties and the neighborhood. See comments on the proposed landscaping plan later in this report.
- For a drive-through, a setback of at least 60 feet from the right-of-way line of any existing or proposed street shall be maintained. The site plan shows that a 63-foot setback is maintained between the right-of-way line and the new building.

(f) **Orientation.** *Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

- The site is not proposed to have interior seating or service, so there is no main entrance for customers. The building will be accessed by employees only.

(g) **Vehicle and Pedestrian Systems.** *The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.*

- The site is accessed from within the Cherryland Center using an existing access from South Airport Road. No new ingress and egress points to South Airport Road are proposed.
- The proposed drive-through configuration will allow for 12 queuing vehicles onsite. One of the supplemental requirements is that the site shall be found to be suitable for a drive-through by a traffic engineer. This determination shall be provided to the Township and the site shall be found suitable to accommodate all queuing traffic onsite without backups onto any adjacent sites or onto South Airport Road.
- A new 5-foot-wide sidewalk is proposed along South Airport Road. Since South Airport Road is an arterial road, the sidewalk is required to be 6 feet wide. Non-motorized pathways may be constructed within the public street right-of-way or upon private property subject to an appropriate public access easement being recorded. In this case, the applicant is required to record a public access easement for the proposed sidewalk. Finally, an internal sidewalk is required to be constructed between the front of the new building with the proposed new sidewalk along South Airport Road.

(h) **Shared Drives.** *Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.*

- As stated above, the site is accessed from within the Cherryland Center using an existing access from South Airport Road. No new ingress and egress points to South Airport Road are proposed.

(i) **Impervious Surfaces.** *The amount of impervious surface has been limited on the site to the extent practical.*

- Impervious areas of the proposed project include a 510 square-foot building, a remote cooler, double drive-through lanes, and 6 parking spaces. The small building and limited parking on the site appear to limit impervious surface to the extent practical.
- The remainder of the site will include pervious lawn and landscaping areas with gravel proposed for a buffer area on the west side of the site. Rock is permitted provided that the material does not exceed twenty percent (20%) of the total of any individual landscaped area. In this case, the proposed gravel covers the entire individual landscaped area and should be adjusted to reflect this requirement.

(j) **Master Plan.** *The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.*

- The proposal fits with the Future Land Use Map, as the parcel and surrounding vicinity are envisioned as Commercial, which accommodates a wide range of potential businesses.
- The site is part of the Barlow Garfield Neighborhood Plan which guides development in this neighborhood of the Township. This plan included several development principles for this neighborhood encompassing the following:
 - Allow for mixed-use development on primary corridors.
 - Account for public spaces that accommodate a variety of activities.
 - Encourage connectivity through sidewalks, trails, cross-access, and other means.
 - Allow sites to be designed at a scale that encourages a neighborhood character.
 - Allow for new housing with diverse selection of unit types and sizes.
 - Facilitate improvements for public infrastructure upon new development.
- The proposed sidewalk along South Airport Road helps support the development principle of encouraging connectivity.
- The proposed building is smaller than most other nearby buildings and the site design will be at a similar scale to that of other sites along this corridor. The site design development principle in the Barlow Garfield Neighborhood Plan indicates that site design will reinforce the development principles by having consistency in the building setback and placement, landscaping, planting elements, and other site features. The proposed building will meet the minimum setback for a drive-through as stated in the Zoning Ordinance. See comments on the proposed landscaping plan later in this report.
- The Barlow Garfield Neighborhood Plan envisions a connected, livable, community center within Garfield Township in this neighborhood. While the Planning Commission should carefully consider the proliferation of drive-through uses, the site will be designed to have walk-up service, will include newly created sidewalk along South Airport Road, and will not create any additional curb cuts from South Airport Road. These aspects of the site plan will help further the goals of the Barlow Garfield Neighborhood Plan.

The following review of the proposal with regards to the relevant sections within Article 5 – Development Standards is also provided:

Access Management

As stated above, the site is accessed from within the Cherryland Center using an existing access from South Airport Road. No new ingress and egress points to South Airport Road are proposed.

Parking, Loading, and Snow Storage

Drive-in or drive-through only restaurants have a minimum parking requirement of 1 for each employee on the largest shift plus one for each outdoor table. The site plan there are 5 employees per shift. There are 6 parking spaces proposed including 1 barrier-free space. The building is small enough that a loading zone is not required.

Bicycle parking shall be provided at the rate of 2 bicycle spaces per 25 motor vehicle spaces. One bicycle rack is proposed and indicated on the plan, which will give space for 2 bicycles.

As required by Section 551 of the Ordinance, a ratio of ten (10) square feet of snow storage is required per one hundred (100) square feet of parking area. With 8,570 square feet of parking area, 962 square feet of snow storage area has been indicated on the site plan which exceeds this requirement.

Dumpster Enclosure

Section 516 states that enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. A dumpster enclosure is shown for the northside of the site. Details of the enclosure are included (Sheet A5.0) and show an enclosure that is 16-0” x 12-8” and 7’ tall. The enclosure will be a red brick and block with a wood gate.

Stormwater Management

Stormwater review by the Township Engineer will be required prior to the issuance of a Land Use Permit.

Lighting

A photometric site plan is included with the site plan. Lighting standards of Section 517 of the Zoning Ordinance are described as follows:

Zoning Ordinance Lighting Standard	Subject Site
<i>A. Applicability</i> – All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.	None of these exceptions apply to this site, so all lighting for this site is subject to the requirements of this section.
<i>B. Shielding and Filtration</i> – Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.	Information needs to be provided on the type of fixtures and whether the fixtures meet all lighting standards of Section 517 including shielding and illumination.
<i>C. Illumination</i> – Average illumination levels shall not exceed 3.0 foot-candles for the main parking area, 2.0 foot-candles for the peripheral parking area, 5.0 foot-candles for the main drive areas, and 20.0 foot-candles directly below the lighting fixture. Illumination shall also not exceed 1.0 foot-candles adjoining another nonresidential zoning district along a local street or property line. Average lighting values ranging from 0.5 to 1.5 foot-candles are recommended.	The photometric plan shows 34 light fixtures, including five pole mounted fixtures, one building mounted fixture, and 28 under canopy fixtures. The most intense light is under the canopy at 39.4 foot-candles. The illumination levels at the northwest corner of the site exceed property line levels of 1.0. The lighting fixtures need to be adjusted to meet the lighting standards of Section 517 for illumination.
<i>D. Color Temperature</i> – All proposed lamps shall emit light measuring 3,500 K or warmer on the Kelvin scale.	Applicant needs to provide fixture specifications and indicate the fixtures measure 3,500 K or warmer.
<i>E. Prohibitions</i> – Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.	Information needs to be provided on the type of fixtures and whether the fixtures meet all lighting fixtures shall meet all lighting standards of Section 517 including shielding and illumination.

Zoning Ordinance Lighting Standard	Subject Site
<i>F. Pole Height</i> – All pole-mounted lighting shall not exceed the maximum permitted height of the zoning district.	Five light poles are proposed. The height of the poles needs to be provided.

Landscaping

Landscaping requirements are described by the following for each length of greenspace area (e.g., without including the ingress and egress drive):

Greenspace (Length)	Adjacent Land Use	Buffer Planting Requirement	Amount Required	Amount Provided
West (125 ft.)	Commercial	Type “B” * Ground cover as specified in Section 530.J, plus * 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace area * Minimum width: 10 feet	3 large trees 1 med./small trees 5 shrubs 10-foot width	3 large trees 1 med./small trees 5 shrubs 10-foot width
North (100 ft.)	Commercial		2 large trees 1 med./small trees 4 shrubs 10-foot width	2 large trees 1 med./small trees 4 shrubs 10-foot width
East (145 ft.)	Commercial		3 large trees 2 med./small trees 6 shrubs 10-foot width	3 large trees 2 med./small trees 6 shrubs 10-foot width
South (140 ft.)	Arterial Road (S. Airport)	Type “D” * Ground cover as specified in Section 530.J, plus * 4 large trees, 3 medium or small trees, and 3 evergreen or coniferous trees per 100 linear feet of greenspace area * Minimum width: 20 feet	6 large trees 4 med./small trees 4 evergreen trees 20-foot width	6 large trees 4 med./small trees 4 evergreen trees 20-foot width

As noted above, the buffer area on the west side of the site is proposed to include “landscape gravel.” Rock is permitted provided that the material does not exceed twenty percent (20%) of the total of any individual landscaped area. In this case, the proposed gravel covers the entire individual landscaped area and should be adjusted to reflect this requirement.

Signs

Signs require sign permit review and are not approved under the site plan review process. A note on Sheet SP-1 states “Signs are subject to sign permit review by Garfield Township.”

(2) External Access

All site plan proposals submitted under the requirements of the C-P Planned Shopping District shall provide for the proper handling of traffic and pedestrians throughout the site. The site plan shall limit ingress and egress along major thoroughfares and access properties by way of internal service drives and pedestrian walkways. As stated above, the site is accessed from within the Cherryland Center using an existing access from South Airport Road. No new ingress and egress points to South Airport Road are proposed.

(3) Internal Pedestrian Circulation

Section 522 requires pathways and interior sidewalks. An interior sidewalk is required from the front the proposed building to the proposed sidewalk on South Airport Road.

(4) Non-Motorized Pathways

A sidewalk is proposed along South Airport Road which will connect to the approved sidewalk in front of Biggby Coffee to the east. Since South Airport Road is an arterial road, the sidewalk is required to be 6 feet wide. The proposed sidewalk show is 5 feet wide and will have to be adjusted. The applicant shall record a public access easement for the proposed sidewalk.

(5) Building Placement

From Section 322 C. (5), buildings shall be placed in a manner that encourages pedestrian circulation and connectivity among the various out lots and internal uses. All buildings shall be located adjacent to a curbed internal roadway with the prominent building wall facing the roadway or access drive. Buildings fronting an internal roadway or access drive shall be accessible by pedestrian walkways.

Building placement is consistent with that of surrounding sites, and sidewalk along South Airport Road will provide pedestrian access to the site.

(6) Vegetative Transition Strip

A vegetative transition strip of at least fifty feet wide is required if the site abuts a residential or agricultural zone, but this does not apply in this case. Comments on landscaping for the whole site are included above.

(7) Service Drives

Access to the site is from an interior drive via an existing ingress and egress drive from South Airport Road, a major thoroughfare.

(8) Prohibited Outdoor Storage

The applicant does not propose any outdoor storage.

USE STANDARDS – DRIVE-THROUGH:

Section 730 of the Zoning Ordinance outlines several specific regulations and conditions for drive-in and drive-through uses, including the following:

1. *Service and dining may be in automobiles or outdoors, but all other activities shall be carried on within a building.*

The site plan shows the building, drive-through, and parking area. No outdoor dining is proposed.

2. *A setback of at least sixty (60) feet from the right-of-way line of any existing or proposed street shall be maintained.*

The building measures approximately 63 feet from the right-of-way line of South Airport Road.

3. *Ingress and egress points shall be located at least fifty (50) feet from the nearest edge of the traveled portion of any intersecting streets.*

The existing ingress and egress drive to Cherryland Center is over 150 feet away from the Burger King ingress and egress on South Airport Road and is over 425 feet away from the intersection of South Airport Road and Garfield Avenue.

4. *Pedestrian areas shall be clearly marked and maintained.*

A new sidewalk is proposed along South Airport Road. A sidewalk connection is required to the front of the building.

5. *Only one (1) ingress-egress drive shall be allowed per major thoroughfare.*

The only ingress-egress is from the existing drive for Cherryland Center from South Airport Road, a major thoroughfare.

6. *All parking requirements shall comply with Article 5 of this Ordinance.*

Parking requirements are described in a previous section of this letter.

7. *Notwithstanding the dimensional standards of this Ordinance, lots used for drive-in businesses and drive-in or drive-through restaurants shall have a minimum width of one hundred (100) feet.*

The parcel is 140 feet wide by 145 feet long.

8. *Queuing requirements, drive-in and drive-through businesses shall be designed to accommodate the maximum number of queuing vehicles that may be expected to seek service at any one time without queuing onto an adjacent thoroughfare, including service drives. The determination as to the required queuing spaces shall be established by the Planning Commission based upon the anticipated number of vehicles likely to queue while waiting for service. The Planning Commission may require more than twelve (12) queuing spaces based upon evidence presented to it, but in no event shall the required number of queuing spaces be reduced below twelve (12).*

The site plan shows the drive-through lanes will accommodate at least 12 queuing spaces.

9. *Notwithstanding the provisions of this section, the queuing of vehicles onto the traveled portion of a public roadway providing access to the business establishment such that queuing interferes to an extent with the free flow of traffic on the traveled portion of that roadway shall subject the Special Use Permit holder to enforcement action, including fines, injunctive relief and/or revocation of the Special Use Permit.*

This requirement shall be enforced as needed as part of the operation of the site.

10. *The site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.*

The applicant shall provide information demonstrating that this requirement is met.

RECOMMENDATION:

Staff is of the opinion that although some issues remain outstanding for this proposed project, they may be potentially addressed as conditions of approval if the Planning Commission finds in favor of an approval. Following the applicant presentation and Planning Commission discussion, if the Commission is prepared to decide, then the following motion in support of approval is offered:

MOTION THAT application SPR 2022-06, submitted by BFA, Inc. on behalf of NLD Acquisitions LLC to construct a drive-through coffee shop on the parcel 05-014-049-40, BE APPROVED, subject to the following conditions:

1. Information needs to be provided on the type of fixtures and whether the fixtures meet all lighting standards of Section 517 including shielding, illumination, and color temperature.
2. The sidewalk proposed along South Airport Road shall be 6 feet wide. The applicant is required to record a public access easement for the proposed sidewalk.
3. An internal sidewalk is required to be constructed between the front of the new building with the proposed new sidewalk along South Airport Road.
4. Revise the landscaped area on the west side of the site so as not to exceed twenty percent (20%) of the total for gravel.
5. The applicant shall provide information demonstrating that the site shall have been found to be a suitable site for a drive-in or drive-through establishment, with regard to traffic safety, by a registered engineer with an educational specialization in traffic engineering.
6. All agency reviews, including stormwater and utility review by the Township Engineer, shall be received, and deemed compliant prior to issuing a Land Use Permit or Building Permit.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

1. Application for Site Plan Review dated June 8, 2022
2. Site Plan set dated June 30, 2022.



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SITE PLAN REVIEW (SPR) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

Site Diagram Review

Administrative Site Plan Review

Site Development Plan Review

PROJECT / DEVELOPMENT NAME

APPLICANT INFORMATION

Name:

Address:

Phone Number:

Email:

AGENT INFORMATION

Name:

Address:

Phone Number:

Email:

OWNER INFORMATION

Name:

Address:

Phone Number:

Email:

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Owner:

PROPERTY INFORMATION

Property Address:

Property Identification Number:

Legal Description:

Zoning District:

Master Plan Future Land Use Designation:

Area of Property (acres or square feet):

Existing Use(s):

Proposed Use(s):

PROJECT TIMELINE

Estimated Start Date:

Estimated Completion Date:

REQUIRED SUBMITTAL ITEMS

A complete application for a Site Plan Review consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Diagram Review:

- Two complete stapled 11"x17" paper sets
- One digital set (PDF only)

Administrative Site Plan:

- Two complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Site Development Plan:

- Ten complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Diagram (SD), Administrative Site Plan (ASP), or Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

An administrative site plan or site development plan shall conform to all provisions of the Zoning Ordinance and to the following site development standards which shall be reflected on the plan:

1. Required Information. All required information shall be provided.
2. Outside Agencies. All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.
3. Essential Facilities and Services. Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
4. Natural Features. Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.
5. Site Design. All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.
6. Orientation. Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
7. Vehicle and Pedestrian Systems. The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
8. Shared Drives. Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
9. Impervious Surfaces. The amount of impervious surface has been limited on the site to the extent practical.
10. Master Plan. The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

<u>A. Sanitary Sewer Service</u>	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
1. Does project require extension of public sewer line? If yes, has a Utility Agreement been prepared?			
2. Will a community wastewater system be installed? If yes, has a Utility Agreement been prepared? If yes, provide construction plans and specifications			
3. Will on-site disposal be used? If yes, is it depicted on plan?			

B. Water Service

1. Does project require extension of public water main?
If yes, has a Utility Agreement been prepared?
2. Will a community water supply be installed?
If yes, has a Utility Agreement been prepared?
If yes, provide construction plans and specifications

C. Public utility easements required?

If yes, show on plan.

D. Stormwater Review/Soil Erosion

1. Soil Erosion Plans approved by Soil Erosion Office?
If so, attach approval letter.
If no, are alternate measures shown?
2. Stormwater Plans approved by Township Engineer?
If so, attach approval letter.
If no, are alternate measures shown?
Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed?
If yes, has Road Commission approved (attach letter)?
2. Will public streets connect to adjoining properties or future streets?
3. Are private roads or interior drives proposed?
4. Will private drives connect to adjoining properties service roads?
5. Has the Road Commission or MDOT approved curb cuts?
If yes, attach approved permit.

OTHER INFORMATION




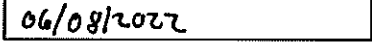
If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review.
- The Planning Commission may approve, approve with conditions, or deny the application.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:	
Applicant Signature:	
Agent Signature:	
Date:	

OWNER'S AUTHORIZATION


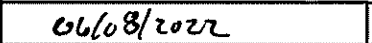


If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Brent DesAmo (General Manager of NexGen ATP LLC) authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:	
Date:	

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:	
Date:	
Applicant Signature:	
Date:	

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A. Basic Information		
1. Applicant's name, address, telephone number and signature		
2. Property owner's name, address, telephone number and signature		
3. Proof of property ownership		
4. Whether there are any options or liens on the property		
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent		
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage		
7. A vicinity map showing the area and road network surrounding the property		
8. Name, address and phone number of the preparer of the site plan		
9. Project title or name of the proposed development		
10. Statement of proposed use of land, project completion schedule, any proposed development phasing		
11. Land uses and zoning classification on the subject parcel and adjoining parcels		
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision		
2. Boundary dimensions of natural features		
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		
4. Proposed alterations to topography and other natural features		
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.		
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	*	
10. Existing and proposed driveways, including parking areas		
11. Neighboring driveways and other vehicular circulation features adjacent to the site		
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		
15. Location and dimensions of curb cuts, acceleration, deceleration and passing lanes		
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		
17. Location of water supply lines and/or wells		
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems		
19. Location, specifications, and access to a water supply in the event of a fire emergency		
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		
27. Changes or modifications required for any applicable regulatory agencies' approvals		

EXHIBIT "A"

Legal Description

Land situated in the Township of Garfield, County of Grand Traverse, State of Michigan, and described as:

Part of the Northeast 1/4 of the Southeast 1/4 of Section 14, Town 27 North, Range 11 West, more fully described as: Commencing at the East 1/4 corner of said Section 14; thence South 00 degrees 32 minutes 10 seconds East, 1321.12 feet along the East line of said Section 14; thence South 89 degrees 57 minutes 40 seconds West, 540.52 feet along the South 1/8 line of said Section 14; thence North 50.00 feet to the Northerly right of way line of South Airport Road and the point of beginning; thence North 145.00 feet; thence West 140.00 feet; thence South 145.00 feet to the Northerly right of way line of South Airport Road; thence North 89 degrees 57 minutes 40 seconds East 140.00 feet along said right of way line to the point of beginning.

Together with a non-exclusive easement for ingress and egress over a parcel described as that part of the Northeast 1/4 of the Southeast 1/4 of Section 14, Town 27 North, Range 11 West, more fully described as: Commencing at the East 1/4 corner of said Section 14; thence South 00 degrees 32 minutes 10 seconds East, 921.12 feet, along the East line of Section 14, to a point which is North 00 degrees 32 minutes 10 seconds West, 400.00 feet of the point of intersection of Garfield and South Airport Roads; thence South 89 degrees 57 minutes 40 seconds West, 50.00 feet to the Westerly right of way line of Garfield Road and the point of beginning; thence South 89 degrees 57 minutes 40 seconds West, 215.00 feet; thence South 00 degrees 32 minutes 10 seconds East, 205.00 feet; thence South 89 degrees 57 minutes 40 seconds West, 245.05 feet; thence South 00 degrees 32 minutes 10 seconds East, 145.00 feet to the Northerly right of way line of South Airport Road; thence South 89 degrees 57 minutes 40 seconds West, 30.00 feet along said right of way line; thence North 170.00 feet; thence North 89 degrees 57 minutes 40 seconds East, 248.41 feet; thence North 00 degrees 32 minutes 10 seconds West, 220.00 feet; thence North 89 degrees 57 minutes 40 seconds East, 240.00 feet, to the Westerly right of way line of Garfield Road; thence South 00 degrees 32 minutes 10 seconds East, 40.00 feet, along said right of way line to the point of beginning.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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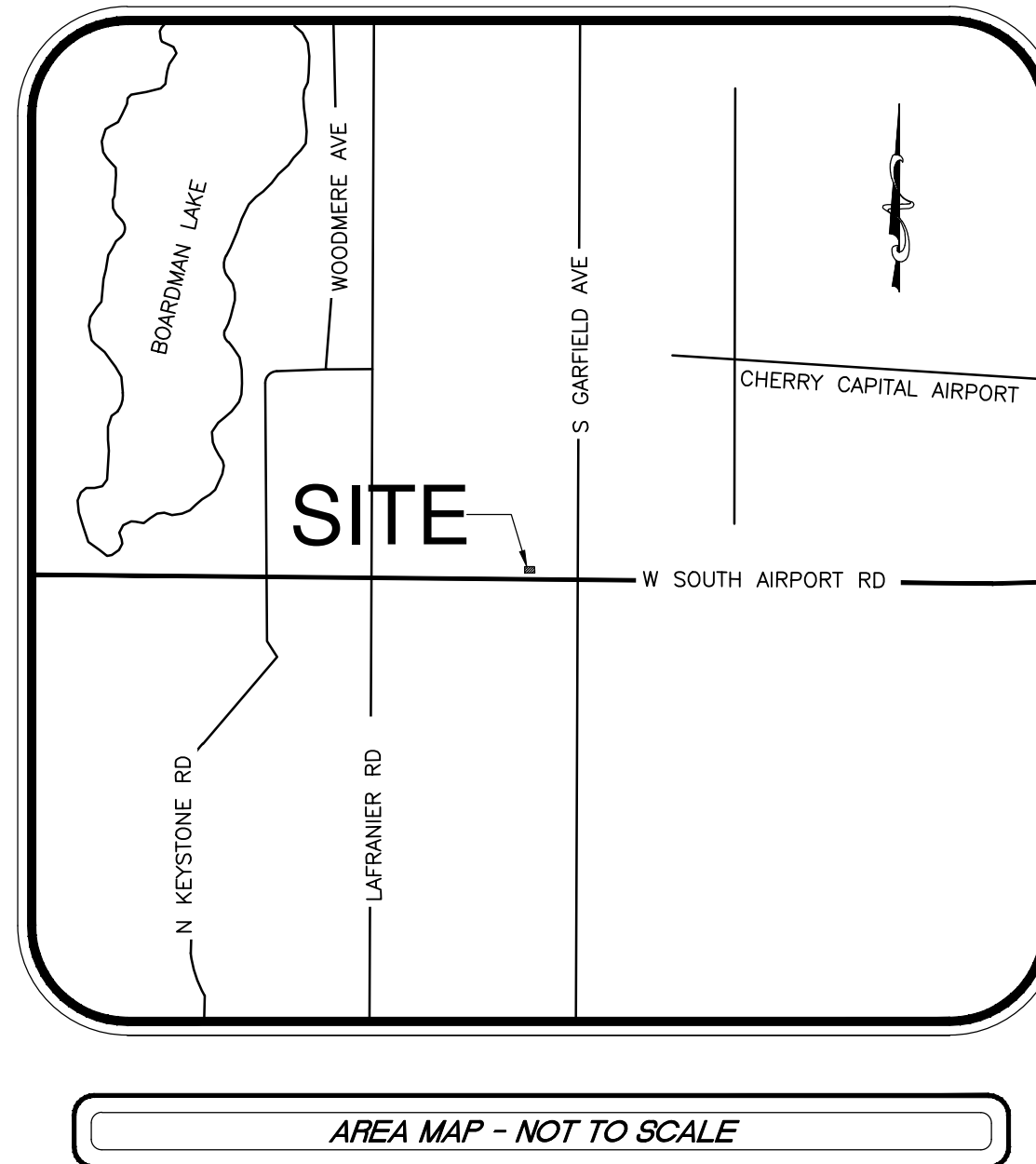
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PROPOSED 7BREW COFFEE SHOP

1114 WEST SOUTH AIRPORT ROAD
TRAVERSE CITY, GRAND TRAVERSE COUNTY, MICHIGAN 49684
GARFIELD TOWNSHIP

UTILITY/ GOVERNING AGENCIES CONTACTS	
GAS	DTE ENERGY CONTACT: PHONE:(855)-383-4249 EMAIL:
TELEPHONE	CENTURY LINK CONTACT: PHONE:(866)-770-1479 EMAIL:
ELECTRIC	CONSUMERS ENERGY CONTACT: PHONE: (231)-922-4923
SANITARY SEWER	GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS CONTACT: PHONE: (231)-995-6039 EMAIL:
WATER	GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS CONTACT: PHONE: (231)-995-6039 EMAIL:
STORM SEWER	CHARTER TOWNSHIP OF GARFIELD CONTACT: PHONE: (231)-992-4923 EMAIL:



SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	CS-1
*ALTA	ALTA
TOPOGRAPHIC SURVEY	TS-1
DEMOLITION PLAN	DM-1
EROSION AND SEDIMENT CONTROL PHASE I	ESC-1
EROSION AND SEDIMENT CONTROL PHASE II	ESC-2
EROSION AND SEDIMENT CONTROL DETAIL SHEET I	ESC-3
EROSION AND SEDIMENT CONTROL DETAIL SHEET II	ESC-4
GRADING PLAN	GR-1
SITE PLAN	SP-1
UTILITY PLAN	UT-1
LANDSCAPE PLAN	LP-1
LANDSCAPE DETAILS	LP-2
PRE DEVELOPMENT DRAINAGE AREA MAP	DA-1
POST DEVELOPMENT DRAINAGE AREA MAP	DA-2
*PROVIDED UNDER SEPARATE SEAL	

CAUTION--NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538
State of Michigan
Registered Professional Engineer
for BFA, Inc.

06/30/22
Date

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

TRAVERSE CITY, MI (S. AIRPORT RD)
 NLD Acquisitions, LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	By: App:
2	By: App:
3	By: App:
4	By: App:

DRAWN
B.L.F.
CHECKED
R.G.R.
DATE
06/30/22
SCALE
NONE
JOB No.
7219
SHEET NAME
COVER SHEET
CS-1

ZONING INFORMATION
 ZONE DISTRICT: "C-P" - PLANNED SHOPPING
 SETBACKS: FRONT 30'
 SIDE 30'
 REAR 30'

FLOOD NOTE
 This property is located in Zone "X", defined as area of minimal flood hazard according to graphic plotting on Flood Insurance Rate Map, Community Panel Number "26055C 0226 C", effective 08/28/2018.
 http://www.fema.gov
 Flood Zone lines are approximate locations, taken from the current Flood Insurance Rate Map as noted.
 No field surveying was performed to determine this Zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

STRUCTURE INVENTORY
 STRUCTURE #1 - CATCH BASIN
 RIM: 626.92
 21" CONC WNW INV. 621.07
 12" CONC SSE INV. 620.97
 STRUCTURE #2 - CATCH BASIN
 RIM: 626.75
 12" CONC ENE INV. 621.25
 15" CONC WNW INV. 621.25
 8" PVC NNW INV. 622.55
 STRUCTURE #3 - CATCH BASIN
 RIM: 627.32
 15" CONC W INV. 621.22
 STRUCTURE #4 - CATCH BASIN
 RIM: 627.44
 15" CONC E INV. 621.04
 15" CONC SW INV. 621.004
 STRUCTURE #5 - SANITARY MANHOLE
 RIM: 627.49
 10" PVC NE INV. 621.09
 10" PVC S INV. 621.09

ITEMS CORRESPONDING TO SCHEDULE B

16 Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document set forth below:
 Granted to: Board of County Road Commissioners of the County of Grand Traverse
 Recording No: Liber 360, Page 211.
 Establishes South Airport Road as shown hereon

17 Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document set forth below:
 Granted to: County of Grand Traverse, a Michigan county corporation
 Recording No: Liber 405, Page 564.
 Affects surveyed property as shown hereon

18 Easements, Terms, Covenants and Conditions of Easement Grant as set forth below:
 Recording No: Liber 417, Page 635.
 Affects surveyed property as shown hereon

19 Easements, Terms, Covenants and Conditions of Easement Grant as set forth below:
 Recording No: Liber 417, Page 639, as affected by Designation of Easement Area recorded in Liber 572, Page 61.
 Blanket in nature and therefore not shown hereon

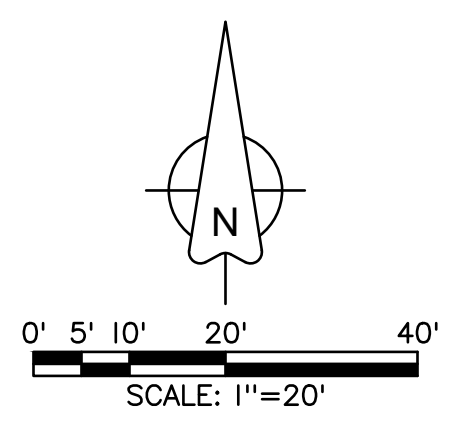
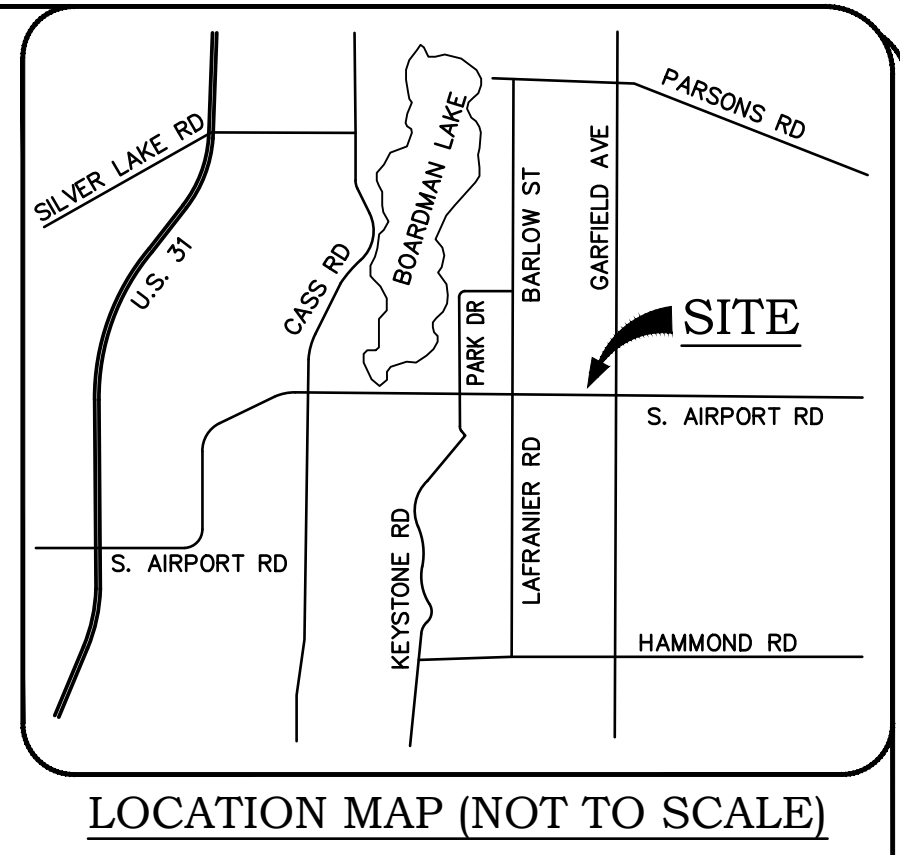
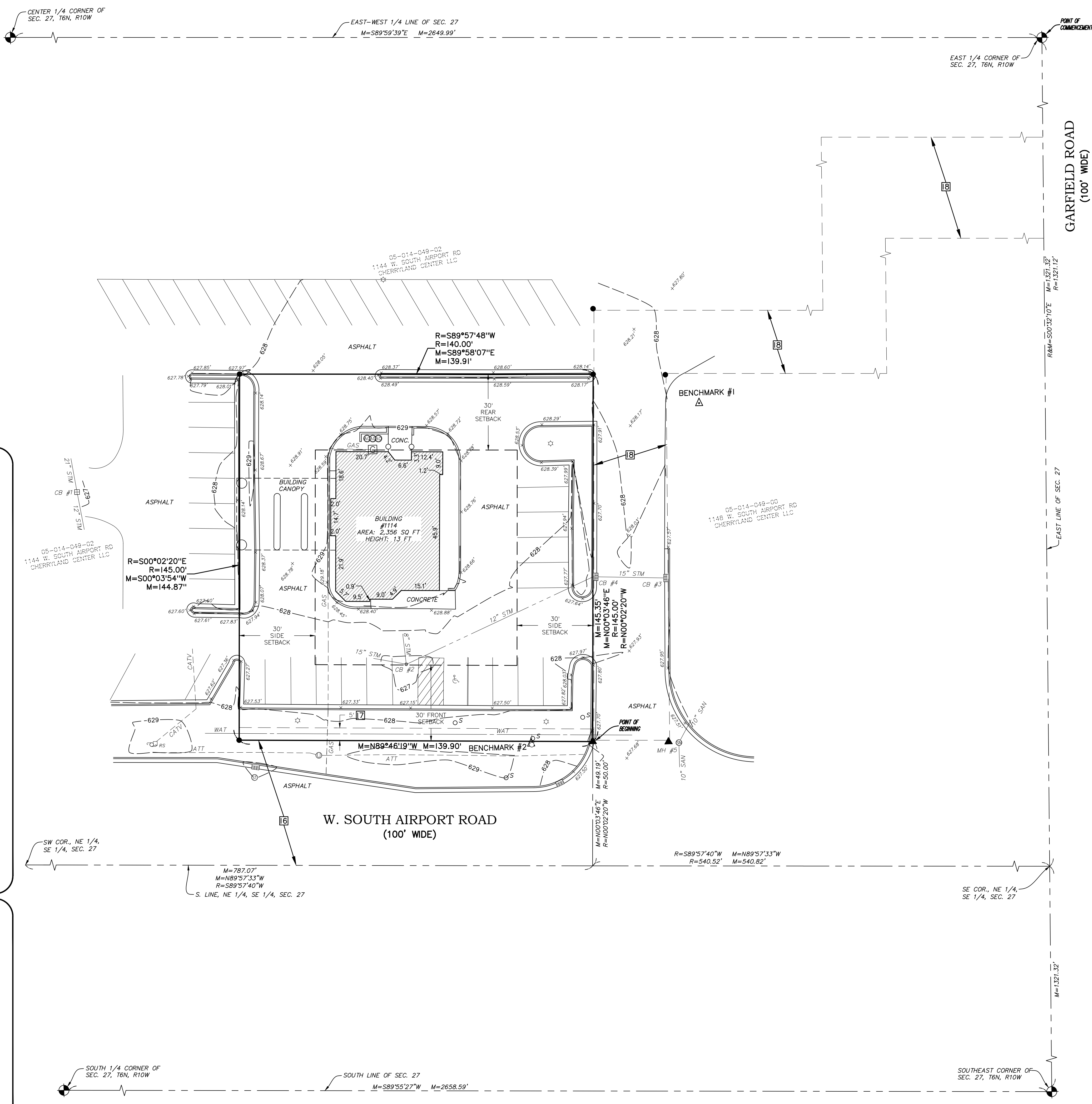
20 Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document below:
 Recording No: Liber 421, Page 984.
 Blanket in nature and therefore not shown hereon

21 Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document below:
 Recording No: 2018R-00665
 Blanket in nature and therefore not shown hereon

LEGEND OF SYMBOLS & ABBREVIATIONS

MEASURED	M=
RECORDED	R=
FOUND IRON	●
FOUND CONCRETE MONUMENT	▲
FOUND MAG NAIL	⊙
STORM MANHOLE	⊕
CATCH BASIN	⊗
SANITARY MANHOLE	⊖
SIGN	⊙
RISER - PHONE	⊠
WATER VALVE	⊞
GAS METER	⊟
TRANSFORMER	⊠
LIGHT POLE	⊙
UTILITY POLE	⊙
AIR CONDITIONING UNIT	⊙
UTILITY MANHOLE	⊙

ALTA/NSPS LAND TITLE SURVEY



MISCELLANEOUS NOTES

- THIS SURVEY IS BASED ON FIDELITY NATIONAL TITLE COMPANY COMMITMENT NO. A0780422, BEARING AN COMMITMENT DATE OF APRIL 25, 2022.
- PROPERTY ADDRESS: 1114 W. SOUTH AIRPORT ROAD, TRAVERSE CITY, MI 49686
- THE SUBJECT PROPERTY IS 20,300 SQ. FT. OR 0.466 ACRES.
- UTILITIES SHOWN BY OBSERVED EVIDENCE, MARKING PROVIDED BY MISS DIG LOCATION SERVICES.

BENCHMARK INFORMATION

BENCHMARK #1
 TOP OF NORTHWEST CORNER OF CONCRETE PAD UNDER TRANSFORMER LOCATED 40' SOUTHWEST OF NORTHEAST PROPERTY CORNER.
 EL: 628.20' (NAVD 88)

BENCHMARK #2
 TOP OF NORTH-NORTHWEST BOLT ON HYDRANT FLANGE LOCATED 25' WEST OF SOUTHWEST PROPERTY CORNER.
 EL: 629.94' (NAVD 88)

SURVEYOR'S NOTE

- PARCEL HAS ACCESS TO PUBLIC RIGHT OF WAY AS SHOWN ON THE SURVEY
- NO EVIDENCE OF RECENT EARTH MOVING WORK ON SITE.
- NO KNOWN PROPOSED CHANGES TO STREET RIGHT OF WAY LINE

FURNISHED LEGAL DESCRIPTION
 (PER FIDELITY NATIONAL TITLE COMPANY COMMITMENT NO. A0780422, BEARING AN COMMITMENT DATE OF APRIL 25, 2022)

Land situated in the Township of Garfield, County of Grand Traverse, State of Michigan, and described as:
 Part of the Northeast 1/4 of the Southeast 1/4 of Section 14, Town 27 North, Range 11 West, more fully described as:
 Commencing at the East 1/4 corner of said Section 14; thence South 00 degrees 32 minutes 10 seconds East, 540.52 feet along the East line of said Section 14; thence South 89 degrees 57 minutes 40 seconds West, 540.52 feet along the South 1/8 line of said Section 14; thence North 50.00 feet to the Northerly right of way line of South Airport Road and the point of beginning; thence North 145.00 feet; thence West 140.00 feet; thence South 145.00 feet to the Northerly right of way line of South Airport Road; thence North 89 degrees 57 minutes 40 seconds East 140.00 feet along said right of way line to the point of beginning.

Together with a non-exclusive easement for ingress and egress over a parcel described as that part of the Northeast 1/4 of the Southeast 1/4 of Section 14, Town 27 North, Range 11 West, more fully described as:
 Commencing at the East 1/4 corner of said Section 14; thence South 00 degrees 32 minutes 10 seconds East, 921.12 feet, along the East line of Section 14, to a point which is North 00 degrees 32 minutes 10 seconds West, 400.00 feet of the point of intersection of Garfield and South Airport Roads; thence South 89 degrees 57 minutes 40 seconds West, 50.00 feet to the Westerly right of way line of Garfield Road and the point of beginning; thence South 89 degrees 57 minutes 40 seconds West, 215.00 feet; thence South 00 degrees 32 minutes 10 seconds East, 205.00 feet; thence South 89 degrees 57 minutes 40 seconds West, 245.05 feet; thence South 00 degrees 32 minutes 10 seconds East, 145.00 feet to the Northerly right of way line of South Airport Road; thence South 89 degrees 57 minutes 40 seconds West, 30.00 feet along said right of way line; thence North 170.00 feet; thence North 89 degrees 57 minutes 40 seconds East, 248.41 feet; thence North 00 degrees 32 minutes 10 seconds West, 220.00 feet; thence North 89 degrees 57 minutes 40 seconds East, 240.00 feet, to the Westerly right of way line of Garfield Road; thence South 00 degrees 32 minutes 10 seconds East, 40.00 feet, along said right of way line to the point of beginning.

SURVEY CERTIFICATION

To NEXGEN HTP, LLC and FIDELITY NATIONAL TITLE COMPANY, LLC and (LENDER PENDING):

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4.5, 6a, 6b, 7a, 7b1, 7c, 8, 9, 10, 11a, 11b, 13, 14, 16, 17, 18 and 19 of Table A thereof. The field work was completed on May 26, 2022.

Date of Plat or Map: _____, 2022

Daniel D. Pratt
 P.S. #4001039094
 1128 Foxchase Lane, SE
 Grand Rapids, MI 49546
 tpc_inc@comcast.net

Terra Pointe Consultants, Inc.
 Client: BFA Inc.
 103 Elm Street
 Washington, MO 63090
 1128 Foxchase Lane, SE
 Grand Rapids, MI 49546
 PH 616.901.1968

ALTA/NSPS Land Title Survey
 Part of the Northeast 1/4 of the Southeast 1/4 of Section 14, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, MI

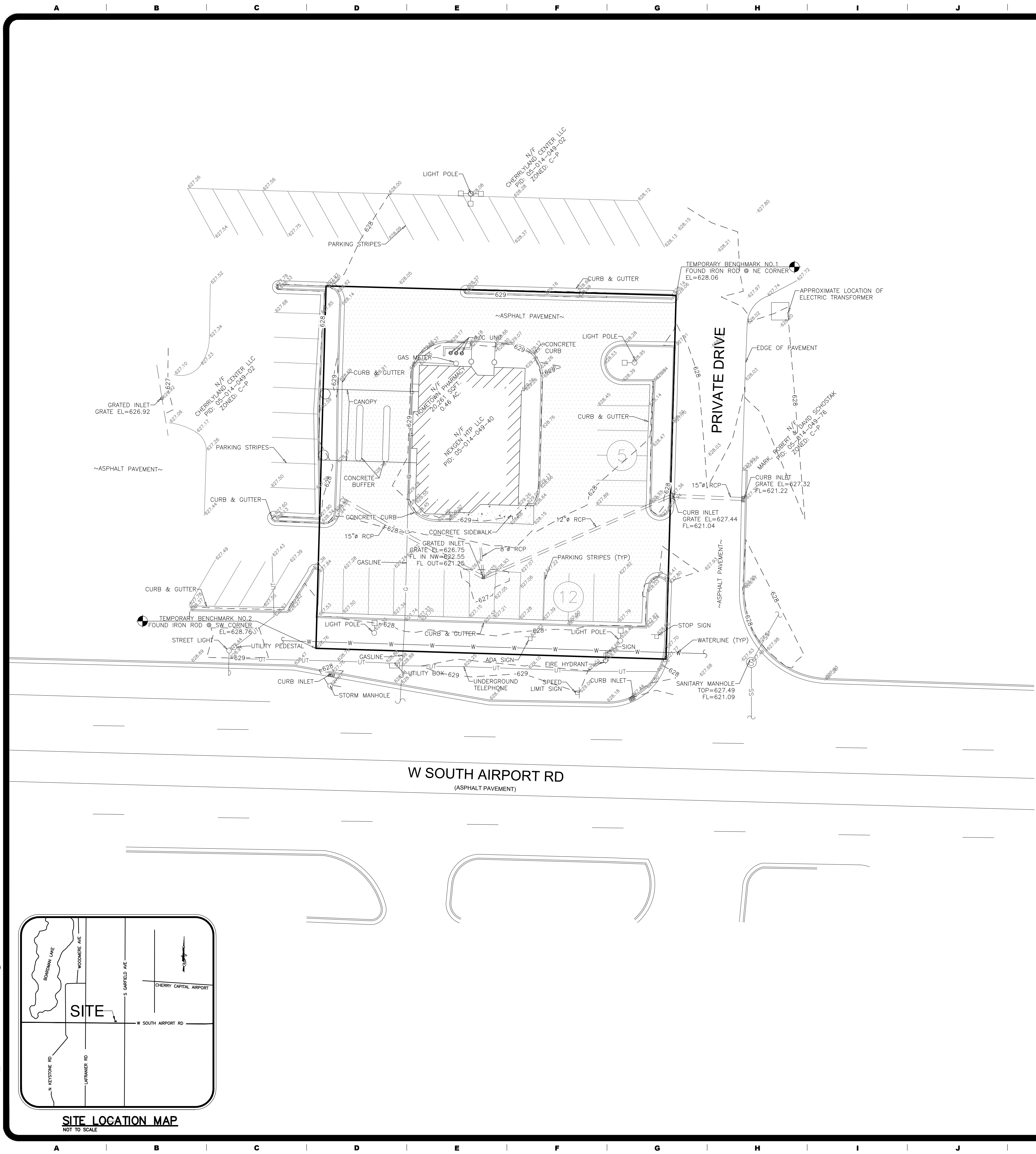
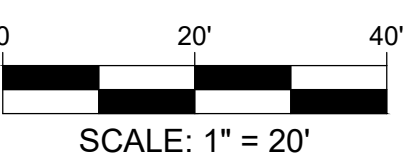
TPC Job No. 22009 Sheet 1 of 1
 Date of Field Survey: 05/26/2022

TOPOGRAPHIC SURVEY

(THIS IS NOT A BOUNDARY SURVEY)

TOPOGRAPHIC SURVEY NOTES:

- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
 - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD88 (2011) (INTERNATIONAL FOOT).
 - Bearings and Distances are shown per field data gathered by Terra Pointe Consultants, Inc. on May 03, 2022.
 - Field work was completed on this site by Terra Pointe Consultants, Inc. on May 03, 2022.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD88 (2011) (INTERNATIONAL FOOT).
- Temporary Benchmark No. 1 - Found Iron Rod @ Northeast Corner
 Northing = 519088.8750'
 Easting = 19365221.8270'
 Elevation = 628.06'
- Temporary Benchmark No. 2 - Found Iron Rod @ Southwest Corner
 Northing = 518947.8730'
 Easting = 19365077.9640'
 Elevation = 628.76'
- This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 26055C0226C dated August 28, 2018.
 - Existing curbs and gutters on site are vertical. Curbs and gutters along asphalt paved areas are 6" wide with 6" curb and 18" wide gutter. Curbs along concrete areas are 6" high.
 - This site is zoned C-P Planned Shopping District per the Charter Township of Garfield, MI Zoning Code.
 Building setback lines as per the Charter Township of Garfield, MI Zoning Code:
 Front Yard= 30'
 Side Yard= 30'
 Rear Yard= 30'
 - There is currently no known irrigation system on site.
 - Water service to this site is provided by Grand Traverse County Public Works, at time of survey.
 - Sanitary sewer service to this site is provided by Grand Traverse County Public Works, at time of survey.
 - Electrical service to this site is provided by Consumers Energy, at time of survey.
 - Telephone service to this site is provided by Century Link, at time of survey.
 - Gas service to this site is provided by DTE Energy, at time of survey.
 - NFV = Not Field Verified
 - The minimum depth of cover for waterlines on this site is 72 inches as per Grand Traverse County Public Works.



TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	— AE —
UNDERGROUND ELECTRIC	— UE —
UNDERGROUND TELEPHONE	— UT —
GAS LINE	— G —
WATERLINE	— W —
SANITARY SEWER	— SS —
STORM SEWER	=====
EASEMENT	— — — — —
PROPERTY LINE	— — — — —
CHAINLINK/WOODEN FENCE	— — — — —
CONTOURS	— 100 —
UTILITY POLE	o
GUARD POST	o
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	o
JUNCTION BOX	o
FLARED END SECTION	o
CLEANOUT	o
GRADED INLET	o
SOIL BORING	o

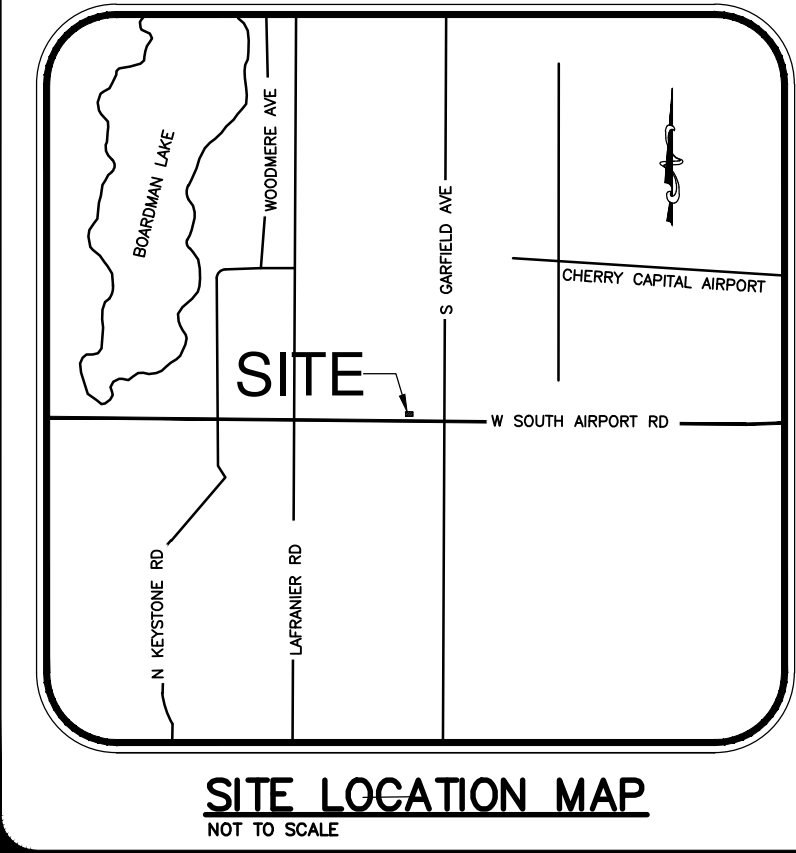
NOTE:
EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA PONTI CONSULTANTS, INC. ON 05-03-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Traverse City, MI (S. AIRPORT RD)
 NLD Acquisitions, LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____



FOR REVIEW ONLY

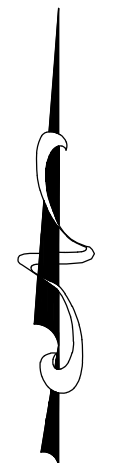
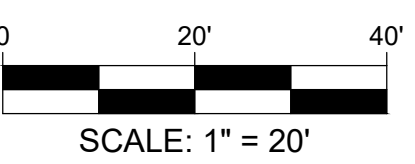
Raymond H. Frankenberg II, P.E. #42538
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN B.L.F.
 CHECKED R.G.R.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7219
 SHEET NAME TOPOGRAPHIC SURVEY
 TS-1

DEMOLITION PLAN



DEMOLITION PLAN NOTES:

- The Contractor shall conform to all applicable State and local codes for demolition of structures, safety of adjacent structures, dust control, and sediment and erosion control during construction.
- The Contractor shall verify that all required permits and licenses from appropriate authorities have been obtained prior to construction.
- The Contractor shall notify and coordinate scheduling with affected utility companies before starting work and comply with their requirements.
- The Contractor shall not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.
- The Contractor shall accurately record actual locations of capped utilities and subsurface obstructions that will remain after demolition.
- The Contractor shall provide, erect, and maintain sediment and erosion control devices, temporary barriers, and security devices during construction.
- The Contractor shall protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Any damage caused by demolition operations shall be repaired by the Contractor at no cost to Owner.
- The Contractor shall protect and maintain in a safe and operable condition utilities that are to remain. The Contractor shall prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. The Contractor shall provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.
- The Contractor shall notify adjacent owners of work that may affect their property, potential noise, utility outages or disruptions.
- Completely fill below grade areas and voids resulting from demolition or removal of structures, footings, foundations, underground fuel storage tanks, wells, cisterns, etc., using approved select fill materials consisting of stone, gravel, and sand. Fill materials shall be free from debris, trash, frozen materials, roots, and other organic matter.
- No burning of any material, debris, or trash on-site or off-site will be allowed, except when allowed by appropriate governing authority and Owner. Any permits required for doing so shall be obtained by the Contractor.
- All items noted "To Remain, and/or To Be Adjusted" shall be raised or lowered to match the new grade indicated or flush with the surrounding pavement. (i.e. manhole rims, valve covers, grates, etc.)
- Unless noted otherwise, utilities designated to be removed shall be removed in their entirety. Trenches shall then be backfilled and compacted. (See Soil Preparation and Compaction note on these plans.)
- Should hazardous materials be found during demolition operations, the Contractor shall notify the owner and all governing agencies, if necessary, and conform to all applicable regulatory procedures.
- The Contractor shall provide, install, and maintain traffic control at all times during construction. This includes signs, barriers, construction fencing, striping, etc. necessary to safely control site and construction traffic. Contractor shall be responsible for notifying adjacent property owners when closing cross access drive.
- The Contractor shall keep the premises clean and free of debris during construction.
- The fire protection for the site shall remain in service at all times during construction.
- Existing paint striping within the parking lot shall be removed as necessary for the proposed striping as shown on these plans. Striping shall be removed by sand blasting, milling, or grinding.
- All survey monuments disturbed during construction shall be replaced by a licensed land surveyor, licensed in the state where this project is located.
- The edges of all pavement and curb sections to be removed shall be saw cut. Remaining pavement and curb sections shall have smooth, clean edges. This means additional sawcuts may be necessary depending on contractor's means and methods.
- Remove all stumps, bushes, trees, weeds and other surface obstructions from the site that are within the proposed construction area and that are not otherwise noted to remain. Contractor to strip all topsoil from entire area to be graded. This may be done in phases. (Refer to Erosion and Sediment Control Plans.) Extent of topsoil use on site as per the on site geotechnical representative.
- The sitework for this project shall meet or exceed applicable AHJ Specifications, permit requirements, and manufacturer specifications.
- The contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in the low areas on the site may be required during construction.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Contractor shall be responsible for repair and replacement of any existing site features that are to remain that is disturbed during construction, including trench backfill, granular base, and pavements. Contractor's bid shall include any and all removal of and replacement of existing features due to utility removals and new connections.

- (TBR) = To Be Removed
- (TBR&R) = To Be Removed and Replaced/Relocated
- (TR) = To Remain
- (TBA) = To Remain and adjusted to proposed finish grade

NOTE:
EXISTING FIELD DATA SHOWN HEREON WAS GATHERED
BY TERRA POINTE CONSULTANTS, INC. ON 05-03-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES MAY NOT BE ACCURATELY SHOWN, KNOWN TO EXIST, AND/OR LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

ALL EXISTING UTILITIES ON THIS PROJECT SITE AND ON ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES, WHEN NECESSARY, TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE OWNER, AND BFA, INC.

DEMOLITION LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	—AE—
UNDERGROUND ELECTRIC	—UE—
UNDERGROUND TELEPHONE	—UT—
GAS LINE	—G—
WATERLINE	—W—
SANITARY SEWER	—SS—
STORM SEWER	=====
EASEMENT	----
PROPERTY LINE	-----
CHAINLINK/WOODEN FENCE	—o—o—o—
CONTOURS	— 100 —
UTILITY POLE	o
GUARD POST	GP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	⊠
JUNCTION BOX	o
FLARED END SECTION	o
CLEANOUT	o
GRADED INLET	⊠
SOIL BORING	⊗

REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

DRAWN
B.L.F.
CHECKED
J.B.S.
DATE
06/30/22
SCALE
1"=20'
JOB No.
7219

SHEET NAME
DEMOLITION PLAN

DM-1

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
State of Michigan Date
Registered Professional Engineer
for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

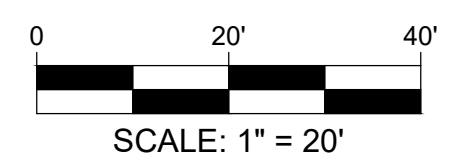
103 ELM STREET WASHINGTON, MISSOURI 63090

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PHASE I EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP

ACREAGE SUMMARY (IN ACRES)	
PROPERTY AREA	0.47
AREA WITHIN PROPERTY	0.47
AREA OUTSIDE OF 7 BREW PROPERTY	0.01
TOTAL PROJECT AREA	0.48
IMPERVIOUS AREA BEFORE PROJECT	0.39
IMPERVIOUS AREA AT COMPLETION	0.32
PERVIOUS AREA AT COMPLETION	0.16

SITE FEATURES	
	PROPERTY LINE
	RIGHT OF WAY LINE
	PROPOSED LIMITS OF DISTURBANCE
	EXISTING CONTOUR ELEVATIONS
	STORM DRAIN
	DIRECTION OF OVERLAND FLOW
	SOIL BOUNDARY



SEQUENCE OF CONSTRUCTION

- PHASE I**
- INSTALL STABILIZED CONSTRUCTION EXITS.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASONS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
 - INSTALL INLET PROTECTIONS AND SILT FENCES(S) ON THE SITE.
 - OVER-EXCAVATE FOR BUILDING PAD.
 - BEGIN GRADING THE SITE.
- PHASE II**
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 - TEMPORARILY SEED/STABILIZE DISTURBED AREAS.
 - INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - INSTALL INLET PROTECTION DEVICES.
 - COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
 - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

EROSION DETAILS	
	CEP CONSTRUCTION EXIT ON PAVEMENT
	CW CONCRETE WASHOUT
	EE EROSION EELS
	SF TEMPORARY SILT FENCE
	SS SWPP INFORMATION SIGN
	WW WHEEL WASHOUT
	MSLA MATERIAL LAYDOWN AND STORAGE AREA
	RR RIP-RAP

EROSION NOTES

- KbB** SOIL TYPE: KALKASKA SAND, 0 TO 6 PERCENT SLOPES
- RwA** SOIL TYPE: RUBICON SAND, 0 TO 2 PERCENT SLOPES

BENCHMARK INFORMATION

TEMPORARY BENCHMARK NO. 1 - FOUND IRON ROD ELEVATION=628.06'
 TEMPORARY BENCHMARK NO. 2 - FOUND IRON ROD ELEVATION=628.76'

NOTE:

IN THE EVENT THAT AN INSPECTOR OF THE U.S. E.P.A. OR A STATE OR LOCAL AGENCY SHOULD APPEAR AT THE PROJECT TO CONDUCT AN INSPECTION, THE CONTRACTOR SHALL IMMEDIATELY CONTACT BFA, INC. AT 636-239-4751 AND ADVISE THEM OF THE INSPECTION.

DEVELOPER/OWNER:

NLD ACQUISITIONS, LLC
 PO BOX 100843
 FORT WORTH, TX 76185

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

MINIMIZATION OF DISTURBED AREAS:

- CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
- CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
- CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.

NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

NOTE:
 EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-03-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Traverse City, MI (S. AIRPORT RD)
NLD Acquisitions, LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS

NO.	DATE	BY	APP.
1			
2			
3			
4			

DRAWN
 B.L.F.
 CHECKED
 R.G.R.
 DATE
 06/30/22
 SCALE
 1"=20'
 JOB No.
 7219

SHEET NAME
 EROSION SEDIMENT
 CONTROL PHASE I

ESC-1

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

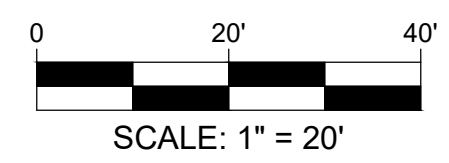
bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

PHASE II EROSION AND SEDIMENTATION CONTROL PLAN / SITE MAP

ACREAGE SUMMARY (IN ACRES)	
PROPERTY AREA	0.47
AREA WITHIN PROPERTY	0.47
AREA OUTSIDE OF 7 BREW PROPERTY	0.01
TOTAL PROJECT AREA	0.48
IMPERVIOUS AREA BEFORE PROJECT	0.39
IMPERVIOUS AREA AT COMPLETION	0.32
PERVIOUS AREA AT COMPLETION	0.16

LEGEND	
SITE FEATURES	
	PROPERTY LINE
	RIGHT OF WAY LINE
	PROPOSED LIMITS OF DISTURBANCE
	EXISTING CONTOUR ELEVATIONS
	STORM DRAIN
	DIRECTION OF OVERLAND FLOW
	SOIL BOUNDARY



SEQUENCE OF CONSTRUCTION

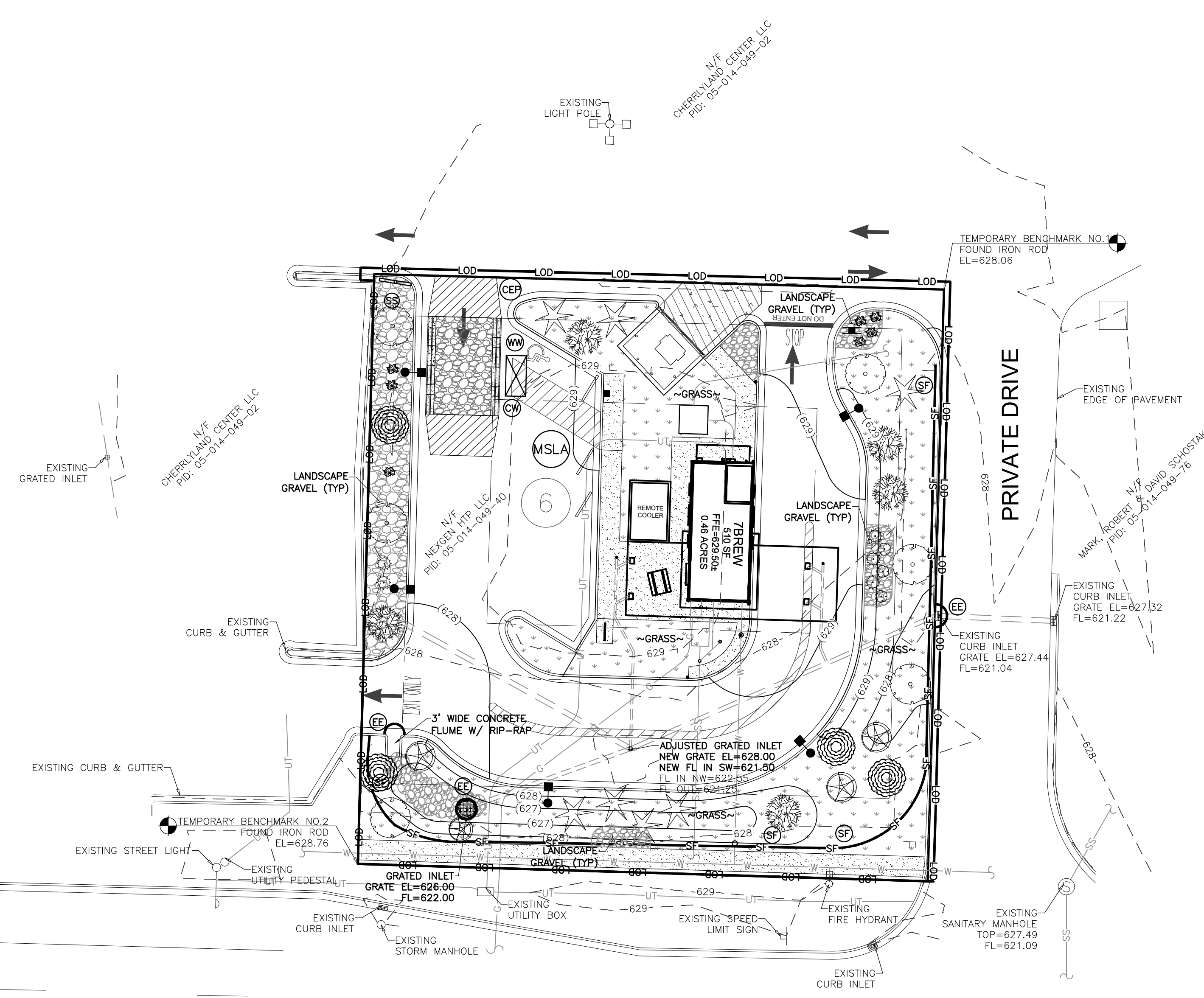
- PHASE I**
1. INSTALL STABILIZED CONSTRUCTION EXIT(S).
 2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE, CONTAINERS, SOLID WASTE CONTAINERS, ETC. DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
 3. INSTALL INLET PROTECTIONS AND PERIMETER BMP'S ON THE SITE.
 4. OVER-EXCAVATE FOR BUILDING PAD.
 5. BEGIN GRADING THE SITE.
- PHASE II**
1. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
 2. TEMPORARILY SEED/STABILIZE DENUDED AREAS.
 3. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
 4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
 5. PREPARE SITE FOR PAVING.
 6. PAVE SITE.
 7. INSTALL INLET PROTECTION DEVICES.
 8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
 9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

EROSION DETAILS

	CEP	CONSTRUCTION EXIT ON PAVEMENT
	CW	CONCRETE WASHOUT
	EE	EROSION EELS
	SF	TEMPORARY SILT FENCE
	SS	SWMP INFORMATION SIGN
	WW	WHEEL WASHOUT
	MSLA	MATERIAL LAYDOWN AND STORAGE AREA
	RR	RIP-RAP
	FS	FILTER SACK

EROSION NOTES

	PS	PERMANENT SEEDING/SOD
	GR	LANDSCAPE GRAVEL



BENCHMARK INFORMATION	
TEMPORARY BENCHMARK NO. 1 - FOUND IRON ROD	ELEVATION=628.06'
TEMPORARY BENCHMARK NO. 2 - FOUND IRON ROD	ELEVATION=628.76'

DEVELOPER/OWNER:
NLD ACQUISITIONS, LLC
PO BOX 100843
FORT WORTH, TX 76185

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

MINIMIZATION OF DISTURBED AREAS:

1. CONTRACTOR SHALL MANAGE CONSTRUCTION ACTIVITIES TO REDUCE EROSION AND RETAIN SEDIMENT AND OTHER POLLUTANTS IN THE SOIL AT THE CONSTRUCTION SITE.
 2. CONTRACTOR SHALL MINIMIZE THE TIME BARE SOIL IS EXPOSED.
 3. CONTRACTOR SHALL MINIMIZE SITE DISTURBANCE BY MINIMIZING THE EXTENT OF GRADING AND CLEARING TO EFFECTIVELY REDUCE SEDIMENT YIELD.
- NOTE TO GC: OWNER HAS AUTHORITY AT ANY TIME TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT OPERATIONS AND TO DIRECT THE GC TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES.

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA PUNTE CONSULTANTS, INC. ON 05-03-22

ESC PLAN LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GAS LINE	G
FIBER OPTIC LINE	FO
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	-----
EASEMENT	---
PROPERTY LINE	-----
CONTOURS	--- 100 ---
UTILITY POLE	o
GUARD POST	o _{GP}
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CLEANOUT	o

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA PUNTE CONSULTANTS, INC. ON 05-03-22

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
State of Michigan
Registered Professional Engineer
for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

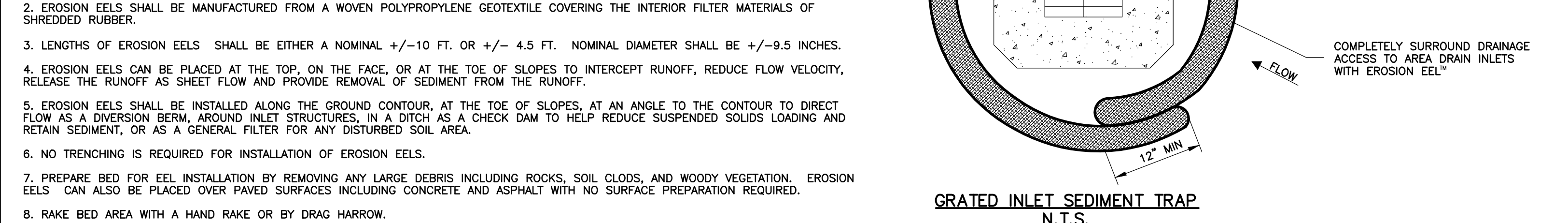
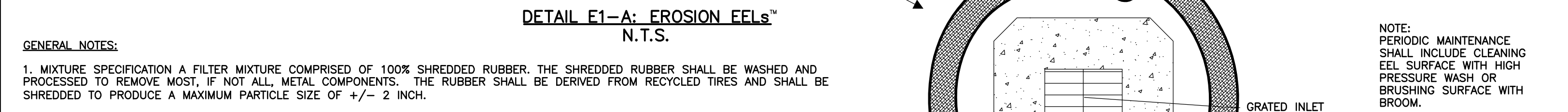
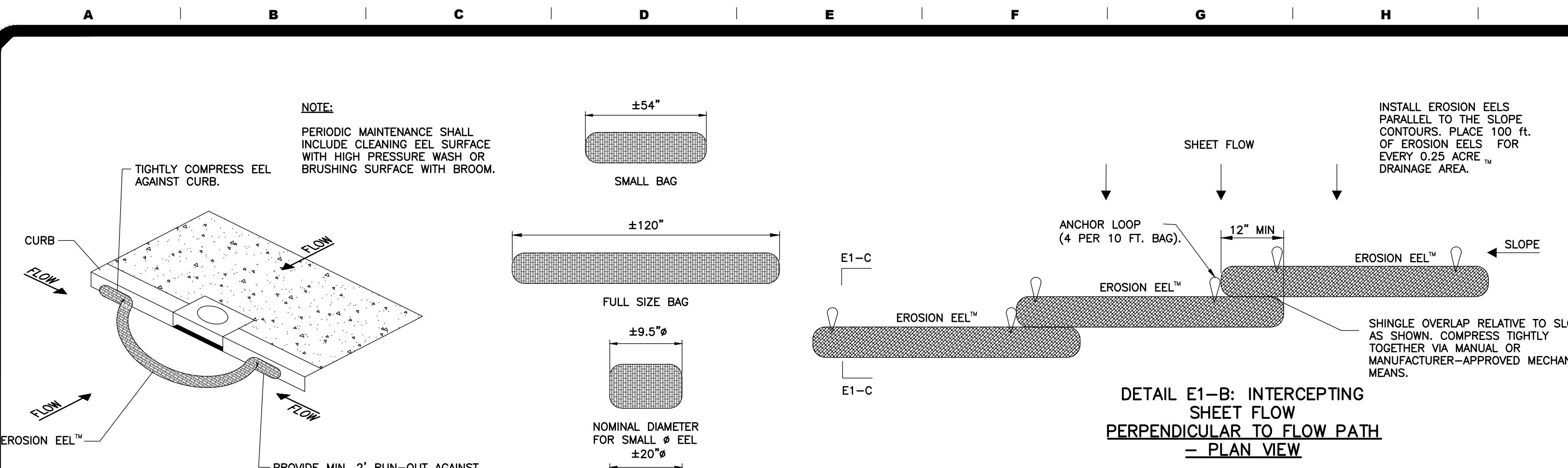
103 ELM STREET WASHINGTON, MISSOURI 63090

TRAVERSE CITY, MI (S. AIRPORT RD)
NLD Acquisitions, LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
1	By: App:
2	By: App:
3	By: App:
4	By: App:

DRAWN	B.L.F.
CHECKED	J.B.S.
DATE	06/30/22
SCALE	1"=20'
JOB No.	7219
SHEET NAME	EROSION SEDIMENT CONTROL PHASE II
ESC-2	

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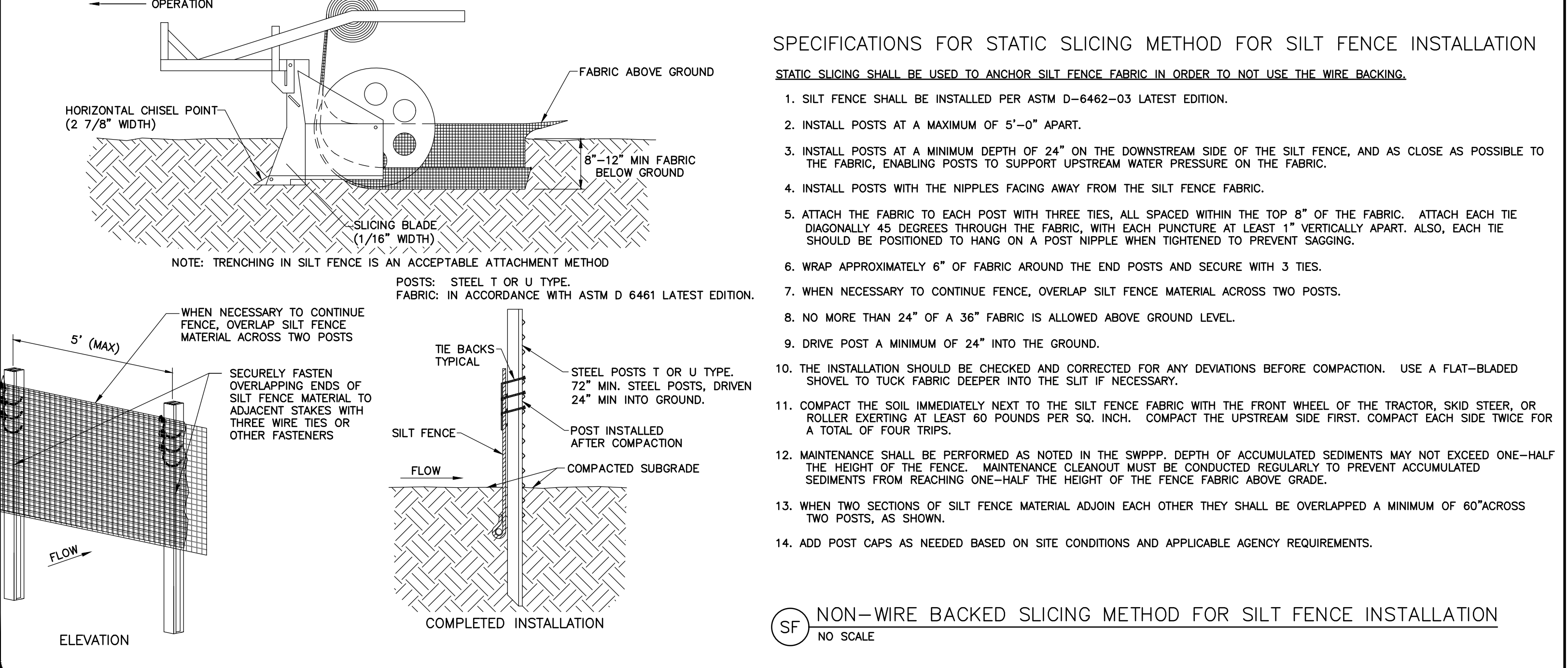
SPACING RECOMMENDATIONS FOR THE EROSION EEL™ FOR PERIMETER CONTROLS AND INTERCEPTING SHEET FLOW ON SLOPES

SLOPE(%)	SINGLE EEL SPACING(ft)	* STACKED DUAL EEL SPACING(ft)
0.5	300	N/A
1	200	N/A
2	150	N/A
3	80	N/A
4	50	N/A
5	40	N/A
6	35	N/A
8	30	N/A
10	25	N/A
15	+17	N/A
20	+12	+25
25	N/A	+15
33	N/A	+10
50	N/A	+6

GENERAL NOTES:

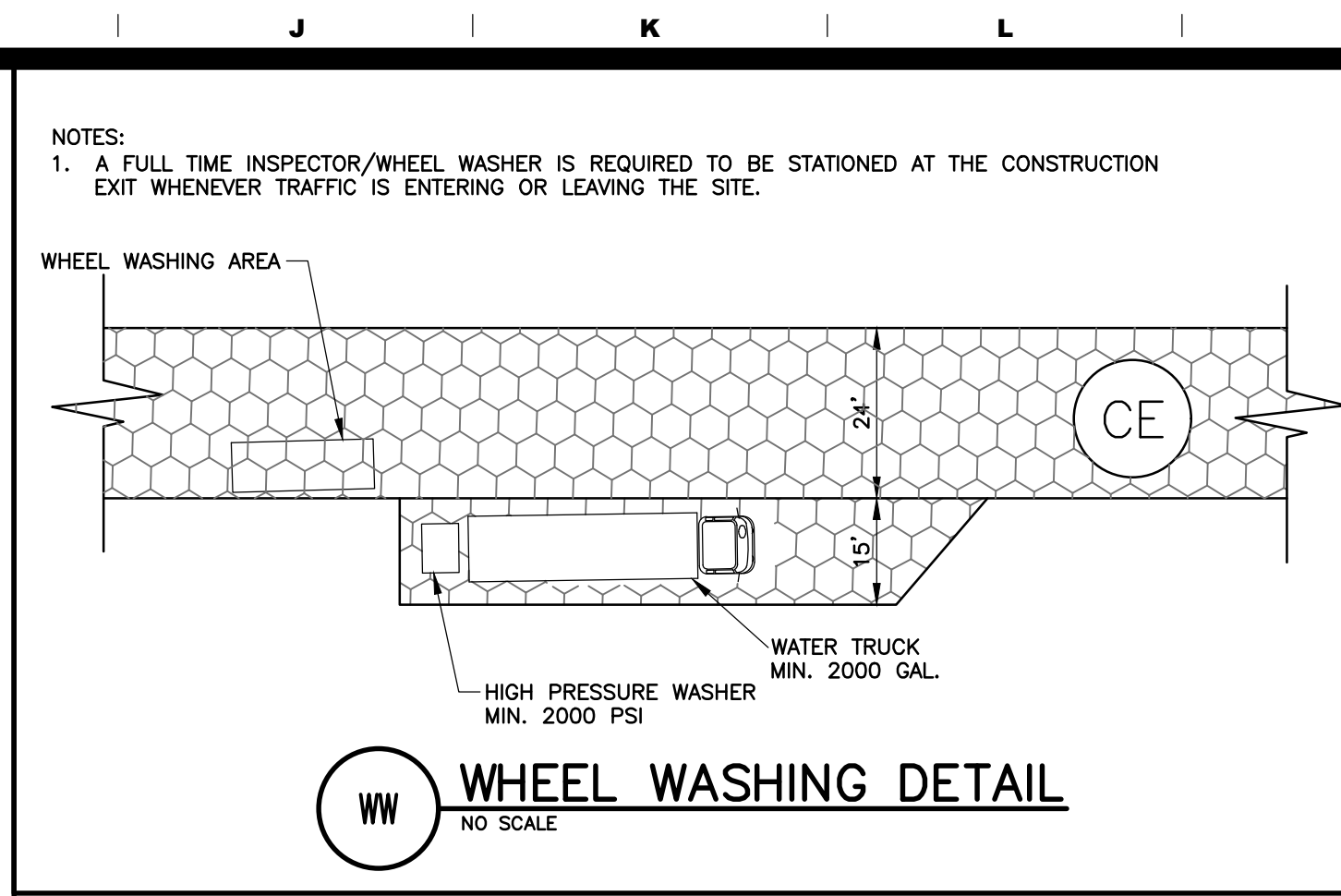
- MIXTURE SPECIFICATION A FILTER MIXTURE COMPRISED OF 100% SHREDDED RUBBER. THE SHREDDED RUBBER SHALL BE WASHED AND PROCESSED TO REMOVE MOST, IF NOT ALL, METAL COMPONENTS. THE RUBBER SHALL BE DERIVED FROM RECYCLED TIRES AND SHALL BE SHREDDED TO PRODUCE A MAXIMUM PARTICLE SIZE OF +/- 2 INCH.
- EROSION EELS SHALL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE GEOTEXTILE COVERING THE INTERIOR FILTER MATERIALS OF SHREDDED RUBBER.
- LENGTHS OF EROSION EELS SHALL BE EITHER A NOMINAL +/-10 FT. OR +/- 4.5 FT. NOMINAL DIAMETER SHALL BE +/-9.5 INCHES.
- EROSION EELS CAN BE PLACED AT THE TOP, TOP ON THE FACE, OR AT THE TOE OF SLOPES TO INTERCEPT RUNOFF, REDUCE FLOW VELOCITY, RELEASE THE RUNOFF AS SHEET FLOW AND PROVIDE REMOVAL OF SEDIMENT FROM THE RUNOFF.
- EROSION EELS SHALL BE INSTALLED ALONG THE GROUND CONTOUR, AT THE TOE OF SLOPES, AT AN ANGLE TO THE CONTOUR TO DIRECT FLOW AS A DIVERSION BERM, AROUND INLET STRUCTURES, IN A DITCH AS A CHECK DAM TO HELP REDUCE SUSPENDED SOLIDS LOADING AND RETAIN SEDIMENT, OR AS A GENERAL FILTER FOR ANY DISTURBED SOIL AREA.
- NO TRENCHING IS REQUIRED FOR INSTALLATION OF EROSION EELS.
- PREPARE BED FOR EEL INSTALLATION BY REMOVING ANY LARGE DEBRIS INCLUDING ROCKS, SOIL CLODS, AND WOODY VEGETATION. EROSION EELS CAN ALSO BE PLACED OVER PAVED SURFACES INCLUDING CONCRETE AND ASPHALT WITH NO SURFACE PREPARATION REQUIRED.
- RAKE BED AREA WITH A HAND RAKE OR BY DRAG HARROW.
- DO NOT PLACE EEL DIRECTLY OVER RILL AND GULLIES UNTIL AREA HAS BEEN HAND-EXCAVATED AND RAKED TO PROVIDE A LEVEL BEDDING SURFACE. ALL SURFACES SHALL BE UNIFORMLY COMPACTED FOR MAXIMUM SEATING OF EELS IN PLACE.
- FOR LOCATIONS WHERE EELS WILL BE PLACED IN CONCENTRATED FLOWS (SUCH AS CHECK DAMS, INLET PROTECTION) AND FOR PERIMETER CONTROLS AT PRIMARY DISCHARGE LOCATIONS, BED THE EELS IN A FLOCMAT CRADLE.
- FOR DITCH APPLICATIONS, THE MAXIMUM DRAINAGE AREA SHALL BE 10 ACRES.
- IF MORE THAN ONE EROSION EEL IS PLACED IN A ROW, THE EELS SHALL BE OVERLAPPED A MINIMUM OF 12 INCHES TO PREVENT FLOW AND SEDIMENT FROM PASSING THROUGH THE FIELD JOINT. COMPRESS THE TWO EELS OF THE OVERLAP TIGHTLY TOGETHER EITHER BY HAND OR MANUFACTURER-APPROVED MECHANIZED MEANS.
- REMOVE SEDIMENT AND DEBRIS WHEN ACCUMULATION REACHES 50% OF THE STORAGE HEIGHT BEHIND THE SINGLE OF STACKED EEL ARRANGEMENT. DISPOSE OF SEDIMENT AND DEBRIS AT AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- WHEN USED IN DITCHES AS A CHECK DAM, EROSION EELS SHALL BE INSTALLED PER MANUFACTURER'S DETAILS.
- FOR CHECK DAM APPLICATIONS, EROSION EELS SHALL BE PLACED PERPENDICULAR TO THE FLOW OF THE WATER. EROSION EELS SHALL CONTINUE UP THE SIDES SLOPES A MINIMUM OF 3 FEET ABOVE THE DESIGN FLOW DEPTH.
- EROSION EELS SHALL REMAIN IN PLACE UNTIL FULLY ESTABLISHED VEGETATION HAS COMPLETELY DEVELOPED OR UNTIL THE STORAGE CAPACITY/FUNCTIONAL LIFE OF THE EEL HAS BEEN EXHAUSTED (REQUIRING REPLACEMENT WITH NEW EELS).
- ANCHORING POSTS FOR CHECK DAM APPLICATIONS SHALL HAVE A MINIMUM WEIGHT OF 1.25 LBS/FT STEEL T-POSTS (5 TO 7 FT. LENGTHS) ROLLED FROM HIGH CARBON STEEL. POSTS SHOULD BE HOT-DIP GALVANIZED OR COATED WITH A WEATHER-RESISTANT PAINT FOR STEEL APPLICATION. POSTS SHOULD BE EQUIPPED WITH A METAL ANCHOR PLATE. INSTALL PER DETAILS ON THIS SHEET.
- PLACE T-POSTS THROUGH HANDLE OF BAGS. DO NOT DRIVE POSTS THROUGH EROSION EELS. T-POSTS ARE TO BE EMBEDDED A MINIMUM OF 2 FT INTO GROUND.

LAST REVISED: BFA STANDARD
JULY 2014 DETAIL



CONTACT INFORMATION
FRIENDLY ENVIRONMENT
100 PRINCE STREET
SHELBYVILLE, TN 37160
1-866-H2O-EELS
INFO@FRIENDLYENVIRONMENT.COM
http://FRIENDLYENVIRONMENT.COM/INDEX.HTML

EROSION EELS DETAIL
N.T.S.



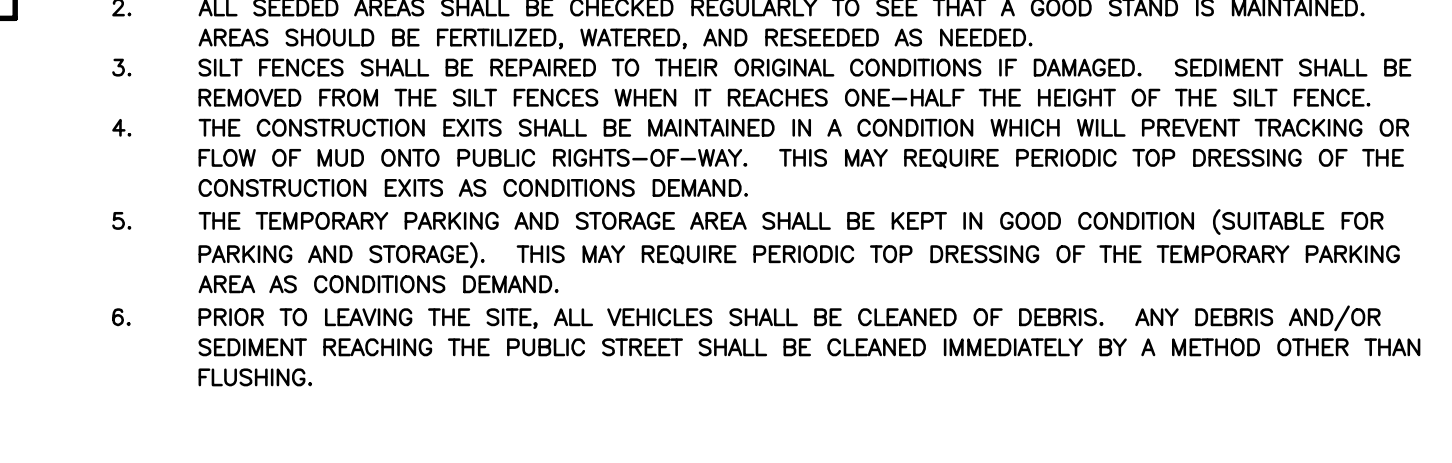
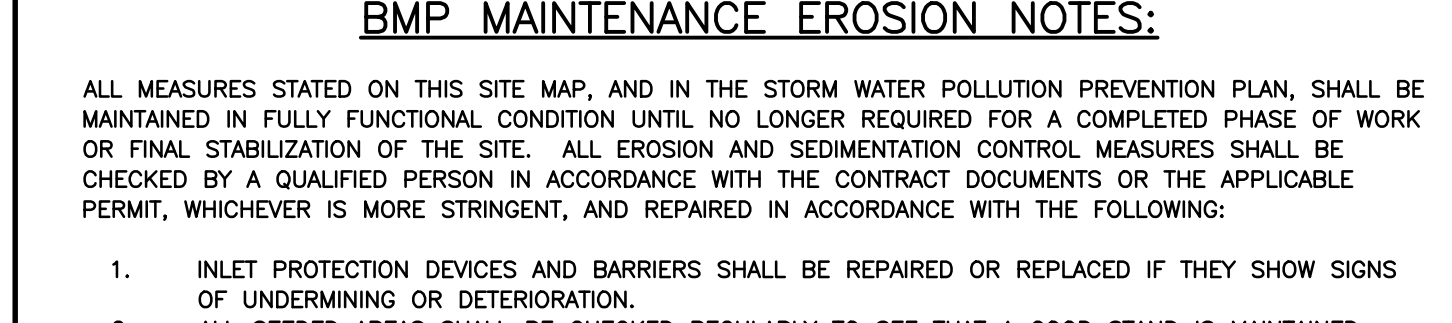
GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR REQUIRED BY THE APPLICABLE GENERAL PERMIT.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL DENUDE/BARE AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY WITH THE USE OF FAST-GERMINATION ANNUAL GRASS/GRAIN VARIETIES, STRAW/HAY MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEED, SOODED, AND/OR VEGETATED IMMEDIATELY, AND NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE PAVED CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATION AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.

BMP MAINTENANCE EROSION NOTES:

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.



FOR REVIEW ONLY

STATE OF MICHIGAN
RAYMOND H. FRANKENBERG II
ENGINEER
No. 42538
REGISTERED PROFESSIONAL ENGINEER

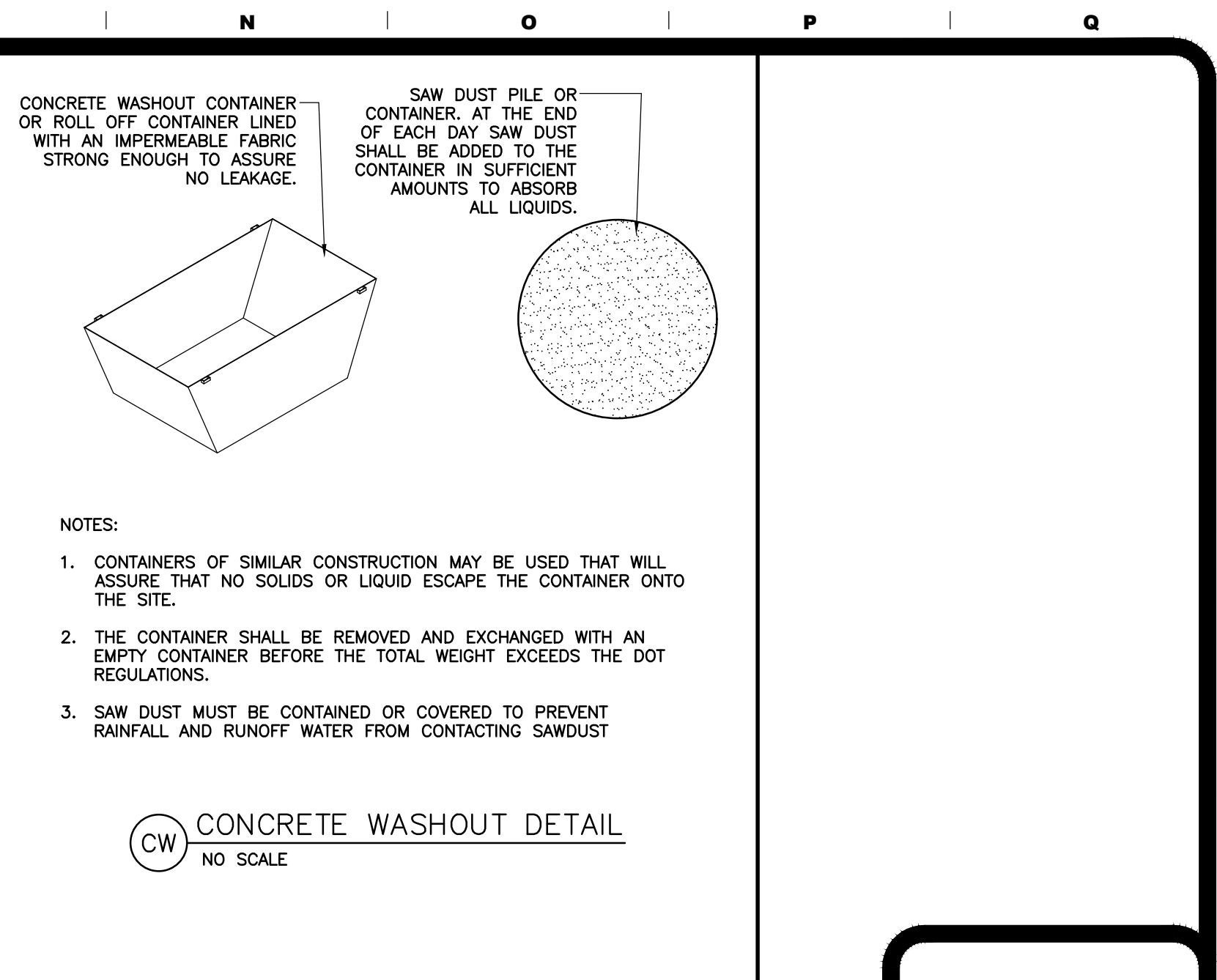
Raymond H. Frankenberg II, P.E. #42538 06/30/22
State of Michigan
Registered Professional Engineer
for BFA, Inc.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-462-7171 for utility location information.

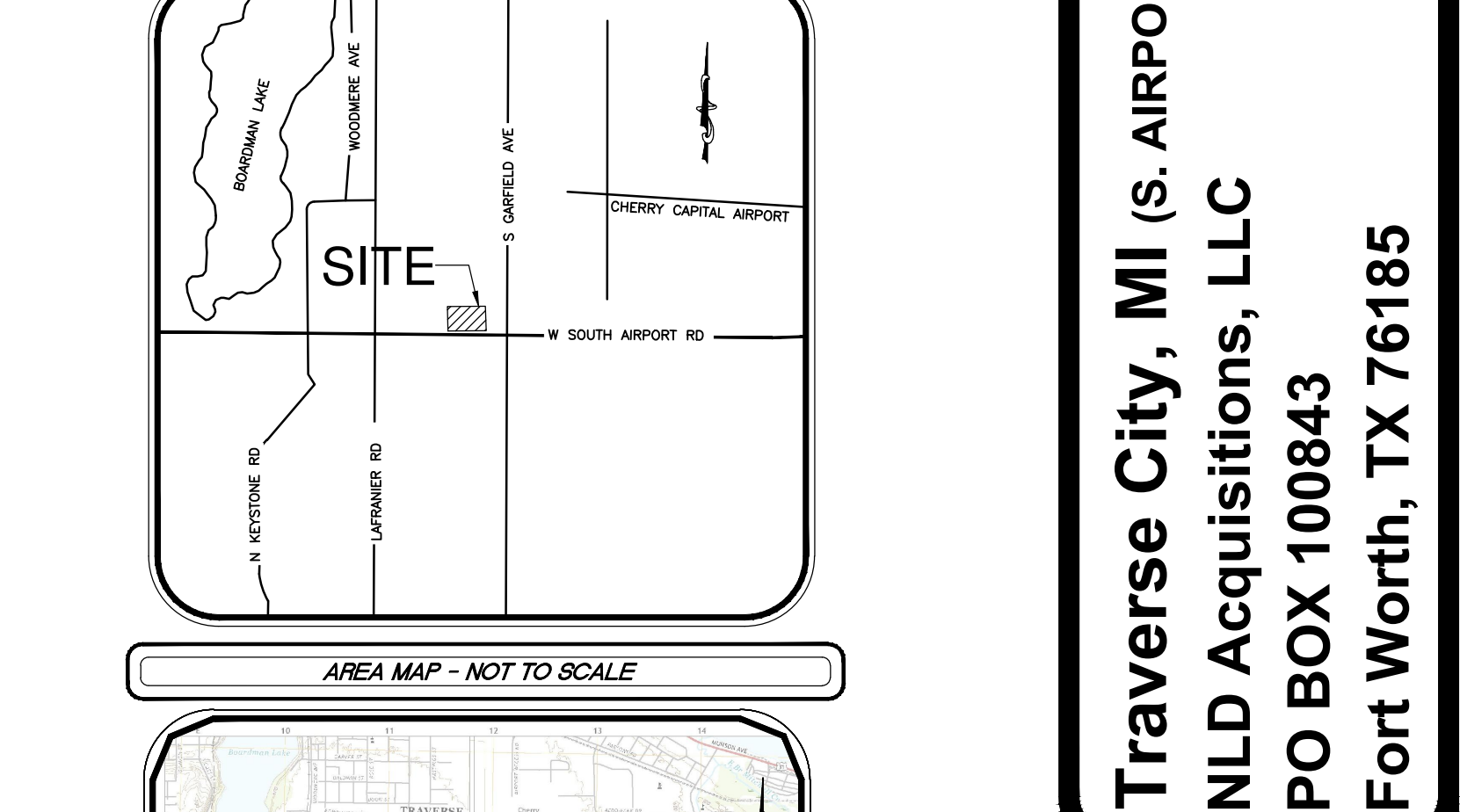
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090



CONCRETE WASHOUT DETAIL
N.T.S.



REVISIONS

No.	By:	App:
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USGS QUADRANGLE MAP
NOT TO SCALE

BFA
Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

RAYMOND H. FRANKENBERG II
ENGINEER
No. 42538
REGISTERED PROFESSIONAL ENGINEER

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103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN B.L.F.
CHECKED J.B.S.
DATE 06/30/22
SCALE NONE
JOB No. 7219
SHEET NAME ESC DETAIL SHEET 1

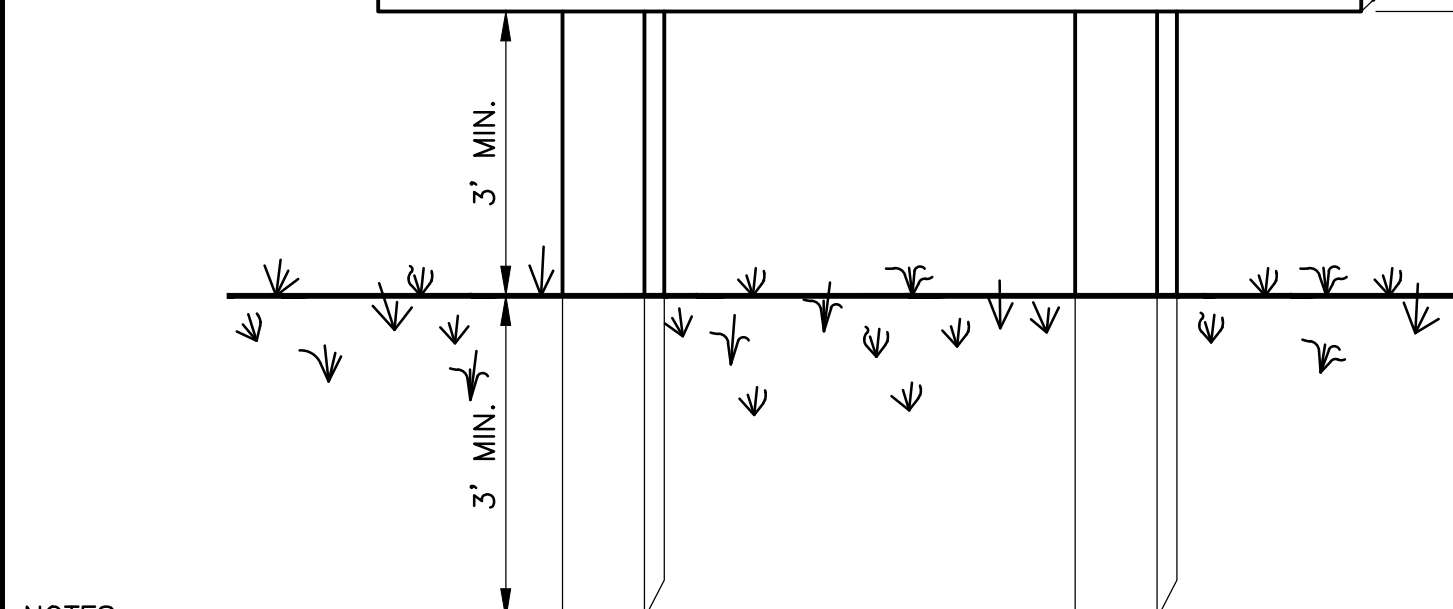
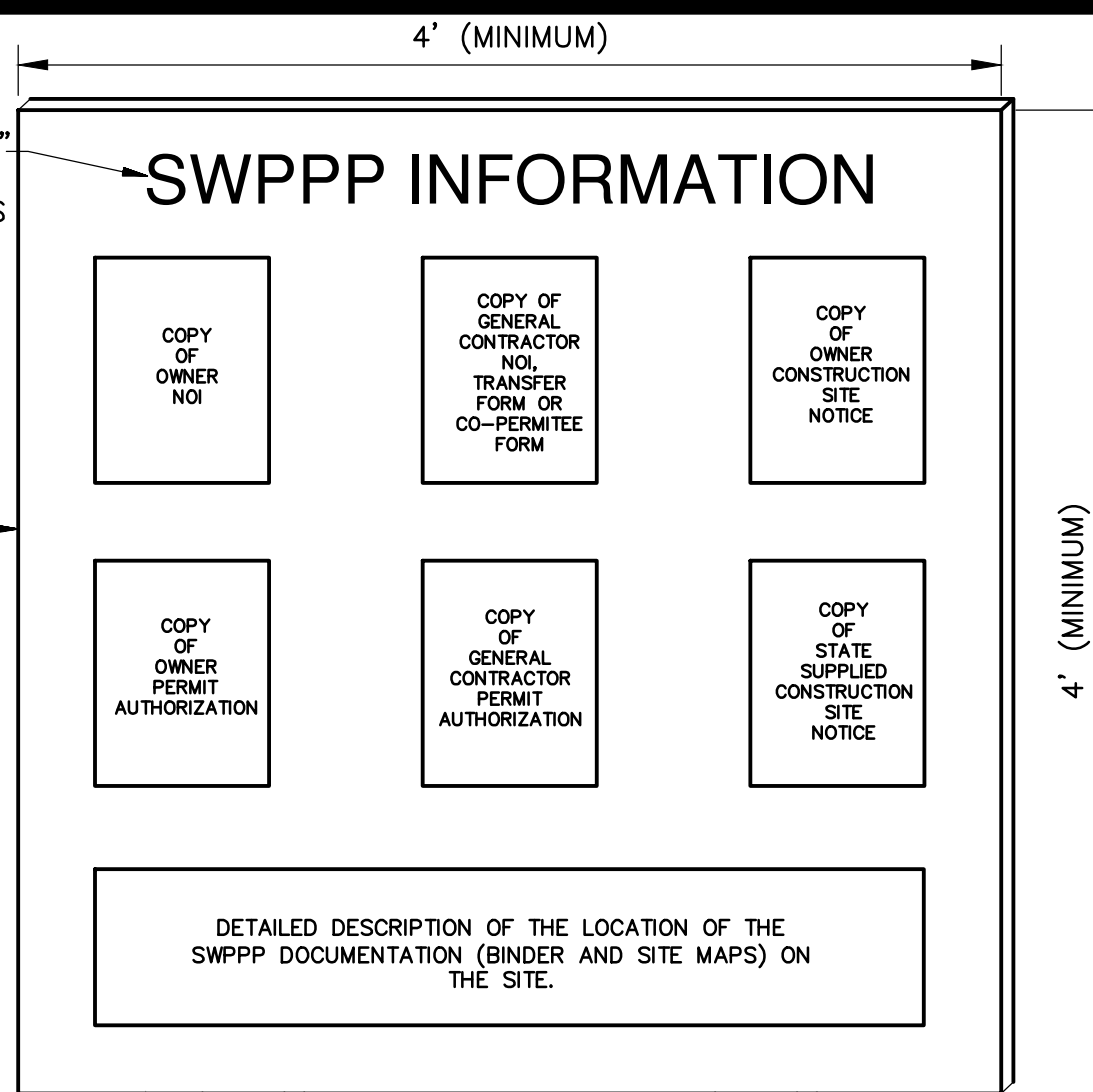
ESC-3

Traverse City, MI (S. AIRPORT RD)
NLD Acquisitions, LLC
PO BOX 100843
Fort Worth, TX 76185

1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) IF WHEEL WASHING IS REQUIRED.
2. FLUSH SURFACE STONE TOWARD SEDIMENT TRAP WITH HIGH VOLUME WATER FLOW AS NEEDED TO MAINTAIN CLEAN SURFACE STONE.
3. SEDIMENT TRAP SHALL BE LOCATED OUTSIDE OF THE RIGHT-OF-WAY AND AT A MINIMUM SETBACK DISTANCE AS REQUIRED PER LOCAL JURISDICTION.
4. SEE SWPPP PLANS FOR LOCATION OF SEDIMENT TRAP(S).
5. CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CIRCUITING/BYPASSING THE EXIT.

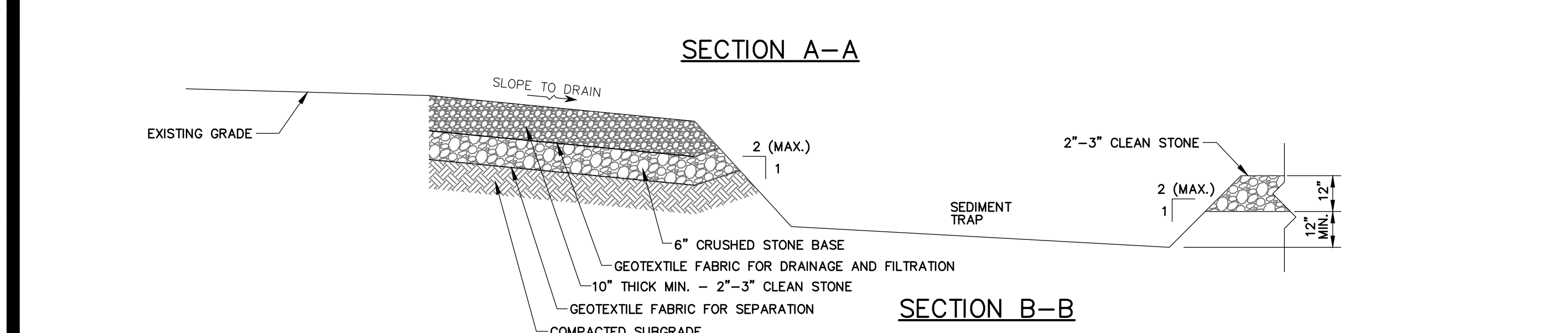
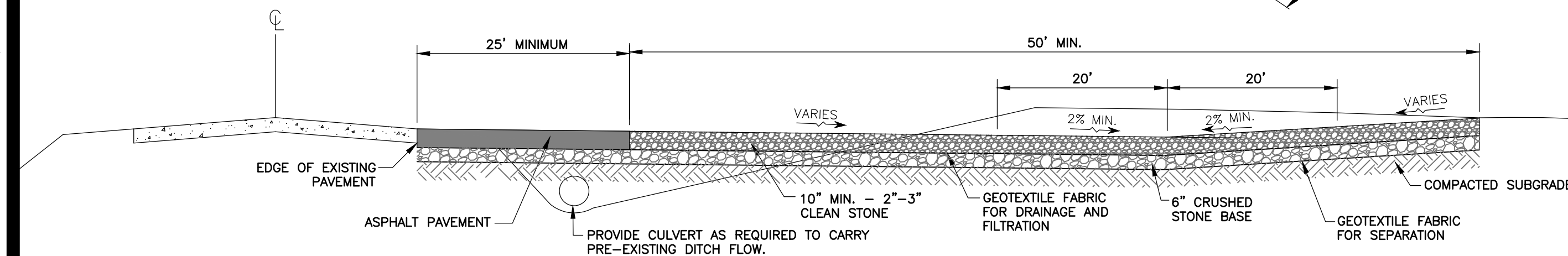
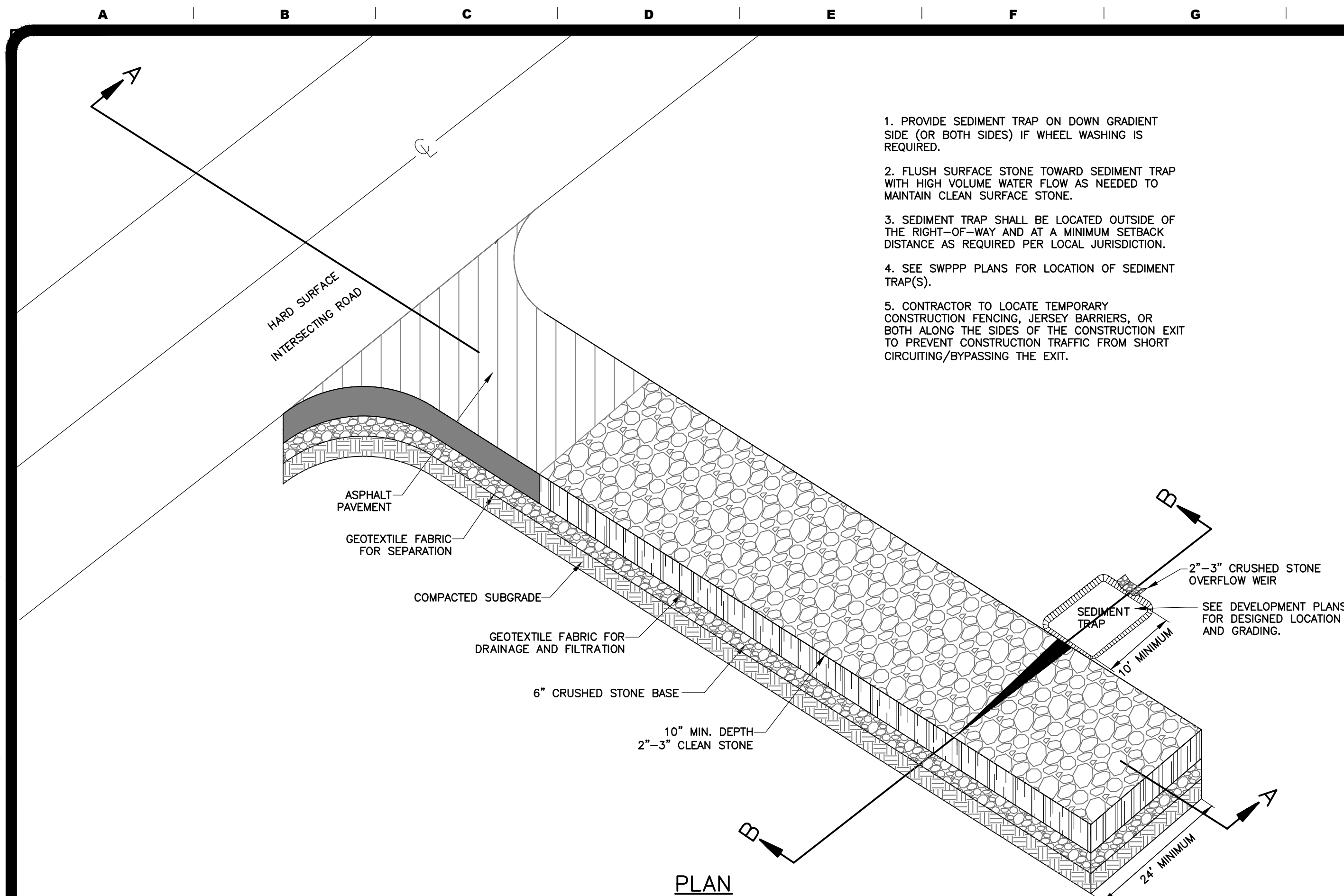
"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).



- NOTES:
1. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 3. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
 4. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 5. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN DETAIL (SS)
NO SCALE



CONSTRUCTION EXIT DETAIL (CE)
NO SCALE

- NOTES:
1. PERMANENT STABILIZATION SHALL BE ACCOMPLISHED IN ALL DISTURBED AREAS BY COVERING THE SOIL WITH PAVEMENT, BUILDING STRUCTURES, VEGETATION, OR OTHER FORMS OF SOIL STABILIZATION.
 2. THE GC IS REQUIRED TO INITIATE PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY UPON REACHING FINAL GRADE. FOR THOSE AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED FOR GREATER THAN 14 DAYS, THE CONTRACTOR SHOULD INITIATE TEMPORARY STABILIZATION PER THE TEMPORARY SEEDING OR STABILIZATION DETAIL.
 3. THE GC HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETE SOIL PREPARATION, SEEDING, MULCHING, AND ANY OTHER REQUIRED ACTIVITIES RELATED TO THE PLANTING AND ESTABLISHMENT OF VEGETATION. THE GC ALSO HAS 7 DAYS FROM INITIATION OF STABILIZATION TO COMPLETELY INSTALL NON-VEGETATED MEASURES, IF UTILIZED.
 4. SOILS MUST BE PREPARED BEFORE INSTALLATION OF SOD OR SEED.
 5. AT THE COMPLETION OF GROUND-DISTURBING ACTIVITIES, THE ENTIRE SITE MUST HAVE PERMANENT VEGETATIVE COVER MEETING VEGETATIVE DENSITY REQUIREMENTS IN THE GENERAL PERMIT, OR MULCH PER LANDSCAPE PLAN, IN ALL AREAS NOT COVERED BY HARDSCAPE (STONE, PAVEMENT, BUILDINGS, ETC.).
 6. SEEDING AREAS SHALL BE PROTECTED WITH STRAW MULCH, HYDRAULIC MULCH OR A ROLLED EROSION CONTROL PRODUCT. STRAW MULCH MUST BE TACKIFIED OR CRIMPED BY DISC OR OTHER MACHINERY, AND ROLLED EROSION CONTROL PRODUCTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS. ONLY ROLLED EROSION CONTROL PRODUCTS ARE PERMITTED TO BE USED IN FLOW CONVEYANCES.
 7. ALL AREAS TO BE SEEDING MUST MEET TOPSOIL DEPTH, PH AND ORGANIC CONTENT REQUIREMENTS.
 8. FINAL SITE STABILIZATION IS ACHIEVED WHEN PERENNIAL VEGETATIVE COVER PROVIDES PERMANENT STABILIZATION WITH A UNIFORM DENSITY GREATER THAN 70 PERCENT OVER THE ENTIRE AREA TO BE STABILIZED BY VEGETATIVE COVER. THIS AREA IS EXCLUSIVE OF AREAS THAT ARE COVERED WITH ROCK (CRUSHED GRANITE, GRAVEL, ETC.) OR LANDSCAPE MULCH, PAVED OR HAVE A BUILDING OR OTHER PERMANENT STRUCTURE ON THEM.

(SD) (PS) **PERMANENT SEEDING, SOD OR MULCHING**

Traverse City, MI (S. AIRPORT RD)
NLD Acquisitions, LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
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Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-462-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
State of Michigan
Registered Professional Engineer
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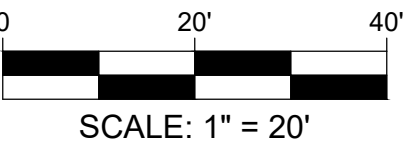
bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN B.L.F.
CHECKED J.B.S.
DATE 06/30/22
SCALE NONE
JOB No. 7219
SHEET NAME ESC DETAIL SHEET 2
ESC-4

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GRADING PLAN



GRADING NOTES:

- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD83 (2011) (INTERNATIONAL FOOT).
 Temporary Benchmark No. 1- Found Iron Rod @ Northeast Corner
 Northing = 519088.8750'
 Easting = 19365221.8270'
 Elevation = 628.06'
 Temporary Benchmark No. 2- Found Iron Rod @ Southwest Corner
 Northing = 518947.8730'
 Easting = 19365077.9640'
 Elevation = 628.76'
- This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 26055C0226C, dated August 28, 2018.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- All unsurfaced areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- The earthwork for all building foundations and slabs shall be in accordance with Building Plans & Specifications, unless otherwise noted.
- The contractor is responsible for keeping storm water run-off and sediment under control during construction. All contractors shall refer to the Erosion and Sediment Control Plan throughout construction.
- The Contractor shall maintain the site in a well-drained manner in order to assure the shortest possible drying time after each rainfall. This will mean that pumping of standing water in low areas on the site will most likely be required during construction. Also pumping of ground water in utility trenches and deep excavations will be required during construction.
- The sitework for this project shall meet or exceed applicable AHJ Specifications, permit requirements, and/or manufacturer specifications.
- Contractor shall refer to architectural plans for exact locations and dimensions of entrances, exit doors, downspouts, roof drains, precise building dimensions, and exact building utility entrance locations.
- Layers of pavement shall be placed perpendicular to each other with the final layer perpendicular to the finished contours on parking lot.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the Contractor's expense.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the contractor.
- Prior to placement of the base rock within the parking lot, the entire area shall be proof rolled with a loaded tandem axle dump truck, having no more than 3 axles and weighing a minimum of 40,000 pounds.
- Due to seasonal variations in rainfall and the groundwater level, the Contractor may be required to use light earth moving equipment to minimize pumping.
- The Contractor shall grade all areas to drain in order to prevent ponding water. The minimum allowable slope on all paved surfaces shall be 1 percent.
- The minimum depth of cover for waterlines on this site is 72 inches. Actual depths of waterlines may vary.
- Unless indicated otherwise, all waterline and sanitary sewer crossings shall have a minimum 18 inch vertical separation and 10 feet horizontal separation. The Contractor shall note that the depths of existing utilities have been plotted from information provided by various utility companies and is to be considered approximate. If the minimum separations cannot be constructed as shown the Contractor shall notify the BFA and appropriate modifications will be issued.
- All landscaping, paving, curbing, utilities, etc. adjacent to public right-of-way disturbed by construction activities (grading, utilities, sidewalk, etc.) shall be improved to new condition.
- All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalk routes exceeding 1'V:20'H shall be constructed as ramps) that have a vertical change greater than 6 inches. Cross slopes on all sidewalks shall not exceed 2 percent.
- All landscape/planter areas adjacent to the building shall allow for proper stormwater/irrigation drainage. Where storm structures or storm pipes are readily available, the contractor shall install 4" diameter drain tile and connect to the storm sewer. 2" diameter PVC weep holes shall also be provided in adjacent curb @ 48" O.C. to release of pavement grade.
- Rip-Rap as shown hereon shall be 6"-12" in size and 18" deep (min.) Rip-Rap area shall be 3' wide and 10' long (min.), or as shown on plans.

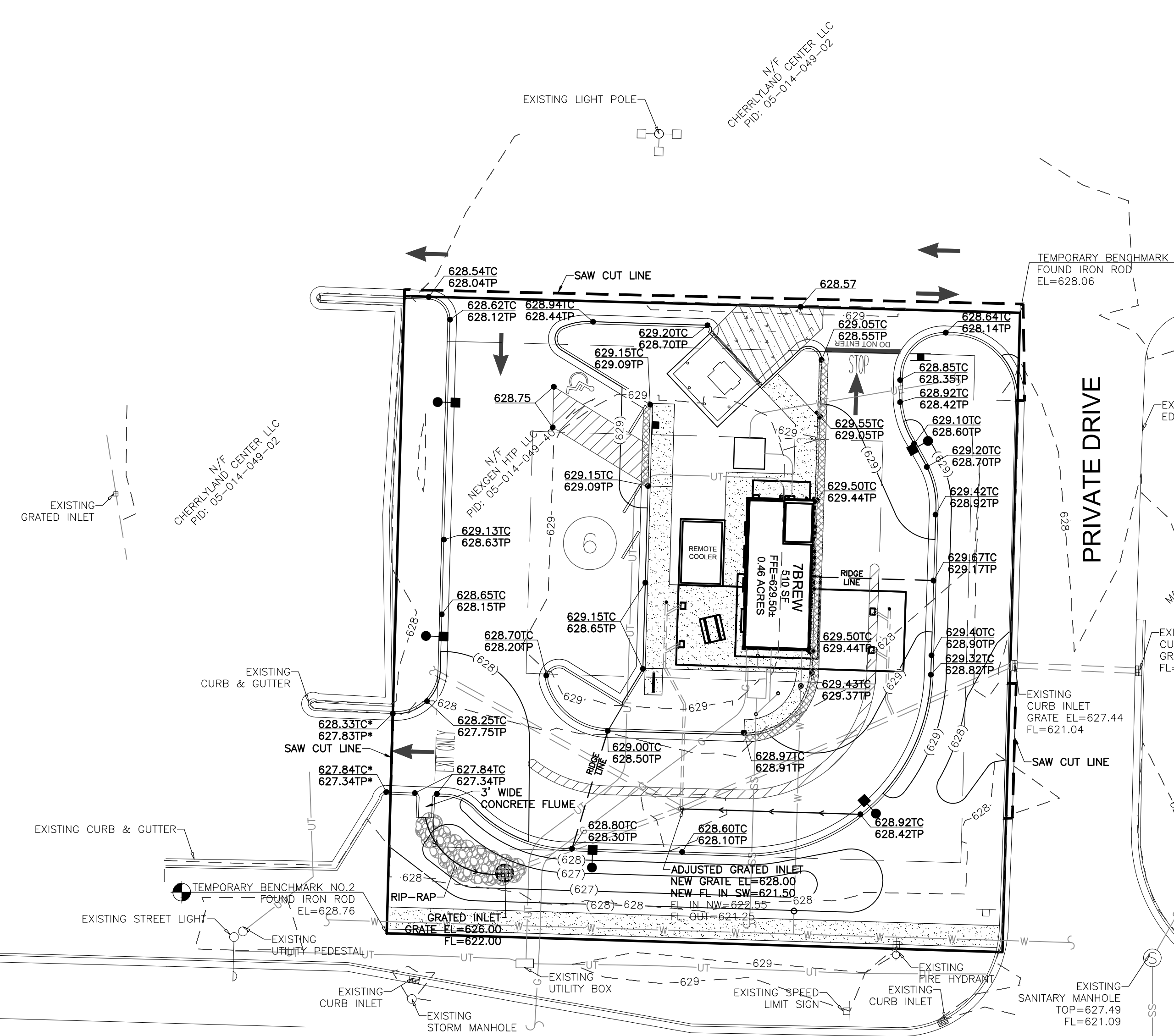
SOIL PREPARATION AND COMPACTION

Within all construction areas and five feet beyond, existing utilities, structures, foundations, footings, slabs, pavements, and related below-grade components to be abandoned shall be properly demolished and the debris removed from the site, unless specifically noted otherwise. Existing utilities, cisterns and septic fields, as well as their associated backfill, shall be removed from the site, unless specifically noted to remain. Excavations resulting from the removal of existing site improvements shall be backfilled with properly compacted fill material meeting site specific specifications. Excavations shall be protected from extreme temperatures, precipitation, and construction disturbances. Areas to be cut or to receive fill shall be stripped of any surface vegetation and/or organic topsoil. The strippings shall be removed from the site and/or stockpiled for later placement in landscaped or common ground areas. Masonry rubble, rocks, and pavement broken to less than 3 inches in maximum dimension may be used as fill, if properly blended with acceptable soil and placed as approved by the site testing firm. Prior to compaction, soils may require moisture adjustment. The entire site shall be proof-rolled by systematically passing over the subgrade to achieve complete coverage with proper compaction or loaded construction equipment, and observing the subgrade for pockets of excessively soft, wet, or otherwise unacceptable materials. Remove, replace, and/or repair unsuitable areas with suitable material meeting site-specific geotechnical recommendations prior to placement of additional fill, then proof-roll again. Proof-roll passes shall be limited, particularly on silty subgrades, to reduce the potential for pumping of moisture from within the soil. Fill material shall be free of organics, debris, other deleterious material, shall contain no chemicals that may result in the material being classified as "contaminated", shall not contain rocks greater than three (3) inches in size, and shall be placed in loose lifts not to exceed eight (8) inches (210) thickness. Within building and pavement areas, fill material shall be mechanically compacted to at least 98 percent of its Standard Proctor maximum dry density (ASTM D 698) within a moisture content range of 2% of the soil's optimum moisture content for lean clays and 0% to 4% above optimum moisture content for lean to fat or fat clays. Moisture content for granular soils shall be at a workable level to allow for compaction and prevent undue pumping. Fill material shall be low-plastic with a maximum plasticity index of 30. Soils that become unstable due to moisture or disturbance shall be scarified, dried, and recompact; or undercut to a suitable bearing subgrade and replaced with compacted fill material. Refer to the Building Plans for any additional earthwork criteria associated with the building pad preparation and to the geotechnical report for additional requirements, recommendations, and remediation associated with the site soils. All earthwork activities and soil remediation performed shall be included in the contractor's base bid.

GRADING LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	=====	=====
EASEMENT	-----	-----
PROPERTY LINE	-----	-----
GUARD RAIL	—+—+—	—+—+—
CHAINLINK/WOODEN FENCE	—+—+—	—+—+—
CONTOURS	—(100)—	—100—
UTILITY POLE	•	•
GUARD POST	•SP	•SP
SANITARY MANHOLE	•	•
WATER VALVE	•	•
FIRE HYDRANT	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	•D	•D
CLEANOUT	•	•
GRADED INLET	■	■
SOIL BORING	⊘	⊘

ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
BH	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
L	ADA LANDING
R	ADA ACCESSIBLE RAMP

SPOT GRADE LEGEND	
TOP OF CURB	•000.00TC
PAVEMENT ELEVATION @ CURB/SIDEWALK	•000.00TP
INTERIOR PAVEMENT/GROUND ELEVATIONS	•000.00
GUTTER ELEVATION @ FACE OF CURB	•000.00G
ELEVATION TO MATCH EXISTING	•000.00*
TOP OF SIDEWALK	•000.00TS



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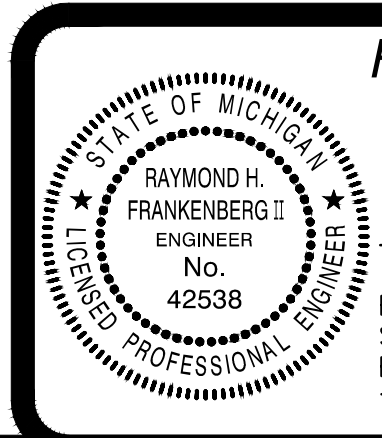
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 7219
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 GRADING PLAN
GR-1

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-03-22



FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

BFA
 Engineering-Surveying

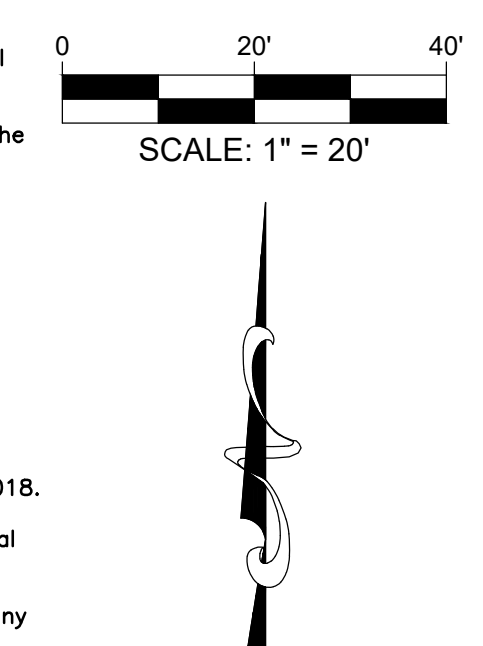
103 ELM STREET WASHINGTON, MISSOURI 63090

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SITE PLAN

SITE NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD83 (2011) (INTERNATIONAL FOOT).
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- Temporary Benchmark No. 2 - Found Iron Rod @ Southwest Corner
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- This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 26055C0226C dated August 28, 2018.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
- The sitework for this project shall meet or exceed industry standards and manufacturers specifications for each improvement feature.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions and radii are to the face of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- The edges of all pavement and curb sections to be removed and/or that will have new pavement/curb sections abutting them, shall be sawcut. Remaining pavement and curb sections shall have smooth, clean edges. This means additional sawcuts may be necessary depending on Contractor's Means and methods.
- This site is zoned C-P Planned Shopping District per the Charter Township of Garfield, MI Zoning Code.



- Building setback lines as per the Charter Township of Garfield, MI Zoning Code:
 Front Yard= 30' (60' w/ Drive Thru use)
 Side Yard= 30'
 Rear Yard= 30'
- All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalk routes exceeding 1'x20'H shall be constructed as ramps) that have a vertical change greater than 6 inches. Cross slopes on all sidewalks shall not exceed 2 percent.
 - Pavement striping and/or markings shall be applied using two coats of the color specified on a clean surface, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.
 - Signs are subject to sign permit review by Garfield Township.

PAVEMENT LEGEND

	STANDARD DUTY PAVEMENT (SDP)		SNOW STORAGE AREA (962 SF PROVIDED BASED ON 8,570 SF OF PARKING AREA)
	HEAVY DUTY PAVEMENT (HDP)		
	CONCRETE PAVEMENT		

ABBREVIATION LEGEND	
ABBREVIATION	DESCRIPTION
BHI	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
(R)	ADA ACCESSIBLE RAMP

SITE PLAN LEGEND

- STRIPED AREA PAINTED SINGLE YELLOW SOLID LINE/ 4" AT 45° AT 2'-0" O.C.
- ENCLOSED DUMPSTER (SEE DETAILS BY OTHERS)
- HEAVY DUTY CONCRETE PAD FOR ENCLOSED DUMPSTER (GRIENT FOR TRUCK LOADING)
- ACCESSIBLE PARKING SPACE (TYP). SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN, SYMBOL AND STRIPING.
- PAINTED TRAFFIC ARROW (TYP).
- 24" CURB AND GUTTER (TYP). SEE DETAIL.
- STOP BAR
- ELECTRIC TRANSFORMER FOR ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- LIGHT POLE (TYP)
- DOWNSPOUT FOR ROOF DRAIN (REF ARCH FOR EXACT LOCATIONS)
- 4'x6' CONCRETE PAD AND INVERTED "U" BIKE RACK (GLOBAL INDUSTRIES U-RACK, BLACK 2-BIKE FLANGE MOUNT OR EQUAL). CONTRACTOR SHALL COORDINATE BOLLARD INSTALLATION WITH FOOTING, EXTERIOR FINISHES, ETC.
- 6" PIPE BOLLARD (TYPICAL, UNLESS NOTED OTHERWISE). SEE DETAIL. CONTRACTOR SHALL COORDINATE BOLLARD INSTALLATION WITH FOOTING, EXTERIOR FINISHES, ETC.

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-03-22

SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UTILITY POLE	•	•
GUARD POST	•	•
SANITARY MANHOLE	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▢	▢
CLEANOUT	•	•
GRATED INLET	■	■
GUARD RAIL	—	—
CHAINLINK/WOODEN FENCE	—	—
WATER VALVE	•	•
FIRE HYDRANT	•	•
EASEMENT	---	---
PROPERTY LINE	---	---

PARKING DATA

PROPOSED BUILDING: COFFEE SHOP	510 S.F.
TOWNSHIP REQUIRED PARKING:	
RESTAURANT, DRIVE-THROUGH ONLY:	
1 FOR EACH EMPLOYEE ON THE LARGEST WORKING SHIFT, PLUS 1 FOR EACH OUTDOOR TABLE (ASSUME 5 EMPLOYEES, 1 OUTDOOR TABLE)	
TOTAL REQUIRED:	6 SPACES
PROVIDED STANDARD SPACES	5 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	1 SPACES
PROVIDED TOTAL PARKING	6 SPACES
PROVIDED OVERALL PARKING RATIO:	11.76/1,000 S.F.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-975-7630 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

Traverse City, MI (S. AIRPORT RD)
NLD Acquisitions, LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS

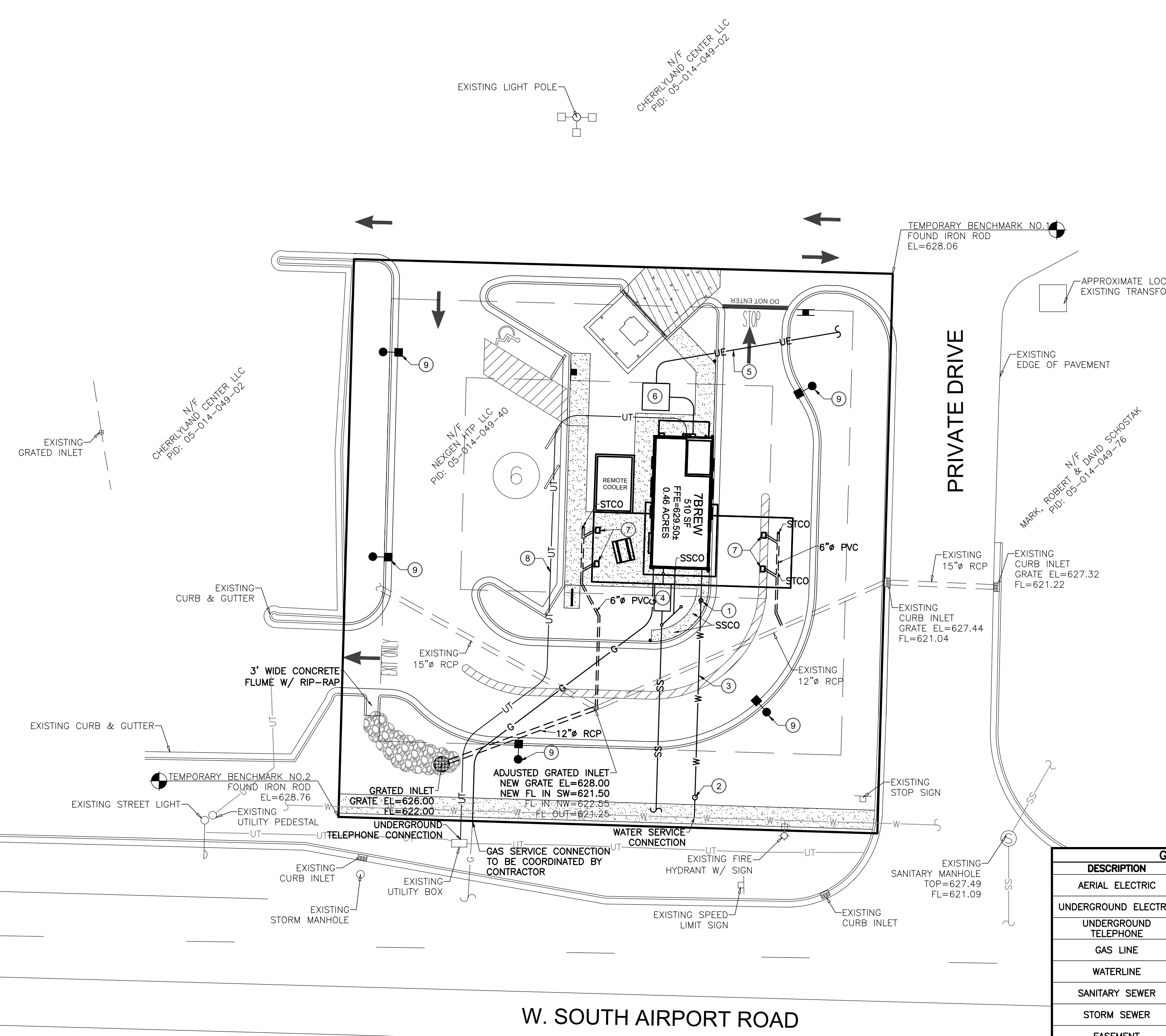
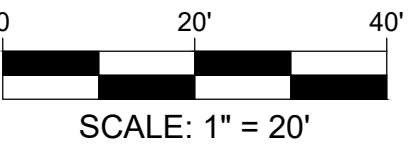
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DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7219
 SHEET NAME SITE PLAN
SP-1

UTILITY PLAN

UTILITY NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearings and elevation information is based on information provided by Terra Pointe Consultants, Inc. Bearings referenced to Grid North of the Michigan Coordinate System, Central zone and elevations referenced to NAD83 (2011) (INTERNATIONAL FOOT).
- Temporary Benchmark No. 1 - Found Iron Rod @ Northeast Corner
 Northing = 519088.8750'
 Easting = 19365221.8270'
 Elevation = 628.06'
- Temporary Benchmark No. 2 - Found Iron Rod @ Southwest Corner
 Northing = 518947.8730'
 Easting = 19365077.9640'
 Elevation = 628.76'
- This site scales within Zone X, Defined as areas determined to be outside the 0.2% annual chance floodplain, as shown on the Flood Insurance Rate Map prepared by the Federal Emergency Management Agency for the City of Traverse, Grand Traverse County, Michigan, Map Number 2605500226C dated August 28, 2018.
 - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installation.
 - Contractor to contact telephone, electric, gas, cable, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
 - The Contractor is responsible for keeping storm water run-off and sediment under control during construction. All contractors shall refer to Erosion and Sediment Control Plans throughout construction.
 - All survey monuments disturbed during construction shall be replaced at the Contractors expense, by a surveyor licensed in the state in which this project is located, at the Contractors expense.
 - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession data and the final connections of utility services. All fees shall be paid by the contractor.
 - Contractor shall notify utility authorities inspectors at least 72 hours before connecting to any existing line. Underground utilities shall be installed, inspected and approved prior to backfilling.
 - Sanitary sewer pipe shall be PVC SDR 35.
 - Waterline: Unless otherwise required by local codes, waterlines that are for installation below grade and outside the building shall comply as follows: Pipe sizes 3-inch and smaller shall be Type K Copper, meeting ASTM D 2241, with ASTM D 1784 material classification. Pipe sizes 4 to 16 inches shall be PVC, AWWA C900, rated DR 18 (class 150). Waterlines shall have a minimum of 72 inches of cover below finish grade, unless otherwise indicated on plans. PVC pipe and fittings shall be installed in accordance with AWWA C605. Ductile iron pipe and fittings shall be installed in accordance with AWWA C600.
 - Contractor shall provide all waterline tees, valves, bends, tapping sleeves, meters, meter pits, fire hydrants, etc. necessary to construct the waterlines as shown on these plans. Thrust blocking shall be provided at all tees, bends and fire hydrants.
 - All flared end sections shall be RCP or CMP. Flared end sections that are CPP will not be allowed. Connections must be soil tight.
 - Contractor shall obtain and follow installation requirements for storm sewer from pipe manufacturers for each type of piping material.
 - Contractor shall coordinate adjustments to existing utilities with appropriate utility company as work progresses. All costs shall be paid by the Contractor.
 - Utility Contractor shall be responsible for all taping and tie-in fees, as well as cost of service connections. Utility Contractor shall coordinate and schedule site inspections for all utility infrastructure improvements with authorities having jurisdiction prior to construction commencement and again prior to backfill placement. All required inspections shall be the responsibility of the contractor.
 - Unless indicated otherwise, all waterline and sanitary sewer crossings shall have a minimum 18 inch vertical separation and 10 feet horizontal separation. The Contractor shall note that the depths of existing utilities have been plotted from information provided by various utility companies and is to be considered approximate. If the minimum separations cannot be constructed as shown the Contractor shall notify BFA and appropriate modifications will be issued.
 - Verify location of all existing utilities to be crossed and identify potential conflicts prior to starting construction.
 - Location of site utilities shall be verified by General Contractor the proper utility company providing service.
 - General Contractor shall provide 2"x2"x8" thick concrete apron at all cleanouts, valves and meters. See Detail.
 - General Contractor will be responsible for all top and tie in fees required, as well as cost of underground service connections to the building.
 - Contractor will be responsible for installing all 4" underground conduit from the electrical connection to the pad mounted transformer. Top of conduit shall be a minimum of 48" below finished grade, have a pull cord installed, and have no more than three (3) 90° bends. Contractor is also responsible for the wire from the pad mounted transformer to the building. Electric service connection shall be coordinated with Consumers Energy.
 - Thrust blocks shall be provided at all bends, tees, and fire hydrants.
 - Dimensions shown are to centerline of pipe or fitting.
 - All fire hydrants shall be provided with an approved gate valve a maximum of 5'-0" from hydrant.
 - All trenching, pipe laying, and backfilling shall be in accordance with federal OSHA Regulations.
 - General Contractor shall have approval of all governing agencies having jurisdiction over utility infrastructure systems prior to installation.
 - All parking lot lighting poles and fixtures with lamps and paint will be provided by owner and installed by the Electrical Contractor. The Electrical Contractor shall provide owner a one-year warranty certificate. All incurred costs for receiving, storage, liability and warranty labor shall be included in the installation and contract price. Refer to architectural plans for location and layout of conduit and wiring.
 - Contractor is cautioned of existing underground and above ground utilities that will be crossed and/or that are in the vicinity of proposed improvements shown hereon. Contractor shall locate all existing utilities and shall provide temporary support for them, as needed, for the construction of the proposed site and utility infrastructure improvements.
 - The Contractor shall provide a line item cost for irrigation to landscaping and lawns in their Design Build pricing. Contractor shall verify with the Developer prior to construction to confirm installation. The Contractor shall coordinate with water service provider for separate water meter for landscape/irrigation.
 - Contractor shall coordinate Gas Service Connection with Gas Company.



UTILITY PLAN LEGEND

- 1 WATER VALVE
- 2 WATER METER/VALVE (COORDINATE METER SIZE, LOCATION, AND REQUIREMENTS W/ PROVIDER)
- 3 1" DOMESTIC WATERLINE W/ TRACER WIRE
- 4 GREASE INTERCEPTOR (REF MEP)
- 5 (2) SETS OF 4" PVC CONDUITS FOR ELECTRIC WITH PULL ROPE
- 6 ELECTRIC TRANSFORMER (COORDINATE CONNECTION W/ LOCAL POWER COMPANY)
- 7 DOWNSPOUTS (TO CONNECT TO 6" STORM SEWER)
- 8 (2) 3" CONDUITS FOR TELEPHONE/INTERNET SERVICE
- 9 LIGHT POLE (TYP)

GRADING LEGEND

DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	=====	=====
EASEMENT	-----	-----
PROPERTY LINE	=====	=====
GUARD RAIL	—+—+—	—+—+—
CHAINLINK/WOODEN FENCE	— — —	— — —
CONTOURS	—(100)—	—100—
UTILITY POLE	•	•
GUARD POST	•SP	•SP
SANITARY MANHOLE	•	•
WATER VALVE	•	•
FIRE HYDRANT	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▢	▢
CLEANOUT	•	•
GRATED INLET	■	■
SOIL BORING	⊘	⊘

SPOT GRADE LEGEND

TOP OF CURB	•	•
PAVEMENT ELEVATION @ CURB/SIDEWALK	•	•
INTERIOR PAVEMENT/GROUND ELEVATIONS	•	•
GUTTER ELEVATION @ FACE OF CURB	•	•
ELEVATION TO MATCH EXISTING	•	•
TOP OF SIDEWALK	•	•

ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
BHI	BEE HIVE INLET
EL	ELEVATION
FL	FLOW LINE
N/F	NOW AND/OR FORMERLY
DS	DOWNSPOUT
SSCO	SANITARY SEWER CLEANOUT
STCO	STORM SEWER CLEANOUT
L	ADA LANDING
R	ADA ACCESSIBLE RAMP

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-03-22

FOR REVIEW ONLY

RAYMOND H. FRANKENBERG II
 ENGINEER
 No. 42538
 06/30/22

Raymond H. Frankenberg II, P.E. #42538
 State of Michigan
 Registered Professional Engineer
 for BFA, Inc.

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BFA
 Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

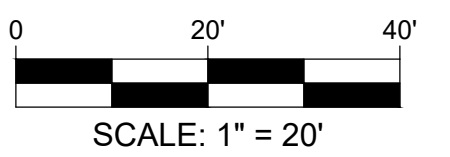
REVISIONS

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DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7219
 SHEET NAME UTILITY PLAN
 UT-1

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LANDSCAPE PLAN



LANDSCAPE NOTES:

- Contractor shall place sod in all grass/turf areas as shown, and all other disturbed areas.
- After a stand of grass is established and no more erosion and sediment is expected, concrete swales shall be cleaned out.
- The site work for this project shall meet or exceed Industry Standards and Manufacturer's Specification for each improvement feature.
- The Contractor shall provide owner a two-year maintenance contract for all landscaping and the irrigation system.
- The planter areas shall have a weed barrier and be covered with landscape gravel of 3" minimum depth. A steel edging shall be used on all landscaped areas within grass areas.
- The Contractor is specifically cautioned that the locations and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All unsurfaced areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that were disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.
- Sod shall be well-rooted and be completely free from noxious weeds and reasonably free from other objectionable grasses, weeds, and stones. Sodding and seeding shall be done in accordance with this landscape plan.
- All plants must be healthy, vigorous material, free of pest and disease.
- All plants must be container grown or balled and burlapped as indicated in the plant list.
- All trees must be straight trunked and full headed and meet all requirements specified.
- All plants are subject to the approval of the owner before, during and after installation.
- Prior to construction, the Contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The Contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc which occurs as a result of the landscape and irrigation construction.
- Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- All planter islands and planter areas shall be bermed with a 3H:1V slope and seeded to meet the seeding specifications, unless otherwise indicated on these plans.
- All landscape material must be provided by a local nursery or tree farm within a 100 radius of site.
- Contractor to adjust plantings accordingly, notify BFA and Owner of any major changes.
- Proposed plant material is to be selected by the contractor and approved by the Owner prior to Construction.
- Tree locations and planting bed to be located by the contractor and approved by the owner prior to installation.
- Planting shall not prohibit site distance requirements.
- Contractor shall coordinate with owner and water provider prior to construction to determine if a separate irrigation water meter is needed.
- The Contractor shall provide a line item cost for irrigation to landscaping and lawns in their Design Build pricing. Drip irrigation shall be provided for all shrubs/trees, and spray irrigation for all sod areas. Drip irrigation shall be installed below the weed barrier. Contractor shall verify with the Developer prior to construction to confirm installation.

LANDSCAPE REQUIREMENTS

- NORTH: TYPE "B" BUFFER**
 -REQUIRED: 2 LARGE TREES, 1 MEDIUM/SMALL TREE, 4 SHRUBS (BASED ON 100 LF OF GREENSPACE AREA)
 -PROVIDED: 2 LARGE TREES, 1 MEDIUM/SMALL TREE, 4 SHRUBS
- EAST: TYPE "B" BUFFER**
 -REQUIRED: 3 LARGE TREES, 2 MEDIUM/SMALL TREE, 6 SHRUBS (BASED ON 145 LF OF GREENSPACE AREA)
 -PROVIDED: 3 LARGE TREES, 2 MEDIUM/SMALL TREE, 6 SHRUBS
- SOUTH: TYPE "D" BUFFER**
 -REQUIRED: 6 LARGE TREES, 4 MEDIUM/SMALL TREES, 4 EVERGREEN (BASED ON 140 LF OF GREENSPACE AREA)
 -PROVIDED: 6 LARGE TREES, 4 MEDIUM/SMALL TREES, 4 EVERGREEN
- WEST: TYPE "B" BUFFER**
 -REQUIRED: 3 LARGE TREES, 1 MEDIUM/SMALL TREES, 5 SHRUBS (BASED ON 125 LF OF GREENSPACE AREA)
 -PROVIDED: 3 LARGE TREES, 1 MEDIUM/SMALL TREES, 5 SHRUBS

PLANTING LEGEND				
COMMON NAME (PLANT LABEL)	SYMBOL	BOTANICAL NAME	PLANT SIZE	QUANTITY
BLACK MAPLE		AMELANCHIER ARBOREA	2" CAL	4
RED MAPLE		ACER NIGRUM	2" CAL	6
MOUNTAIN MAPLE		ACER RUBRUM	1.5" CAL	5
SHADBLOW SERVICEBERRY		ACER SPICATUM	1.5" CAL	4
BLACK HILLS SPRUCE		PICEA GLAUCA 'DENSATA'	6' HEIGHT	7
WINTERGREEN		BUXUS SINICA VAR. INSULARIS	5 GAL	7
YEW		TAXUS CANADENSIS	5 GAL	5
SNOWBERRY		SYMPHORICARPOS ALBUS	5 GAL	3
TURF-SOD		TURF TYPE FESCUE		
LANDSCAPE GRAVEL		1.5"-2" GRANITE LANDSCAPE GRAVEL		

NOTE: ALL QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.

SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC		
UTILITY POLE		
GUARD POST		
SANITARY MANHOLE		
CATCH BASIN		
JUNCTION BOX		
FLARED END SECTION		
CLEANOUT		
GRATED INLET		
GUARD RAIL		
CHAINLINK/WOODEN FENCE		
WATER VALVE		
FIRE HYDRANT		
EASEMENT		
PROPERTY LINE		

NOTE:
 EXISTING FIELD DATA SHOWN HEREON WAS GATHERED
 BY TERRA POINTE CONSULTANTS, INC. ON 05-02-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538 06/30/22 Date
 State of Michigan Registered Professional Engineer for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

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Traverse City, MI (S. AIRPORT RD)
 NLD Acquisitions, LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	By: App:
2	By: App:
3	By: App:
4	By: App:

DRAWN B.L.F.
 CHECKED J.B.S.
 DATE 06/30/22
 SCALE 1"=20'
 JOB No. 7219
 SHEET NAME LANDSCAPE PLAN
 LP-1

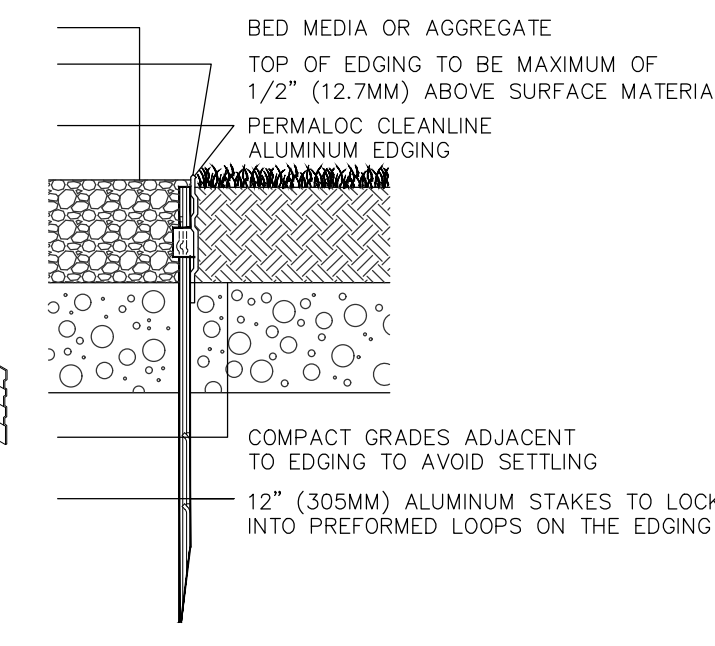
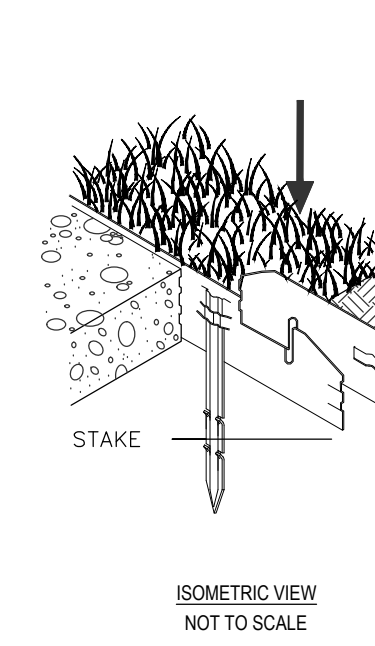
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LANDSCAPE DETAILS

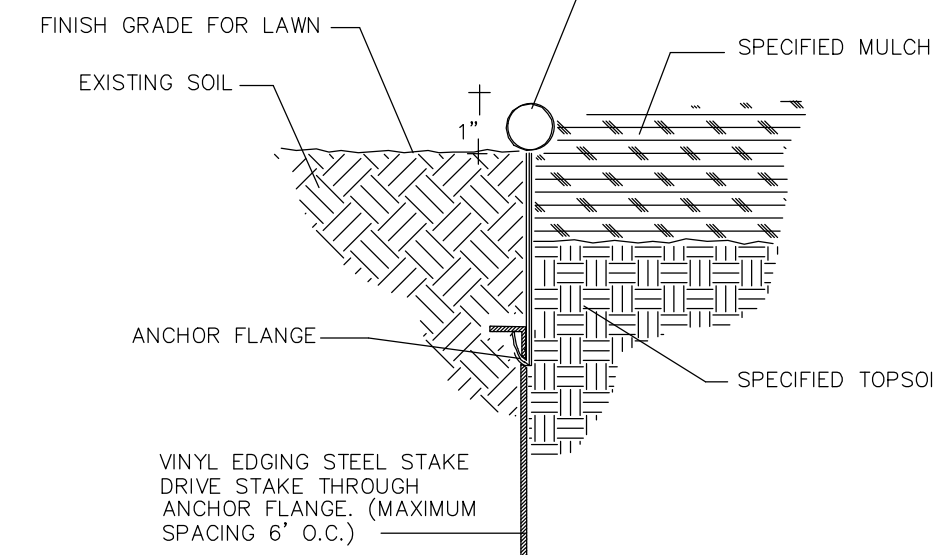


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www.permaloc.com

1. FINISH GRADE
2. BACKFILL WITH PREPARED PLANTING SOIL MIX AS SPECIFIED.
3. 12" x 6" CLEAN SAND, COMPACTED TO FINISHED GRADE.
4. FILTER CLOTH
5. SLOPE BOTTOM TO DRAIN
6. 18" x 6" ALUMINUM MESH PENETRATE THROUGH OCCULTING LAYER TO WATER TABLE OR TO A DEPTH OF 7' TO ASSURE PROPER DRAINAGE.
7. BACKFILL WITH 1/2" - 3/4" WASHED SAND
8. WATER TABLE FOR A PAVING ISLAND PLANTING SITUATION, CONTRACTOR TO BACKFILL ENTIRE LENGTH OF PLANTING AREA TO WITHIN 6" OF BACK OF CURB OR EDGE OF PAVEMENT.

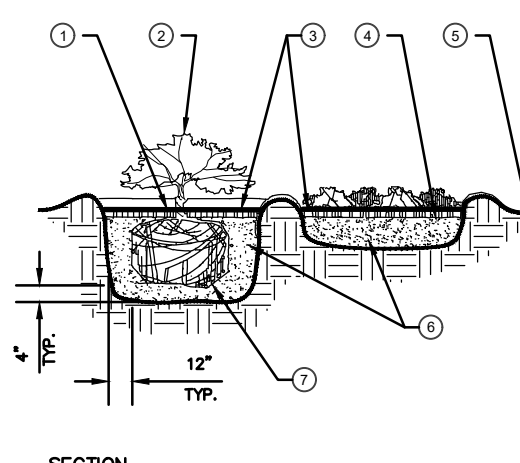


ALTERNATE #1: PERMALOC ALUMINUM EDGE DETAIL



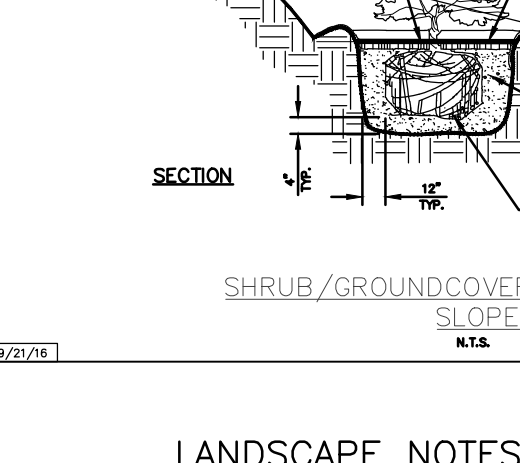
VINYL EDGE DETAIL N.T.S.

1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
2. WHEN USED IN MASSES - PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/SHRUB.
3. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
4. EXCAVATE ENTIRE BED SPECIFIED FOR GRASSCOVER BED.
5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
6. PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN USING SHRUBS, COVER AND SHRUBS USING ENTIRE BED WITH FINISHED GRADE MIX AS SPECIFIED IN THE PLANTING SPECIFICATION.
7. SCARIFY ROOTBALL SIDES AND BOTTOM.

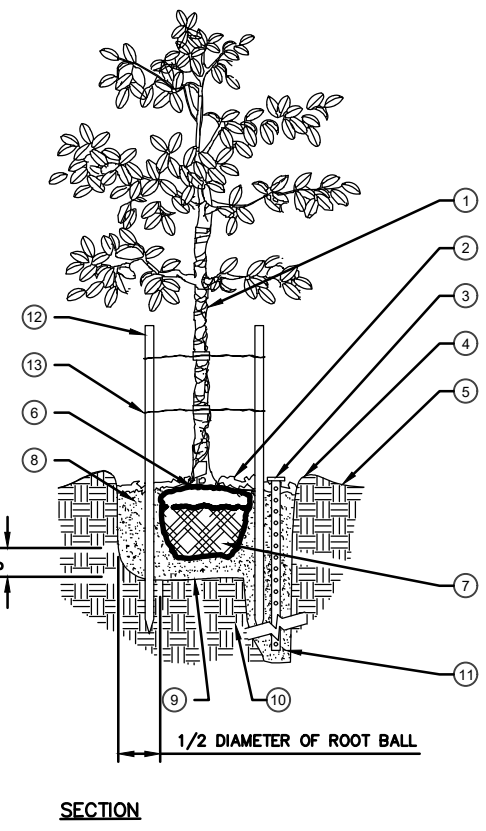
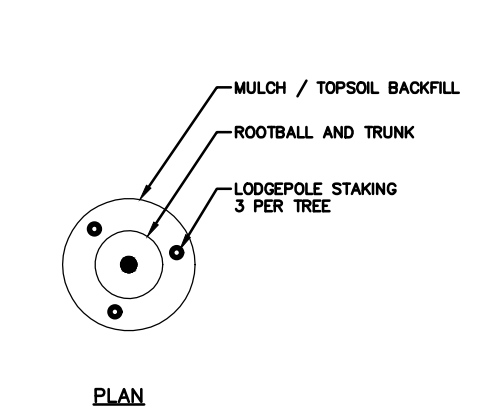


SHRUB/GROUNDCOVER PLANTING

1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
2. WHEN USED IN MASSES - PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/SHRUB.
3. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
4. EXCAVATE ENTIRE BED SPECIFIED FOR GRASSCOVER BED.
5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
6. PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN USING SHRUBS, COVER AND SHRUBS USING ENTIRE BED WITH FINISHED GRADE MIX AS SPECIFIED IN THE PLANTING SPECIFICATION.
7. SCARIFY ROOTBALL SIDES AND BOTTOM.
8. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.



SHRUB/GROUNDCOVER PLANTING ON SLOPE



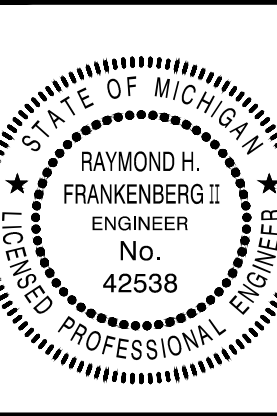
CANOPY TREE PLANTING

1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
2. WHEN USED IN MASSES - PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/SHRUB.
3. 4" MINIMUM OF HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
4. EXCAVATE ENTIRE BED SPECIFIED FOR GRASSCOVER BED.
5. 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN).
6. PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN USING SHRUBS, COVER AND SHRUBS USING ENTIRE BED WITH FINISHED GRADE MIX AS SPECIFIED IN THE PLANTING SPECIFICATION.
7. SCARIFY ROOTBALL SIDES AND BOTTOM.
8. CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

LANDSCAPE NOTES:

- GENERAL:
1. All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
 2. The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
 3. underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
 4. Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
 5. It shall be the landscape contractor's responsibility to:
 - A) verify all existing and proposed features shown on the drawings prior to commencement of work.
 - B) Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - C) State the locations of all proposed plant material and obtain the approval of the owner's representative on (10) days prior to installation.
 - D) Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
 - E) Provide single-stem trees unless otherwise noted in plant schedule.
 - F) All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock."
 - G) It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
 - H) All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract. Quotes shall be valid for 12 months.
 - I) Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
 - J) All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to plant project is turned over to the landscape contractor to commence landscape installation.
13. Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
14. Landscape contractor shall kill & remove all existing weeds within the project site.
15. All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
16. Landscape contractor shall be in compliance with all federal, state and local laws/regulations relating to insect infestation and/or plant diseases.
17. All substitutions of plant material shall be submitted to Owner for approval.
- PRUNING:
1. Lightly prune trees at time of planting. Prune only the crossover limbs, internodal leaders and/or any broken branches. Some interior limbs and lateral branches may be pruned. However, do not remove the terminal buds of branches which will be fully responsible for correction of all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
 2. Landscape Contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operation and before application of shredded bark mulch.
 3. Initial site visit controls prior to commencement of any grading operation, inspect and maintain all siltation fences on a weekly basis until vegetation is established.
- MISC. MATERIALS:
- 1) Provide stakes and deadman of sound, new hardwood, free of knots, and winter freezing. Additionally, only 3-ply tyrod material shall be used.
- TURF:
- 1) All disturbed lawn areas to be seeded with a mixture of turf-type fescue (300# per acre and bluegrass (16# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. are areas more than one square foot per any 50 square feet shall be replaced.
 - 2) Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND Irrigation system is operating.
 - 3) Watering of seeded or sodded lawns shall begin immediately and shall continue to be provided continuously for the following 72 hours. Regardless, the landscape contractor shall be responsible for all landscape maintenance until project turnover.
- SIGHT TRIANGLES:
- 1) No landscape material or other obstructions shall be placed or be maintained within the sight triangle area so as not to impede the vision between a height of thirty inches (30") and ten feet (10') above the adjacent street or paving surfaces.
 - 2) Sight triangles at the intersection of a public street and a private access way (except for a single family residence) shall also be formed by measuring from the point of intersection of the street frontage curbs and the entrance curb lines a distance of 35' and connecting the points so established to form the sight triangle area.

- 8.) Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
 - 9.) Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.
- EROSION CONTROL BLANKET (Where applicable):
- 1) All seeded areas on slopes greater than 4:1 shall receive an erosion control blanket which shall consist of loose straw mat and anchor pins as manufactured by Northern American Green, DS 75 or approved equal. Install per manufacturer's recommendations.
- PLUG PLANTING NOTES:
- 1) All plugs to be 4-1/2" deep X 2" diameter minimum.
 - 2) Plugs are to be planted in a hole dug with a trowel, spade or planting bar such that the hole is of a minimum diameter and depth to accommodate the plug and its roots, without damage.
 - 3) Plugs shall be spaced in a triangulated layout approximately 24" on center. Plugs shall be planted through erosion control blanket where appropriate.
 - 4) Obtain plugs from a reputable nursery.
 - 5) Water plugs upon completion of planting so that soil is moist but not saturated.
 - 6) If planting is delayed more than six hours after delivery, store plugs in the shade, protect from weather and mechanical damage and keep them moist and cool. All plugs shall be planted within 24 hours after delivery.
- WARRANTY:
- 1) All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
 - 2) Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
 - 3) Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
 - 4) Lawn establishment periods will be in effect once the lawn has been mowed three times. Plant establishment periods shall commence on the date of acceptance and 100% completion.
 - 5) A written guarantee shall be provided to the owner per conditions outline in #1 above.



FOR REVIEW ONLY

Raymond H. Frankenberg II, P.E. #42538
State of Michigan
Registered Professional Engineer
for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

BFA
Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

Three working days prior to the start of any excavation on the site the Contractor shall contact 1-800-482-7171 for utility location information.

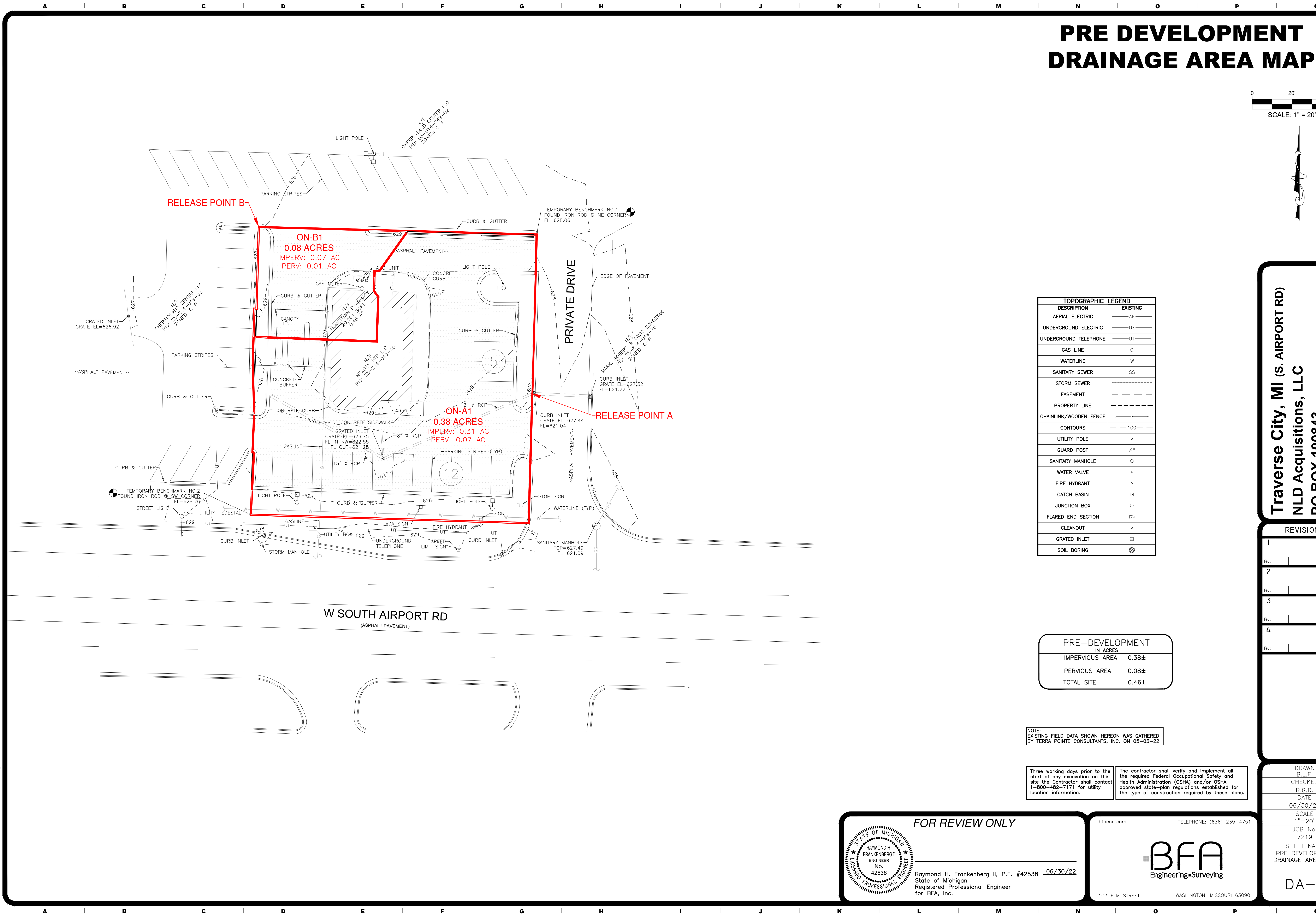
The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

DRAWN B.L.F.
CHECKED R.G.R.
DATE 06/30/22
SCALE 1"=20'
JOB No. 7219
SHEET NAME LANDSCAPE DETAILS
LP-2

REVISIONS	
1	
2	
3	
4	

Traverse City, MI (S. AIRPORT RD)
NLD Acquisitions, LLC
PO BOX 100843
Fort Worth, TX 76185

PRE DEVELOPMENT DRAINAGE AREA MAP



TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	— AE —
UNDERGROUND ELECTRIC	— UE —
UNDERGROUND TELEPHONE	— UT —
GAS LINE	— G —
WATERLINE	— W —
SANITARY SEWER	— SS —
STORM SEWER	=====
EASEMENT	-----
PROPERTY LINE	-----
CHAINLINK/WOODEN FENCE	o-----o
CONTOURS	— 100 —
UTILITY POLE	o
GUARD POST	GP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	o
JUNCTION BOX	o
FLARED END SECTION	o
CLEANOUT	o
GRADED INLET	o
SOIL BORING	o

PRE-DEVELOPMENT IN ACRES	
IMPERVIOUS AREA	0.38±
PERVIOUS AREA	0.08±
TOTAL SITE	0.46±

NOTE:
EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-03-22

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Traverse City, MI (S. AIRPORT RD)
NLD Acquisitions, LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN
B.L.F.
CHECKED
R.G.R.
DATE
06/30/22
SCALE
1"=20'
JOB No.
7219
SHEET NAME
PRE DEVELOPMENT
DRAINAGE AREA MAP

DA-1

FOR REVIEW ONLY

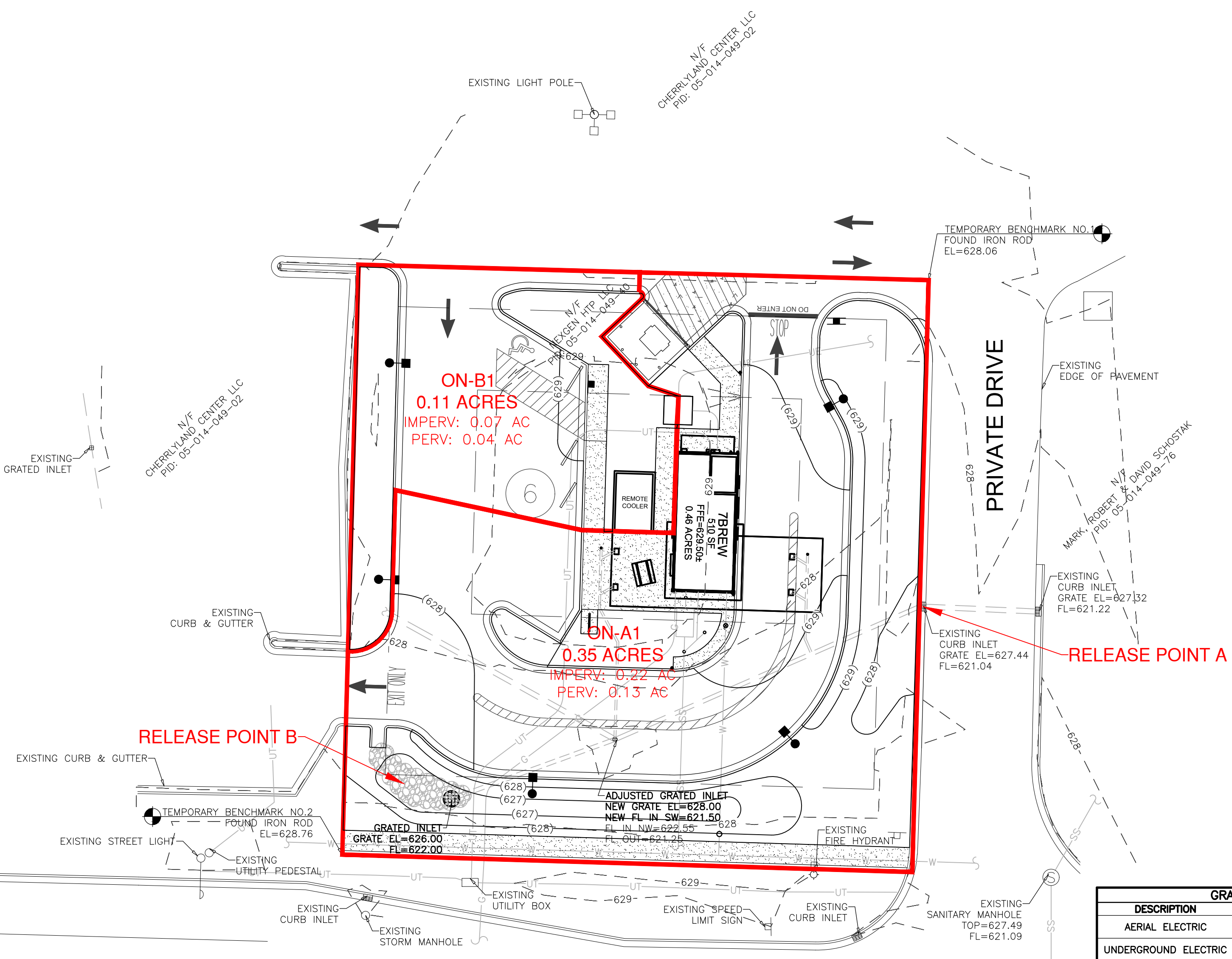
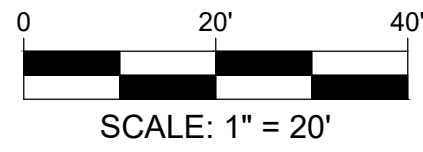
Raymond H. Frankenberg II, P.E. #42538 06/30/22
State of Michigan
Registered Professional Engineer
for BFA, Inc.

bfaeng.com TELEPHONE: (636) 239-4751

103 ELM STREET WASHINGTON, MISSOURI 63090

F:\Vault\7219 W South Airport Traverse City MI 7 Brew\7219 Stormwater\7219 Predeveloped Drainage Area Map.dwg 6/30/2022 10:45 AM

POST DEVELOPED DRAINAGE AREA MAP



TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AERIAL ELECTRIC	—AE—
UNDERGROUND ELECTRIC	—UE—
UNDERGROUND TELEPHONE	—UT—
GAS LINE	—G—
WATERLINE	—W—
SANITARY SEWER	—SS—
STORM SEWER	=====
EASEMENT	-----
PROPERTY LINE	-----
CHAINLINK/WOODEN FENCE	====
CONTOURS	---100---
UTILITY POLE	o
GUARD POST	,GP
SANITARY MANHOLE	o
WATER VALVE	o
FIRE HYDRANT	o
CATCH BASIN	▣
JUNCTION BOX	o
FLARED END SECTION	▣
CLEANOUT	o
GRADED INLET	▣
SOIL BORING	⊗

GRADING LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	=====	=====
EASEMENT	-----	-----
PROPERTY LINE	-----	-----
GUARD RAIL	—GR—	—GR—
CHAINLINK/WOODEN FENCE	====	====
CONTOURS	---(100)---	---100---
UTILITY POLE	o	o
GUARD POST	,GP	,GP
SANITARY MANHOLE	o	o
WATER VALVE	o	o
FIRE HYDRANT	o	o
CATCH BASIN	▣	▣
JUNCTION BOX	o	o
FLARED END SECTION	▣	▣
CLEANOUT	o	o
GRADED INLET	▣	▣
SOIL BORING	⊗	⊗

POST-DEVELOPMENT IN ACRES	
IMPERVIOUS AREA	0.29±
PERVIOUS AREA	0.17±
TOTAL SITE	0.46±

TRAVERSE CITY, MI (S. AIRPORT RD)
 NLD Acquisitions, LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN
 B.L.F.
 CHECKED
 J.B.S.
 DATE
 06/30/22
 SCALE
 1"=20'
 JOB No.
 7219
 SHEET NAME
 POST DEVELOPED
 DRAINAGE AREA MAP
 DA-2

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-482-7171 for utility location information.

NOTE: EXISTING FIELD DATA SHOWN HEREON WAS GATHERED BY TERRA POINTE CONSULTANTS, INC. ON 05-03-22

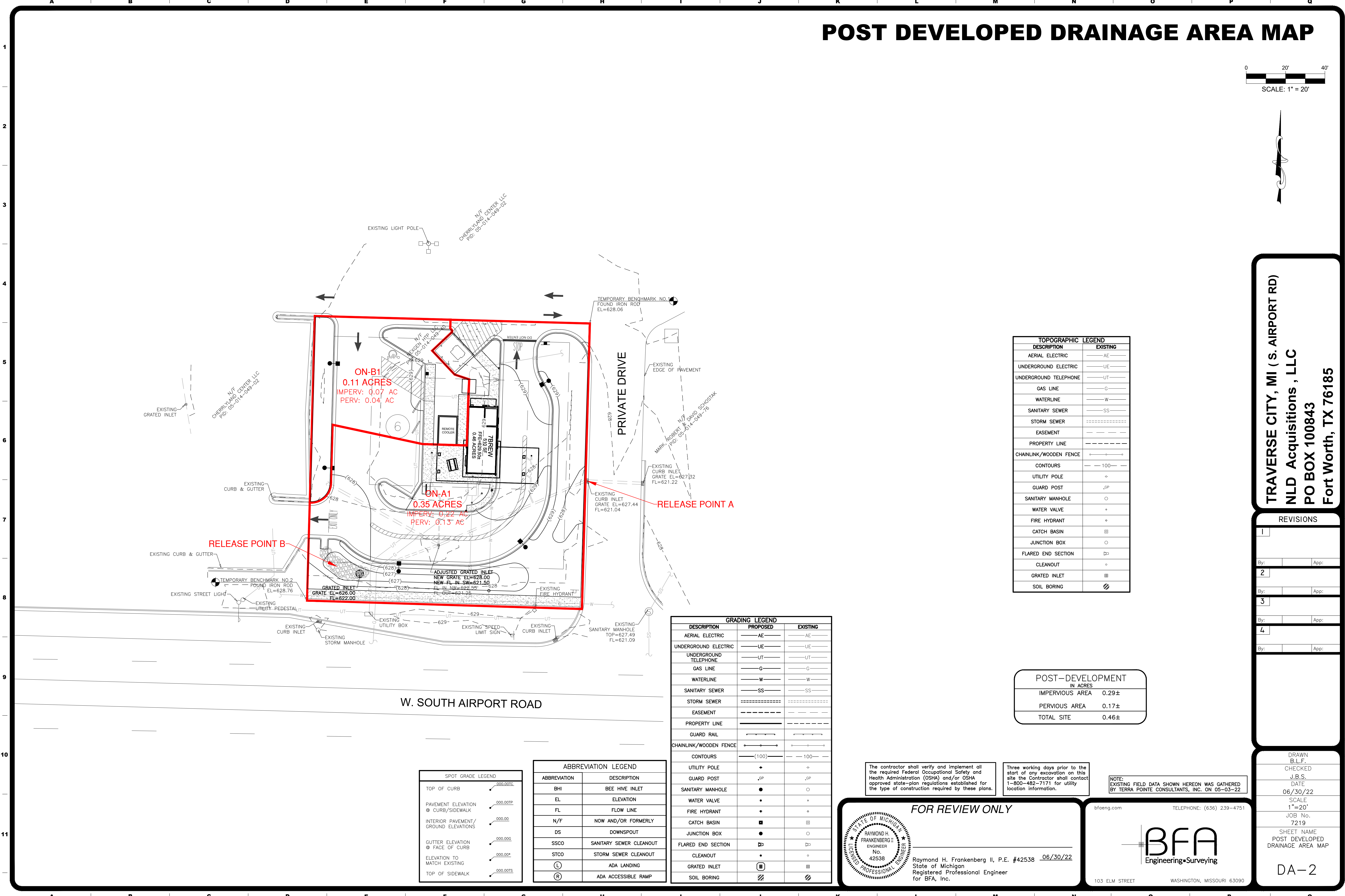
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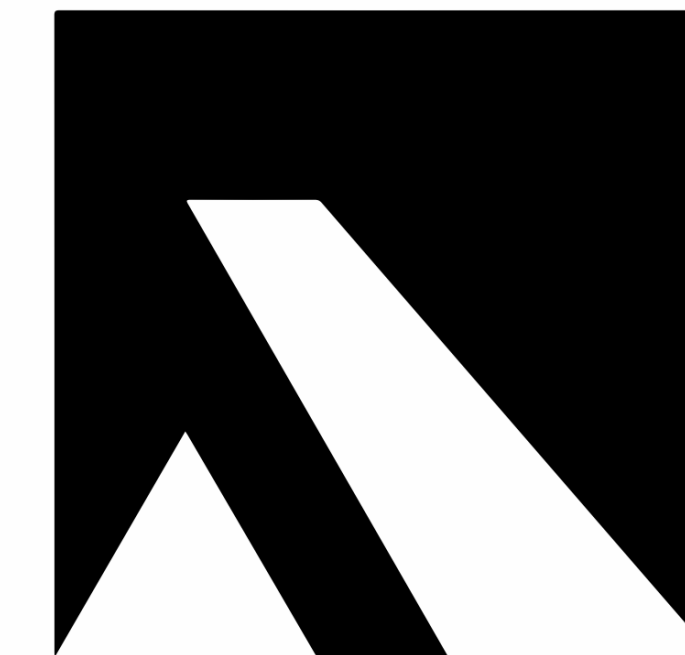
Raymond H. Frankenberg II, P.E. #42538 06/30/22
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 Registered Professional Engineer
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103 ELM STREET WASHINGTON, MISSOURI 63090

P:\Vault\7219 W South Airport Traverse City MI 7 Brew\7219 Stormwater\7219 Post Development Drainage Area Map.dwg 7/1/2022 11:09 AM





ARKIFEX
STUDIOS

221 SOUTH AVE, SPRINGFIELD, MO 65806

Architect of Record

PRELIMINARY - NOT FOR CONSTRUCTION
DATE

Certificate of Authority: A-2014032536

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Drawings and Specifications as Instruments of Service are and shall remain the property of the Architects. They are not to be used on other projects or extensions to this project except by agreement in writing with appropriate compensation to the Architect.

Contractor is responsible for construction means methods and techniques, sequence or procedures or for safety precautions and programs in connection with the project.

7 BREW DRIVE-THRU
PROJECT ADDRESS

Revisions

No.	Description	Date

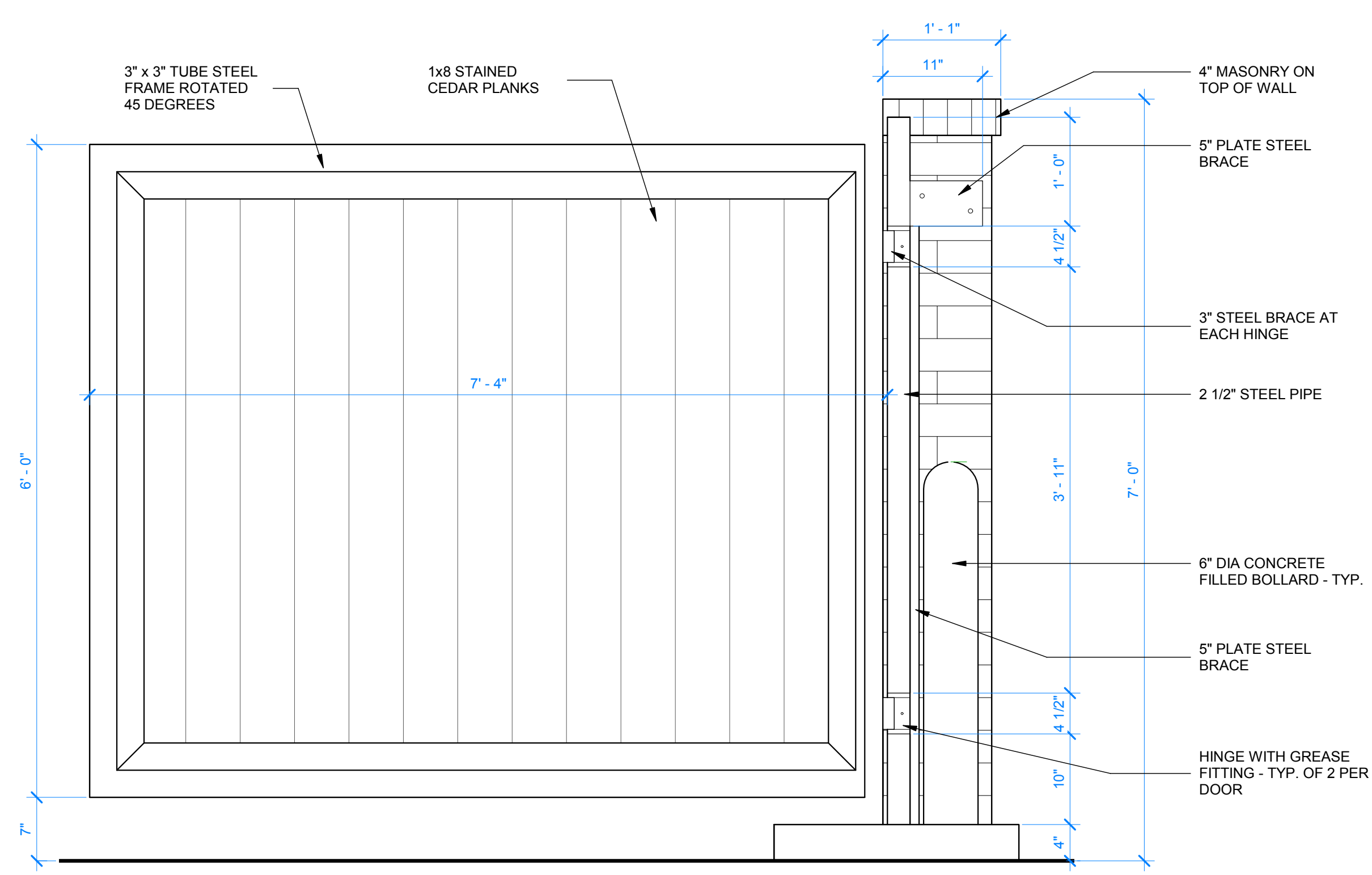
A5.0
TRASH ENCLOSURE

project #: PROJECT NUMBER
date: 1/14/2022 8:37:17 AM

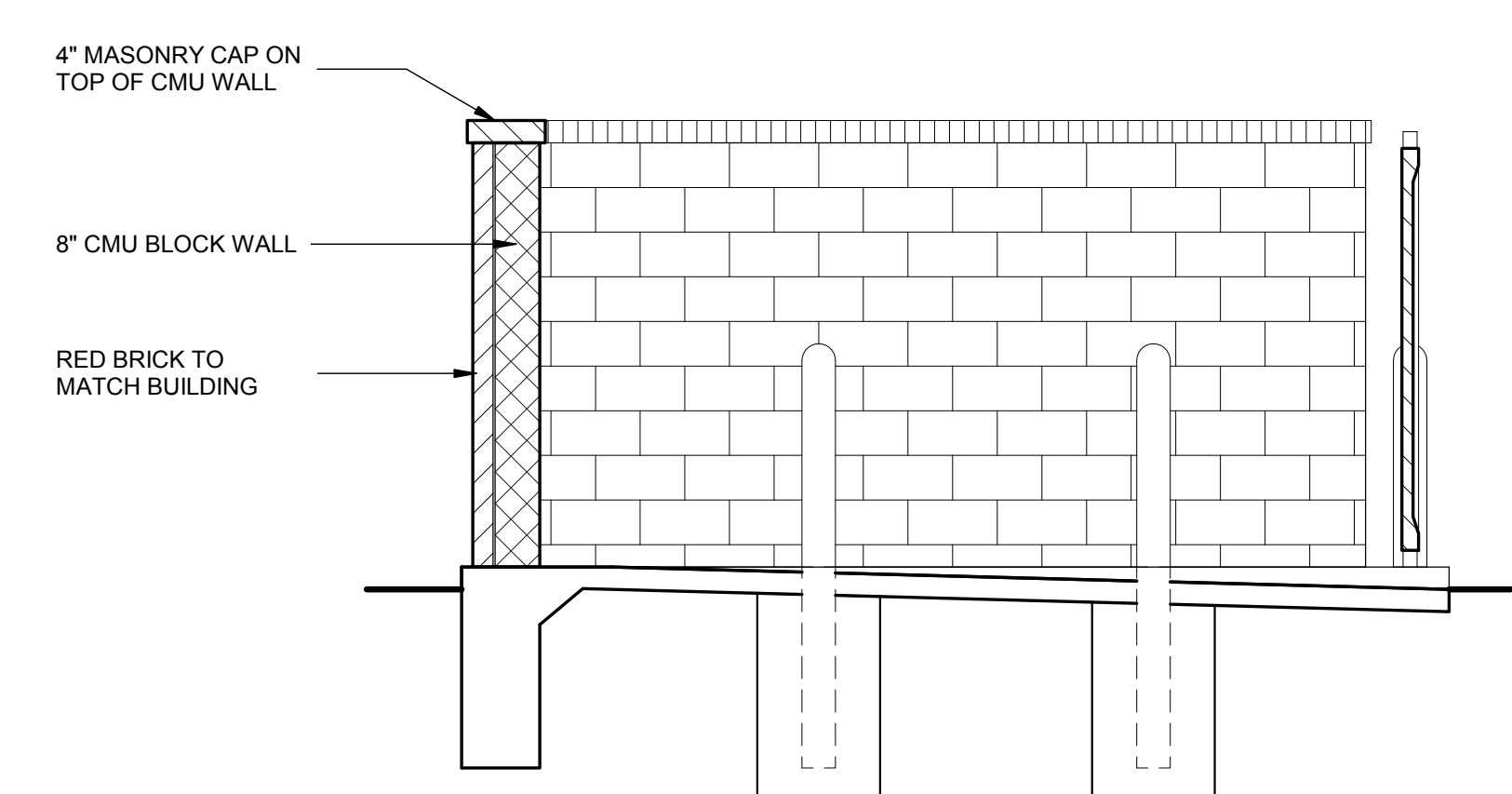
- TRASH ENCLOSURE GENERAL NOTES**
- PRE-PAINT ALL BARE METAL WITH POR-15 PRIMER PRIOR TO INSTALLATION.
 - PAINT DOOR FRAMES, HINGES, AND BOLLARDS TO MATCH THE CANOPY OF THE PREFABRICATED BUILDING - MORIN REGAL BLUE.

TRASH ENCLOSURE KEYNOTES

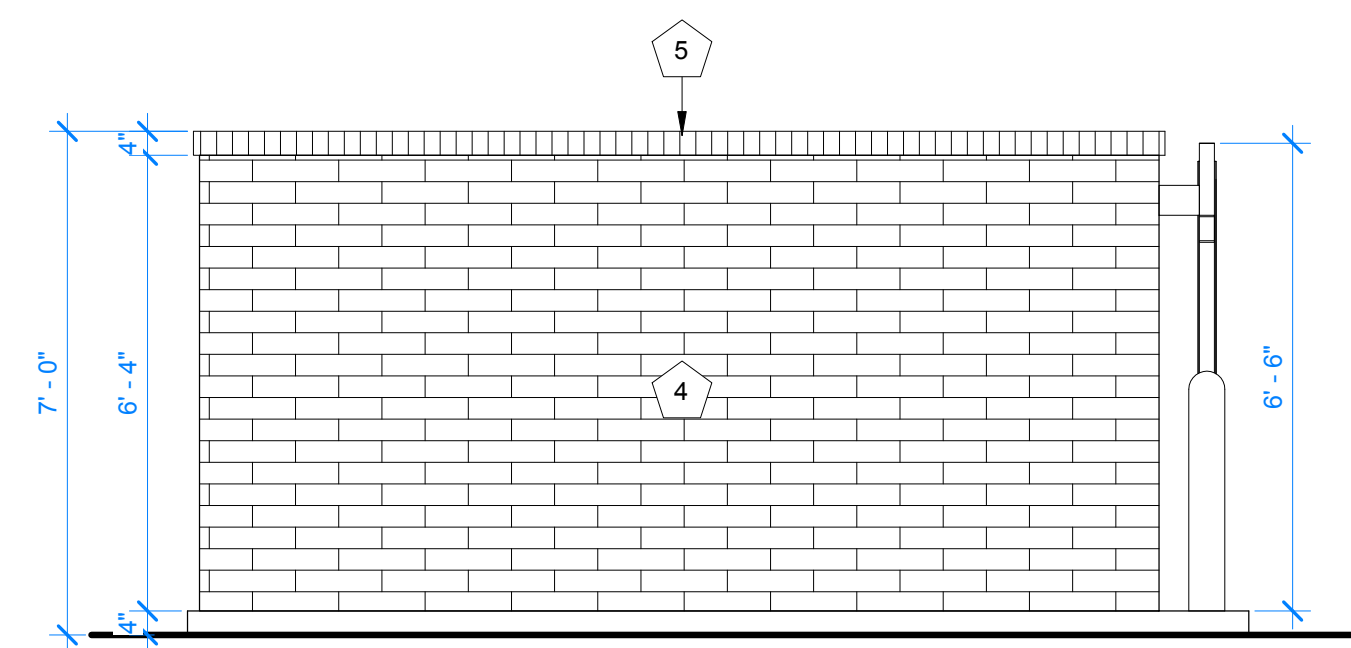
Note Number	Note Text
1	6" CONCRETE FILLED BOLLARD - TYP.
2	CUSTOM GATES: SEE 6/A1.2
3	MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER
4	RED BRICK, COMMON (COLOR TO MATCH BUILDING) OVER 8" CMU BLOCK
5	4" MASONRY CAP ON TOP OF CMU WALL



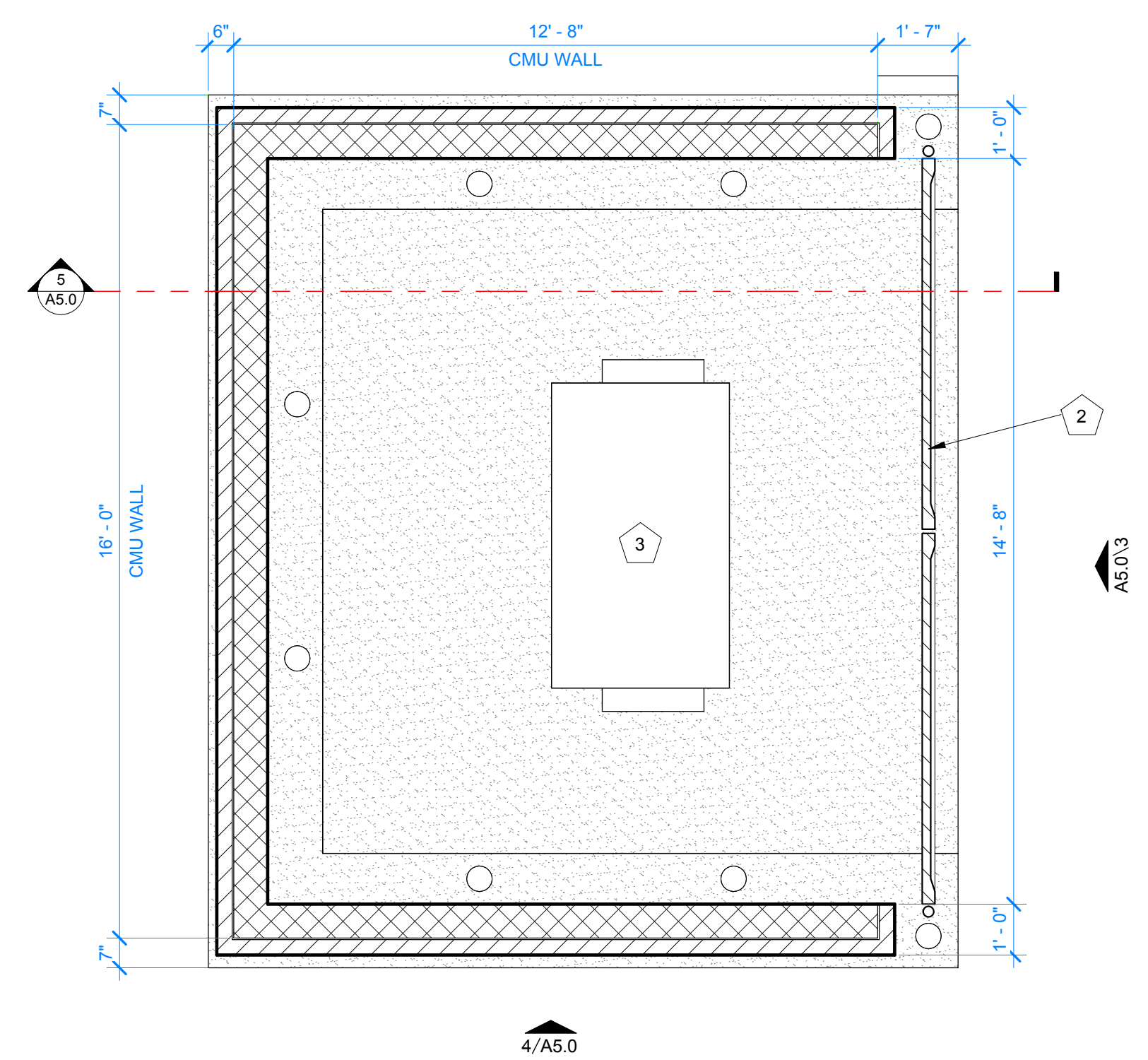
6 DOOR / HINGE DETAIL
1" = 1'-0"



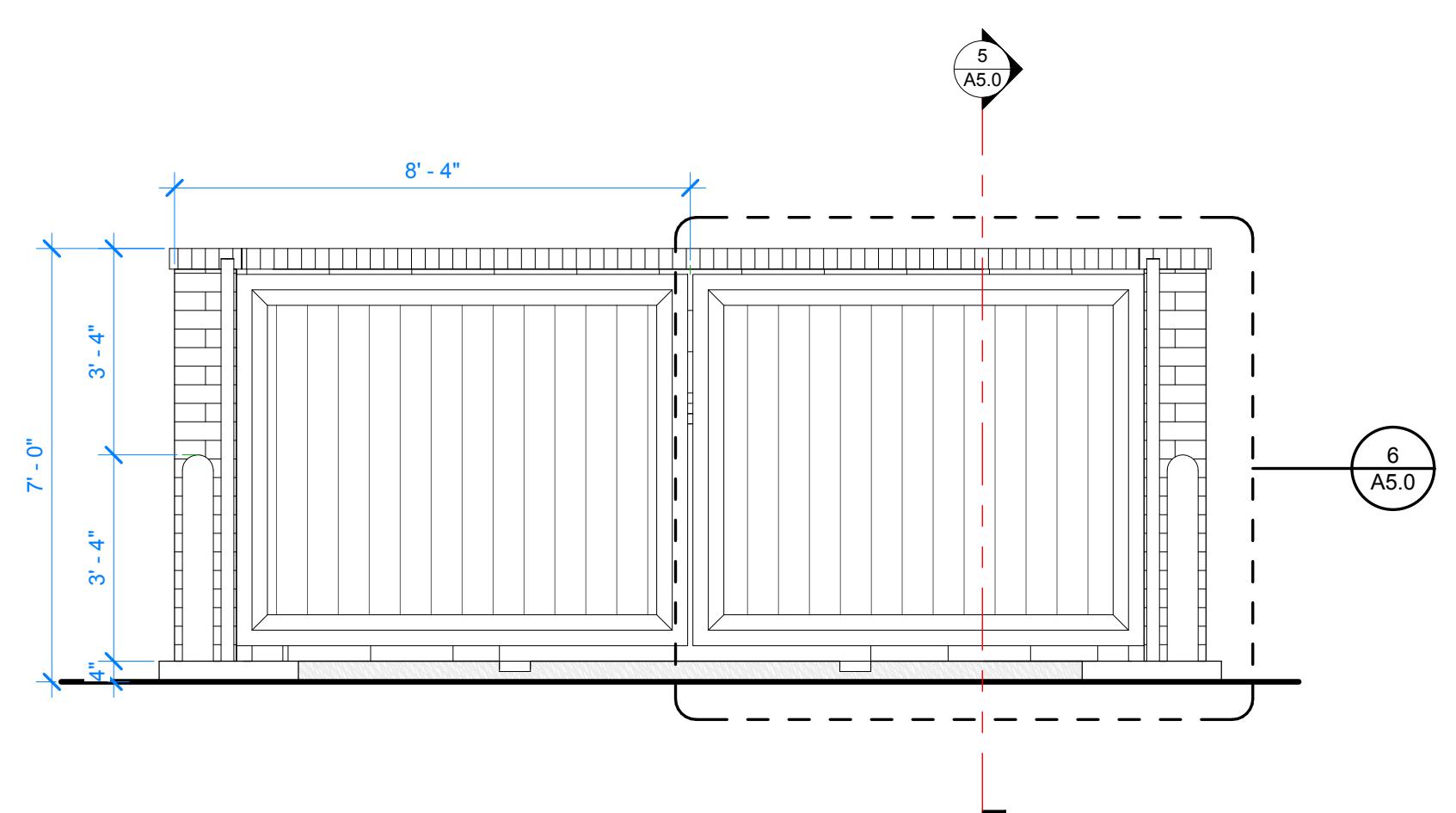
5 SECTION THRU TRASH ENCLOSURE
3/8" = 1'-0"



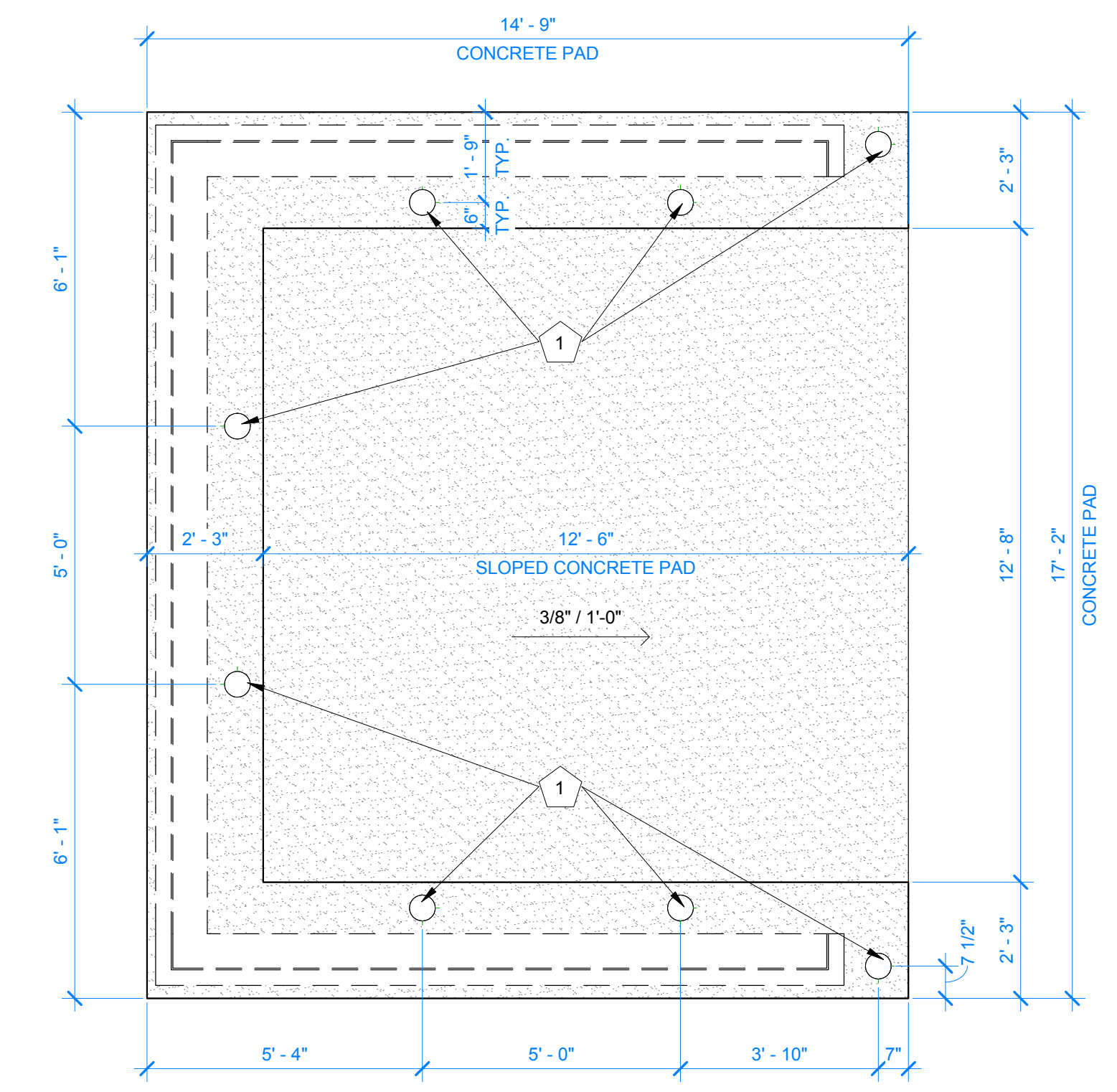
4 TRASH ENCLOSURE - SIDE ELEVATION
3/8" = 1'-0"



2 TRASH ENCLOSURE PLAN
3/8" = 1'-0"

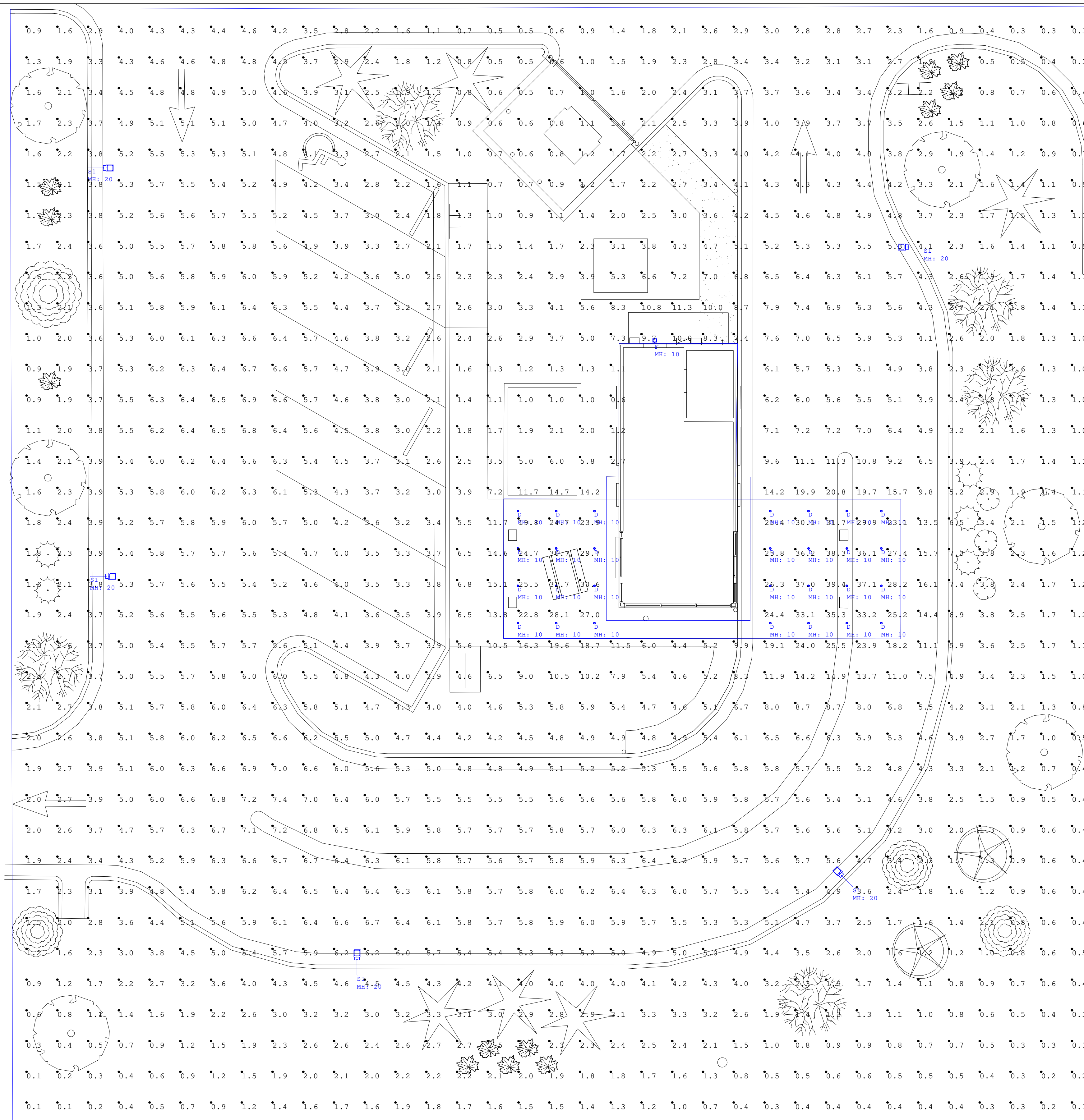


3 TRASH ENCLOSURE - FRONT ELEVATION
3/8" = 1'-0"



1 TRASH ENCLOSURE - CONCRETE PLAN
3/8" = 1'-0"

1/14/2022 8:37:17 AM




Luminaire Schedule					Calculation Summary												
Symbol	Qty	Label	Description	Tag	LLF	Luminaire Total Lumens	Total Watts	Cutoff Class	BUG Rating	Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
1		WSQ_LED_P3_SR2_35K_MVOLT	WSQ_LED_P3_SR2_35K_MVOLT		0.880	4799	39.31	N.A.	B2-U0-G1	7Brew_Site_Planar	Illuminance	Fc	4.65	39.4	0.1	46.50	394.00
5		SAS-15L-U-35-T3	SAS-15L-U-35-T3	S1	0.900	16982	552.5	Semi-Cutoff	B2-U0-G3								
28		S11810	Satco S11810	D	0.880	1109	382.491	N.A.	B1-U1-G0								

Light Fixture Pricing Information
Contact Information
 FOR SITE LIGHTING PRICING, CONTACT RYAN DENNEY WITH CED NATIONAL ACCOUNTS AT 281-733-8884

#	Date	Comments
Revisions		

Drawn By: Ben Kerstiens, LC
 Checked By:
 Date: 7/1/2022
 Scale:

7Brew - Airport Rd. Traverse City, MI

		Charter Township of Garfield	
		Planning Department Report No. 2022-63	
Prepared:	July 6, 2022	Pages:	4
Meeting:	July 13, 2022 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Kensington Park PURD – Major Amendment – Introduction		
File No.:	SUP 2002-06-E	Parcel No.	n/a
Applicant:	Patrick Rokosz & Ryan McCoon		
Agent:	Community Planning & Land Use Consulting, LLC		
Owner:	The Carson Group, LLC		

OVERVIEW:

The Kensington Park Planned Unit Residential Development (PURD) project was originally approved by the Planning Commission in June 2003 and has since been amended several times, as follows:

- April 25, 2003 – original approval (SUP 2002-06)
- March 19, 2004 – amended SUP for second phase / Homestretch project (SUP 2002-06-A)
- November 8, 2005 – amended SUP to include an additional lot in the PURD (SUP 2002-06-B)
- October 24, 2012 – amended SUP for multi-family / Carson Square project (SUP 2002-06-C)

In 2021, applicants on behalf of Kensington Park applied for a Minor Amendment (SUP 2002-06-D) for a request to remove the requirement for sidewalk installation, which was withdrawn.

This new application (SUP 2002-06-E) requests a Major Amendment to the Kensington Park PURD for the accommodation of expanded building footprints for several yet-to-be-built duplex units. The proposal is for single-story structures to be built instead of the previously approved two-story structures. According to the application, the building footprint will increase but the overall square footage of the structures will be roughly the same. The project density would also decrease slightly with one fewer unit being built along Carson Street.

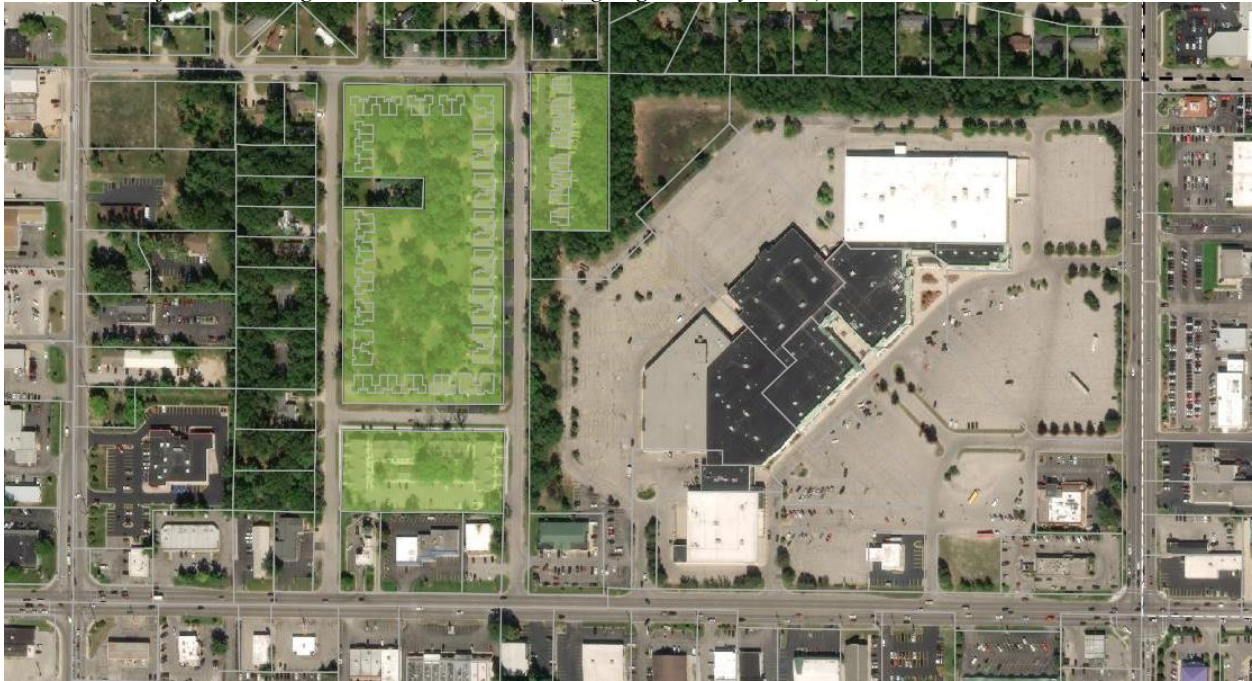
The requirement to construct sidewalks on Carson Street, Linden Avenue, Floresta Street, and Woodward Avenue, forming a loop around this phase of the Kensington Park PURD, remains in place. According to the application, the applicant has obtained written support from the association to install sidewalks in front of existing homes and will also construct sidewalks in front of new the homes, to eventually complete the neighborhood loop.

Staff has reviewed this application in terms of the requirements to qualify for a PURD Major Amendment, as well as background information for this project, and has included findings in this report.

SUBJECT PROPERTY:

The Kensington Park PURD is located west of the Cherryland Center site. The main portion of the project is roughly bounded by Carson Street, Linden Avenue, Floresta Street, and Woodward Avenue. East of this portion is a second phase of the project done by Homestretch. South of the main portion is Carson Square apartments done by Goodwill Industries.

Aerial view of the Kensington Park PURD site (highlighted in yellow)



PURD AMENDMENTS:

According to Section 427.E of the Zoning Ordinance, amendments to an approved Planned Unit Residential Development shall be considered according to the review procedure of Section 423.G and review criteria of Section 427.D(4). An application for major amendment is covered by Section 423.G(6) as follows:

REVIEW PROCEUDRES FOR MAJOR AMENDMENTS:

Any proposed amendment other than those provided for in § 423.G.(4) Administrative Amendments and § 4.23.G.(5) Minor Amendments are considered a major amendment and shall be approved in the same manner and under the same procedures as are applicable to the issuance of the original special use permit approval.

For the purposes of this section, “major amendments” include but are not necessarily limited to changes that:

- (a) Increase the number of dwelling units, floor area, height, impervious surface development, or any additional land-use disturbance other than as provided for in subsections (4) or (5), above;*
- (b) Introduce different land uses than that requested in the application;*
- (c) Request larger land area than indicated in the original application;*
- (d) Request greater relief than that requested in the application;*
- (e) Allow any decrease in buffer or transition areas, reduction in landscaping, reduction of required yards, or any change in the design characteristics or materials used in construction of the structures;*
- (f) Reduce or eliminate conditions attached to a legislative or quasi-judicial development order; or*
- (g) Reduce or eliminate pedestrian circulation.*

The applicants propose to change the previously approved two-story duplexes to one-story, which would result in a significant increase in impervious surface. Thus, it is appropriate to consider the application as a proposed major amendment. The review process for a major amendment is the same as for an entirely new PURD application.

A PURD is reviewed in two phases: preliminary and final. The preliminary review shall establish proposed land uses, project density, site layout, design, open space, and other aspects of the project. The Planning Commission shall hold a public hearing on the PURD.

Final review shall address all conditions of preliminary approval as required by the Planning Commission. The Planning Commission may hold a public hearing on the final PURD if desired. If ultimately approved, the PURD approval shall be incorporated in a Report and Decision Order (RDO) and shall be recorded with the Grand Traverse County Register of Deeds.

Because of the nature of the proposed amendment, Staff recommends taking an action on the preliminary review at the public hearing and determining any outstanding issues that may need to be addressed during final review.

PURD GENERAL CRITERIA:

The PURD is intended to encourage well designed neighborhoods that emphasize safe movement of pedestrian traffic and open areas that encourage active lifestyles and quality of life. The Planning Commission shall determine if the project meets the following standards of approval:

- (a) *The project is compatible and harmonious with adjacent and surrounding land uses and properties;*

The application proposes to construct several one-story duplex units instead of previously approved two-story duplex units and to slightly reduce the overall density. The project remains compatible with the surrounding neighborhood.

- (b) *The project minimizes motorized / non-motorized conflict points and creates a separation of pedestrian and vehicular traffic;*

As described in the application, the applicant has obtained written support from the association to install sidewalks in front of existing homes and will also construct sidewalks in front of new homes to eventually complete the neighborhood loop. Constructing these sidewalks around Carson Street, Linden Avenue, Floresta Street, and Woodward Avenue is in accordance with the original site plan for this project and will greatly enhance pedestrian safety, minimize conflict points, and provide a separation of pedestrian and vehicular traffic.

- (c) *The development consolidates and maximizes useable open space while encouraging neighborhood interaction;*

The Kensington Park PURD is designed with a central open space behind all the homes on Carson Street, Linden Avenue, Floresta Street, and Woodward Avenue. The proposed amendment is only to alter the designs of some of the buildings and maintains the consolidated usable open space at the center of this block.

- (d) *The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;*

The central open space will be retained even though the proposed redesigned buildings will increase the building envelope and impervious surface. There are no known specific natural features on the site of concern to be preserved.

(e) The development is compatible with the intent and purpose of the adopted master plan.

The Future Land Use Map within the Master Plan designates this area as High Density Residential. The PURD and proposed amendment are compatible with this designation. Further, there are other goals in the Master Plan which support the development, including a goal from the Implementation section stating to: “Continue to use the Township’s Zoning Ordinance to encourage a wide variety of housing types and densities, as well as the mixing of residential uses with commercial and light-industrial uses where compatible.”

STAFF COMMENT:

In addition to review by the Planning Commission, this application is also subject to the reviews of other agencies including the Township Engineer. In particular, the changing of building layouts and increase in impervious surface will affect stormwater management on this site.

Also, it should be acknowledged that consideration of the proposed amendment does not remove any other requirements from previous approvals for this site such as landscaping, sidewalks, and other site elements. The application indicates that there is an understanding that the sidewalks will be constructed around the block of Carson Street, Linden Avenue, Floresta Street, and Woodward Avenue. Other than the changes to buildings as proposed in the application, no other changes to the Kensington Park PUD are described.

ACTION REQUESTED:

Because of the nature of the proposed amendment, Staff recommends taking an action on the preliminary review at the public hearing and determining any outstanding issues that may need to be addressed during final review. If, following discussion, the Planning Commission is prepared to schedule a public hearing for the application, the following motion is suggested:

MOTION THAT application SUP-2022-06-E, submitted by Patrick Rokosz & Ryan McCoon, for a major amendment to the Kensington Park Planned Unit Residential Development, BE ACCEPTED, and BE SCHEDULED for a public hearing for the regular Planning Commission meeting on August 10, 2022.

Any additional information the Planning Commission deems necessary should be added to this motion.

Attachments:

1. Planned Development Application – Major Amendment and supplemental information dated June 8, 2022.

APPLICATION FOR HEARING

Charter Township of Garfield Planning Commission
Grand Traverse County, Michigan

**Kensington Park PURD Amendment Request
Application Narrative**

Subject Property: Kensington Park PURD - Kensington West Condominium
Zoning District: R-3 Multiple Family, with PURD Overlay

Owner: Kensington West Condo Association
Agent: Community Planning and Land Use Consulting, LLC

Summary of Request:

The application requests an amendment to the Kensington Park Planned Unit Residential Development (PURD) to accommodate expanded building footprints for a number of yet-to-be-built duplex units within the Kensington West Condominium.

The purpose of the request is to allow single-story residences to be built in lieu of presently approved two-story structures, while retaining a similar square footage of living space per unit. In doing so, the building footprint will increase, but the overall square footage of the structures will remain roughly the same.

Specifically, the amendment requests expanded footprints for Buildings 3, 4, 5, 6, 7, 11, 19, 20, and 21. The project density will decrease slightly, as five units would be built along Carson Street to the west of existing Building 2, rather than six as currently approved.

Of note, the Kensington Park PURD includes three separate condominium entities. In addition to Kensington West, the development also includes Carson Square (to the south) and the Kensington Park East Condominium (to the east/northeast). This application affects only certain remaining, unbuilt lots within the Kensington Park West

Condo, in the area bounded by Linden Avenue to the west, Floresta Street to the north, Woodward Avenue to the east, and Carson Street to the south.

Lastly, in a parallel but separate process, the applicant has met with the Planning Department to discuss sidewalk requirements within the development. The applicant has obtained written support from the association to install sidewalks in front of existing homes, and will also construct sidewalks in front of new homes, in order to eventually complete the neighborhood loop.

Applicant's response to standards of approval:

Amendments to an approved Planned Unit Residential Development shall be considered according to the review procedure of §423.G and the review criteria of §427.D(4) of the ordinance.

This report is intended to address those standards, as well as the standards of the PURD amendment application request form. As such, this report addresses, in order:

- Section 423.E Approval Criteria, as required on the application form;
 - Section 427.D(4) General Criteria;
 - Section 425.J(1)(C) - Planned Development / Condominium Act considerations;
- and

§ 423.E APPROVAL CRITERIA

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

- The approved PURD has been deemed compatible with the current master plan and is the remaining phase of the mixed residential development.
- The Master Plan identifies the area as High Density Residential, and the zoning district is R-3 Multiple Family Residential, each of which identifies duplex development as appropriate. Additionally, the Township has approved a PURD for the property including duplex development.

- The subject property is within the Barlow Garfield Neighborhood, a subplan of the Master Plan. The project promotes a number of goals of this subplan, including:
 - Infill development in proximity to the Cherryland Center.
 - Demand for smaller, attached housing units especially for young singles or retired people. In particular, single-story living is of increasing demand for the aging population.
 - Open space / gathering areas to create a sense of community.
 - The overall neighborhood will benefit from investments in sidewalk infrastructure within the project. The project includes construction of sidewalks to meet the intent of the Non-Motorized Transportation Plan.
- The subject property is currently planned, zoned, and approved for two-family residential uses.

The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

- The two-family residential use is an approved phase of the existing mixed residential Kensington Park PURD. The adjacent phases have been constructed and have been deemed compatible with the current duplex phase.
- The development is located in an established neighborhood area with an existing mix of residential structure types, including one-story and two-story residential buildings, and single-family, two-family, and multiple-family dwelling units.

The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

- This nuisance standard does not apply.
- The increase in building footprint of the residential duplex units will not be detrimental or create any nuisance concerns.
- The project includes a slight reduction in density.

- The project location is centered within an existing residential neighborhood of similar or the same uses.

Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

- This standard does not apply.
- There are no adverse effects from changing building sizes of the approved duplex units.
- Each home will retain its own driveway and garage (as is currently approved) in order to accommodate parking.

The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

- The proposed increase in unit size does not negatively affect the natural features of the site.
- The planning commission has determined that the inclusion of an open park area as the general common element of the project meets the intent of this standard.
- The proposed/approved use has not changed.

Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

- Infrastructure and services already exist and will be unaffected by the request to increase the approved building footprint.

The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

- This standard does not apply.
- The use (a two-family residential development) currently exists and is an approved phase of the mixed residential PURD.

The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

- The increase in building footprint will accommodate single-story living and provide affordable housing units in close proximity to amenities and public transportation.
- The request complies with and follows the Master Plan by providing infill development and a mix of housing in the Cherryland area.
- The proposed/approved use has not changed.

Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

- The subject property is an existing residential development project with approved access to existing public roads in an established residential neighborhood.
- All residential units have private access from the public roadway.

Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

- The applicant has incorporated a sidewalk network within the development and in accordance with the zoning ordinance.
- The applicant has met with the Planning Department and Grand Traverse County Road Commission to ensure sidewalk construction in the development is properly located and built to meet the intent of the original and amended PURD approvals.
- The site is served by existing public streets.

The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

- The request is simply to amend an existing number of approved, two-story residential units into single-story residential units. Approval of the request will not impede the orderly development and improvement of surrounding properties.
- A request will complete the project and encourage additional development in the vicinity of the Cherryland Mall.

§ 427.G (4) GENERAL CRITERIA

The PURD is intended to encourage well designed neighborhoods that emphasize safe movement of pedestrian traffic and open areas that encourage active lifestyles and quality of life. The Planning Commission shall determine if the project meets the following standards of approval:

(a) The project is compatible and harmonious with adjacent and surrounding land uses and properties;

- The mixed residential PURD project has been deemed compatible with the adjacent and developed phases of the PURD. In addition, the PURD as whole has been deemed compatible with the single family, two family, and multi-family units adjacent to the project. An increase in building footprint will not change its compatibility.

(b) The project minimizes motorized / non-motorized conflict points and creates a separation of pedestrian and vehicular traffic;

- The project includes proposed sidewalks for existing and proposed units in accordance with the zoning ordinance.

(c) The development consolidates and maximizes useable open space while encouraging neighborhood interaction;

- The application retains an approved park area in the center of the project.

(d) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

- The application retains an approved park space area in the center of the project. This partially wooded, park-like setting encourages community recreation and open space in a public gathering area.

(e) The development is compatible with the intent and purpose of the adopted master plan.

- The approved PURD has been deemed compatible with the current master plan and is the remaining phase of the mixed residential development.
- The Master Plan identifies the area as High Density Residential, and the zoning district is R-3 Multiple Family Residential, each of which identifies duplex development as appropriate.
- The subject property is within the Barlow Garfield Neighborhood, a subplan of the Master Plan. The project promotes a number of goals of this subplan, including:
 - Infill development in proximity to the Cherryland Center.
 - Demand for smaller, attached housing units especially for young singles or retired people. In particular, single-story living is of increasing demand for the aging population.
 - Open park / gathering areas to create a sense of community.
 - The overall neighborhood will benefit from investments in sidewalk infrastructure within the project. The project includes construction of sidewalks to meet the intent of the Non-Motorized Transportation Plan.
- The subject property is currently planned, zoned, and approved for two-family residential uses.

§ 425.J (1)(C) PLANNED DEVELOPMENT CONDOMINIUM CONSIDERATIONS

An amendment for land within a Planned Development which has been subdivided pursuant to the Condominium Act shall also be subject to review in accordance with § 429, Condominium Developments.

- The subject property has been subdivided pursuant to the Condominium Act, and is subject to review in accordance with § 429, *Condominium Developments*.

Conclusion:

The proposed amendment to the Kensington West Planned Unit Residential development is closely aligned with the intent and purpose of the Garfield Township Zoning Ordinance and Master Plan. Thank you for the opportunity to present this project. We look forward to meeting with you.

Enclosed:

Completed Application Form

Owner Authorization Letters

Site Plan



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

PLANNED DEVELOPMENT (PD) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- New Planned Unit Development Application
- New Planned Unit Residential Development Application
- Major Amendment
- Minor Amendment
- Administrative Amendment

PROJECT / DEVELOPMENT NAME

Kensington West Condominium / Kensington Park Planned Unit Residential Development (PURD)

APPLICANT INFORMATION

<i>Name:</i>	Patrick Rokosz & Ryan McCoon
<i>Address:</i>	P.O. Box 5348, Traverse City, MI 49686
<i>Phone Number:</i>	989-239-3315
<i>Email:</i>	Patrick.Rokosz@lmcu.org

AGENT INFORMATION

<i>Name:</i>	Community Planning & Land Use Consulting, LLC
<i>Address:</i>	552 West Center Road, Kingsley, MI 49649
<i>Phone Number:</i>	231-944-3031
<i>Email:</i>	rlarrea@gmail.com / brian@planningmi.com

OWNER INFORMATION

Name:	The Carson Group, LLC
Address:	7748 Peninsula Drive, Traverse City, MI 49686
Phone Number:	231-218-6667
Email:	moonu@charter.net

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	Patrick Rokosz (989) 239-3315
Agent:	Rob Larrea (231) 944-3031
Owner:	Lynne Moon (231) 218-6667

PROPERTY INFORMATION

Property Address:	Kensington West Condominium
Property Identification Number:	Multiple
Legal Description:	Kensington West Condominium
Zoning District:	R-3 Multiple Family
Master Plan Future Land Use Designation:	Multiple Family Residential
Area of Property (acres or square feet):	
Existing Use(s):	Two-family residential
Proposed Use(s):	Two-family residential

PROJECT TIMELINE

Estimated Start Date:	September 1, 2022
Estimated Completion Date:	December 31, 2024

REQUIRED SUBMITTAL ITEMS

A complete application for a Planned Unit Development Application or a Planned Unit Residential Development Application consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Plan:

- Ten complete stapled 11"x17" paper sets (Administrative Amendments require one copy)
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Written Information:

- Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- One digital copy of the Approval Criteria (PDF only)
- Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Director of Planning, a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

- The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;
- The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

1. Planned Unit Developments: A written impact statement of the application as it relates to 426.A and 426.E of the Zoning Ordinance.
2. Planned Unit Residential Developments: A written impact statement of the application as it relates to 427.A and 427.C of the Zoning Ordinance.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>			
If yes, show on plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: Alternate measures must be designed and sealed by a registered Engineer.			
E. <u>Roads and Circulation</u>			
1. Are interior public streets proposed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has Road Commission approved (attach letter)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will public streets connect to adjoining properties or future streets?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Are private roads or interior drives proposed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will private drives connect to adjoining properties service roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Has the Road Commission or MDOT approved curb cuts?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS - PLANNED UNIT DEVELOPMENT - NEW

Preliminary Review and Decision

1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again

review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.

2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
3. Upon holding a public hearing, the Planning Commission shall submit a written recommendation to the Township Board. A public hearing may be held by the Township Board.
4. The Township Board shall approve, approve with conditions, or deny the request for preliminary Planned Unit Development approval.

Final Review and Decision

5. For Final Approval, the Planning Commission shall review and submit a written recommendation to the Township Board. A public hearing shall be held by the Township Board.
6. The Township Board shall approve, approve with conditions, or deny the request for final Planned Unit Development approval.
7. If approved or approved with conditions, the decision of the Township Board shall be incorporated into a written report and decision order.

REVIEW PROCESS – PLANNED UNIT RESIDENTIAL DEVELOPMENT - NEW

Preliminary Review and Decision

1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
3. Upon holding a public hearing, the Planning Commission shall approve, approve with conditions, or deny the request for preliminary Planned Unit Residential Development approval.

Final Review and Decision

4. Final review shall address all conditions imposed by the Planning Commission in the preliminary decision on the planned unit residential development. Submissions for final review and decision shall not be considered until all conditions have been addressed. The Director of Planning or designee shall conduct a completeness review to determine that all conditions of the preliminary decision have been addressed.
5. Once the plans and conditions are deemed substantially complete, the project shall be referred to the Planning Commission for its final review and decision. No application shall be referred to the Planning Commission until this standard has been satisfied. The Planning Commission may hold a public hearing on such application for final review and decision.
6. If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

REVIEW PROCESS – PLANNED DEVELOPMENT – MAJOR AMENDMENT

Any proposed amendment other than those provided for below are considered a major amendment and shall be approved in the same manner and under the same procedures as are applicable to the issuance of the original special use permit approval. Major amendments include but are not necessarily limited to changes that:

1. Increase the number of dwelling units, floor area, height, impervious surface development, or any additional land-use disturbance other than as provided for below;
2. Introduce different land uses than that requested in the application;
3. Request larger land area than indicated in the original application;
4. Request greater relief than that requested in the application;
5. Allow any decrease in buffer or transition areas, reduction in landscaping, reduction of required yards, or any change in the design characteristics or materials used in construction of the structures;
6. Reduce or eliminate conditions attached to a legislative or quasi-judicial development order; or
7. Reduce or eliminate pedestrian circulation.

REVIEW PROCESS – PLANNED DEVELOPMENT – MINOR AMENDMENT

The Planning Commission may authorize the following amendments to an approved development plan without a public hearing:

1. Changes to the timing or phasing of the proposed development, provided that the use and overall geographic land area remains the same and that required public improvements are not delayed.
2. Increases in total building height of greater than five (5) feet provided that maximum height regulations are complied with.
3. Any other proposed amendment which is determined by the Planning Commission to have no detrimental impact on any adjacent property and is not considered or classified a Major Amendment under § 423(6) Major Amendments.

REVIEW PROCESS – PLANNED DEVELOPMENT – ADMINISTRATIVE AMENDMENT

The Director of Planning may authorize the following amendments to an approved site development plan:

1. Shifts in on-site location and changes in size, shape, or configuration of less than 15 percent, or a 15 percent or less change in either impervious surface or floor area over what was originally approved.
2. An increase in total building height of less than five (5) feet, provided that maximum height regulations of the underlying zoning district are met.
3. Minor adjustment of the location of utilities and walkways, provided however that no sidewalks or paths required by the approval authority may be eliminated.
4. The substitution of landscape material provided the substituted materials are of a similar nature and quality and will comply with the standards of § 530, Landscape Materials of Article 5, Development Standards, of this ordinance.
5. Minor revisions to an internal street circulation pattern not increasing the number of lots or lowering the connectivity ratio.

- 6. Minor realignment of ingress and egress locations if required by the Grand Traverse County Road Commission or Michigan Department of Transportation.
- 7. A reduction in the number of proposed lots or the combination of units.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:	See attached
Applicant Signature:	See attached
Agent Signature:	See attached
Date:	

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We See attached _____ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:	See attached
Date:	

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:	See attached
Date:	
Applicant Signature:	See attached
Date:	

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A. Basic Information		
1. Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>
3. Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>
7. A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>
9. Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>
2. Boundary dimensions of natural features		<input type="checkbox"/>
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>
4. Proposed alterations to topography and other natural features		<input type="checkbox"/>
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/>	<input type="checkbox"/>
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>
11. Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>
19. Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>
27. Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>

- 6. Minor realignment of ingress and egress locations if required by the Grand Traverse County Road Commission or Michigan Department of Transportation.
- 7. A reduction in the number of proposed lots or the combination of units.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature: DocuSigned by:
Carson Group, LLC Lynne Moon
7ADD2CA94A51463... 6/8/2022 | 10:59 EDT

Applicant Signature: [Signature] 6/6/22

Agent Signature: R. V. R. R., COMMUNITY PLANNING + LAND USE CONSULTING

Date:

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We The Carson Group, Lynne Moon authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature: DocuSigned by:
Carson Group, LLC Lynne Moon
7ADD2CA94A51463... 6/8/2022 | 10:59 EDT

Date:

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature: DocuSigned by:
Carson Group, LLC Lynne Moon
7ADD2CA94A51463... 6/8/2022 | 10:59 EDT

Date:

Applicant Signature: [Signature] 6/6/22

Date:

OWNER'S AUTHORIZATION LETTER

I/We The Carson Group, LLC Lynne Moon hereby designate Ryan McCoon & Patrick Rokosz
as applicant for the purpose of amendment for PURD,
including authorization to apply for any and all planning and zoning reviews, permitting, etc.,
regarding the application.

Signed:

DocuSigned by:

Carson Group, LLC Lynne Moon

6/6/2022 | 14:36 EDT

Signature: 7ADD2CA94A51463...

Date:

The Carson Group, LLC, Lynne Moon

Print Name:

OWNER'S AUTHORIZATION LETTER

I/We Rebecca Moore hereby designate Ryan McCoon & Patrick Rokosz
as applicant for the purpose of amendment for PURD,
including authorization to apply for any and all planning and zoning reviews, permitting, etc.,
regarding the application.

Signed:

DocuSigned by:

Rebecca Moore

6/6/2022 | 16:36 EDT

Signature: 9D0B979ACE6C4BE...

Date:

Rebecca Moore

Print Name:

From: Patrick Rokosz <Patrick.Rokosz@lmcu.org>
Sent: Tuesday, January 04, 2022 11:43 AM
To: Mark Kwilinski
Cc: Ryan McCoon
Subject: Kensington West

Hello Mark,

- Lynn Moon has hired a consulting firm to work with Garfield Township to resolve the sidewalk issue. Now that the revised subdivision plan is approved, I suspect they will get start dialogue with Garfield Township.
- Once the sidewalk issue is resolved attorney David Rowe will prepare an ammendment to the current master deed to be approved by association members.

Thank you for you cooperation,
Patrick/Ryan

From: Mark Kwilinski <mkwilinski@live.com>
Sent: Tuesday, January 4, 2022 11:30 AM
To: Patrick Rokosz <Patrick.Rokosz@lmcu.org>
Cc: Ryan McCoon <ryan@endurahomes.com>
Subject: RE: Kensington West

WARNING: This email originated outside of LMCU. Do not click links or open attachments unless you know the sender and know the content is safe.

Good morning gentlemen,

Yes, I agree with changing to single story units assuming that the footprint meets the limitations of the lots and the zoning.

I would like to see this as a package including a resolution to the sidewalk issue and either removal from the HOA or a letter of understanding with the HOA.

What's your target date or scheduled meeting to present this to the Planning Commission?

Thanks much,
Mark

From: Patrick Rokosz <Patrick.Rokosz@lmcu.org>
Sent: Tuesday, January 4, 2022 10:08 AM
To: mkwilinski@live.com
Cc: Ryan McCoon <ryan@endurahomes.com>
Subject: Kensington West

Hello Mark,

Please respond to this email with your approval to change your building 6 and building 7 from a two story unit to a single story unit. If we don't hear from you by noon tomorrow we will move forward without making any changes to your buildings/units. Sorry to put a short deadline on this but we have plans to meet with Garfield Township and we need to have a final subdivision plan completed.

Thank you,
Patrick Rokosz
989-239-3315

From: Patrick Rokosz
Sent: Friday, December 17, 2021 12:47 PM
To: 'mkwilinski@live.com' <mkwilinski@live.com>
Cc: Ryan McCoon <ryan@endurahomes.com>
Subject: Kensington West

Hello Mark,

I've tried to reach a few times on your cell. I've attached the revised subdivision print, please review and call me with any questions. Ryan and I would like to sit down with you to discuss the subdivision and building prints. Give me a call when you have a free moment to set up a day and time.

Patrick
989-239-3315

April 14, 2022

To Whom It May Concern,

This letter is to notify you that Kensington West Condominium Association has been made aware and has accepted that there will be sidewalks installed around the four sides of the complex. The financial responsibility to pave sidewalks and make necessary repairs to lawns, sprinkler systems and mailboxes around Carson, Floresta and Linden will be Ryan McCoon and Patrick Rokosz after the successful closing of the vacant lots that they have under contract. The Carson Group and Mary Ann Moore Trust shall bear the financial responsibility of paving Woodward Avenue sidewalk as well as repairs to lawns, sprinkler systems and mailboxes upon the successful closing of the lots that they are selling to Patrick McCoon and Patrick Rokosz.

Please note, we will attend the Garfield Planning board meeting in May of 2022 to approve this action and move forward so the developer of the vacant lots and the purchasers, Patrick Rokosz and Ryan McCoon can complete the condominium project.

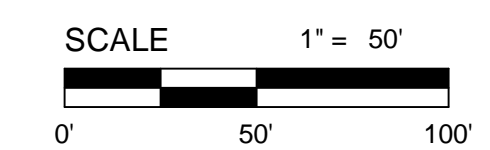
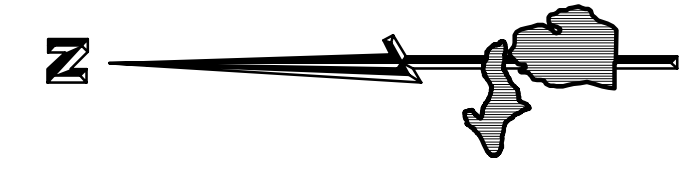
We look forward to having this project up and running and remain positive that it will enhance our already lovely complex.

Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Carolyn (Ketta) Strand".

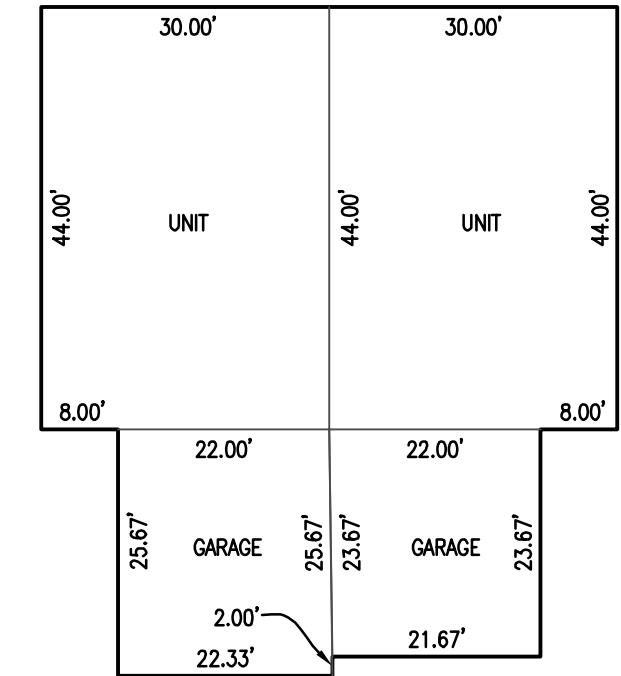
Carolyn (Ketta) Strand



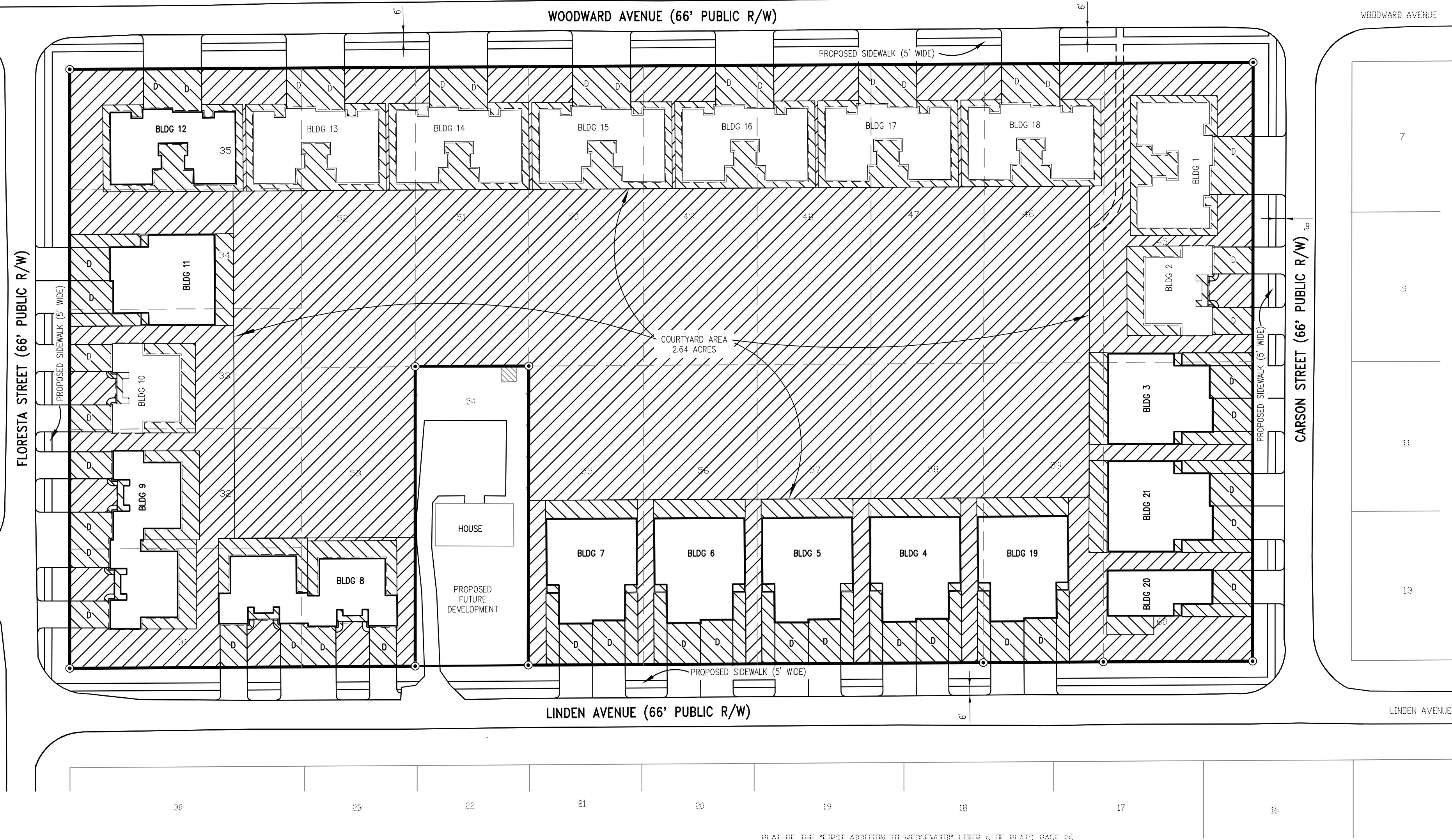
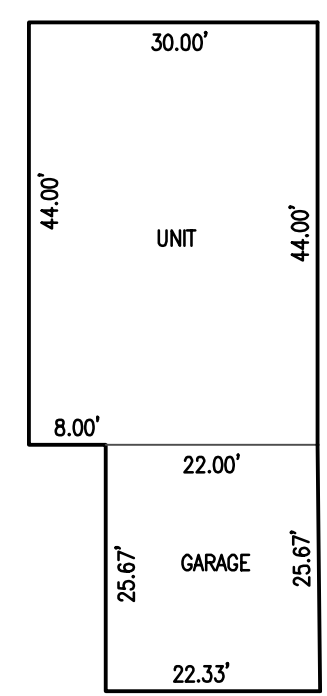
LEGEND

- BOUNDARY MONUMENT
- P.O.B. POINT OF BEGINNING
- ▨ GENERAL COMMON ELEMENT
- ▧ LIMITED COMMON ELEMENT
- D DRIVEWAY

TYPICAL LAYOUT
 BUILDINGS 3, 4, 5, 6, 7, 11, 19 AND 21



TYPICAL LAYOUT
 BUILDING 20



BUILDING AREA CHANGES		
BUILDING	PRIOR PLAN	PROPOSED PLAN
BUILDING 3	6344 SQ.FT.	9349 SQ.FT. (INCLUDING BUILDINGS 20 & 21)
BUILDING 4	2119 SQ.FT.	3726 SQ.FT.
BUILDING 5	2119 SQ.FT.	3726 SQ.FT.
BUILDING 6	2119 SQ.FT.	3726 SQ.FT.
BUILDING 7	2119 SQ.FT.	3726 SQ.FT.
BUILDING 8	4232 SQ.FT.	4232 SQ.FT.
BUILDING 9	4232 SQ.FT.	4232 SQ.FT.
BUILDING 11	2119 SQ.FT.	3726 SQ.FT.
BUILDING 12	3409 SQ.FT.	3409 SQ.FT.
BUILDING 19	3409 SQ.FT.	3726 SQ.FT.

- NOTES:
 THE FOLLOWING DIMENSIONAL CONSTRAINTS HAVE BEEN MAINTAINED WHICH IS CONSISTENT WITH PRIOR APPROVAL AND CURRENT RECORDED CONDOMINIUM DRAWINGS
- SIDE DISTANCE BETWEEN BUILDING OR TO ADJACENT PROPERTY LINE - 12'
 - REAR DISTANCE TO ADJACENT BUILDINGS - 30 FEET WITH THE EXCEPTION OF BUILDINGS 20 AND 21 TO 19 IN WHICH CASE 27'
 - FRONT DISTANCE TO BUILDING - 27'
 - 34% OF THE SITE IS COVERED BY BUILDINGS WHICH IS BELOW THE MAXIMUM OF 35%

No.	Date	Revision	By
3	4/22/2022	MOVED SIDEWALKS	CLK
2	4/19/22	MOVED SIDEWALK ALONG EAST SIDE	CLK
1	3/21/22	ADDED SIDEWALK ALONG EAST SIDE	CJP

**KENSINGTON WEST CONDOMINIUM
 CONCEPTUAL SITE PLAN
 PATRICK ROKOSZ**

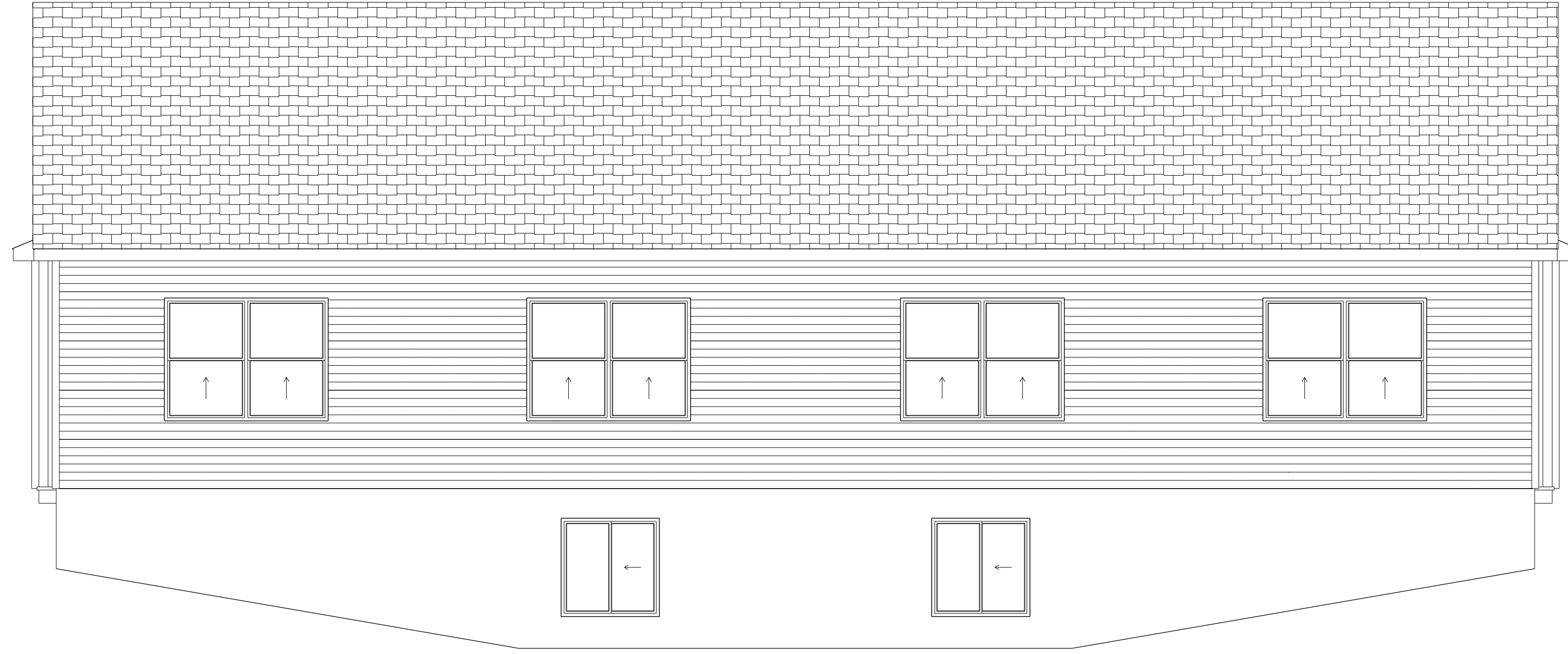
Date Issued: 12/17/2021
 Date Surveyed:
 Designed By:
 Drawn By: CLK
 Checked By: CJP
 Scale: 1"=50'
 Original sheet size is 22x34

Location:
 KENSINGTON WEST CONDOMINIUM
 NW 1/4 OF THE SE 1/4 OF
 SECTION 14, T27N, R11W
 GARFIELD TOWNSHIP
 GRAND TRAVERSE COUNTY

Project Number:
 2021214001.01

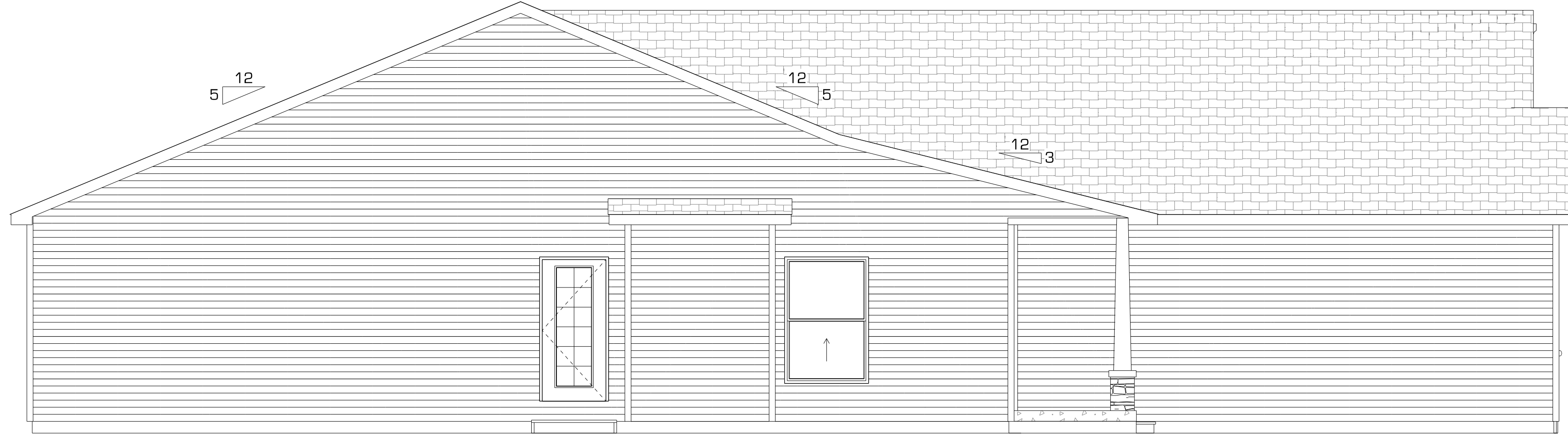


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

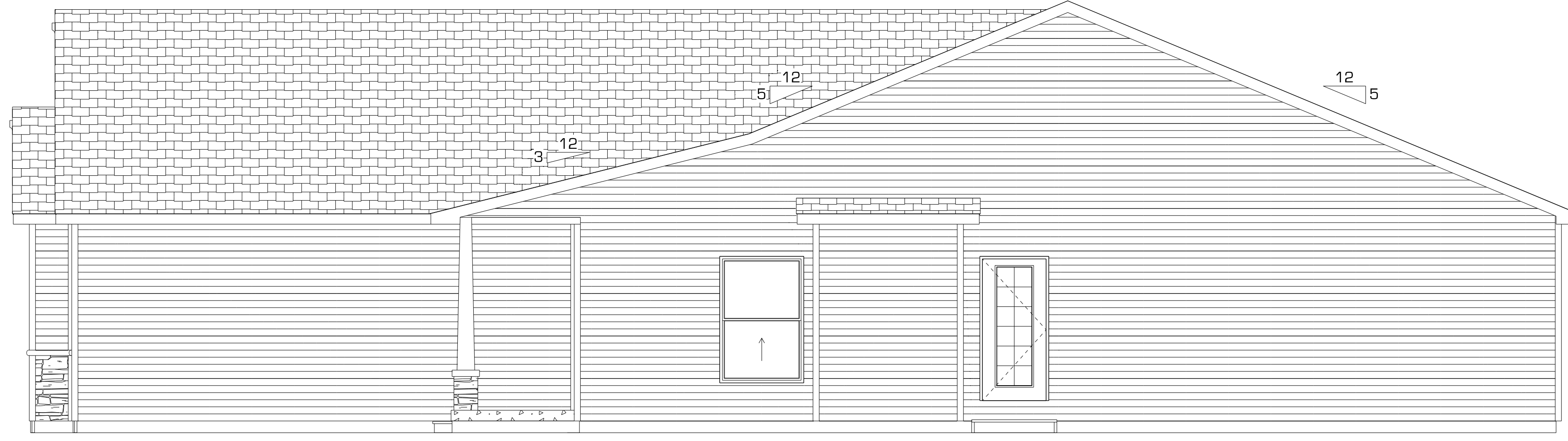


REAR ELEVATION
SCALE: 1/4" = 1'-0"





LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



Designing Perfection is not an architect or engineer and construction from these plans should not be undertaken without the assistance of a construction professional. The purchaser and builder of the plan release Designing Perfection from any claims or lawsuits that may arise during or construction of the project. Designing Perfection is not responsible for the accuracy of these drawings in excess of their original purchase price. Therefore, the builder must carefully inspect all dimensions and details in these drawings and assume responsibility for the same.



Designing Perfection is not an architect or engineer and construction from these plans should not be undertaken without the assistance of a construction professional. The purchaser and builder of the plan release Designing Perfection from any claims or lawsuits that may arise during the construction of the project. Designing Perfection is not responsible for the accuracy of these drawings in excess of their original purchase price. Therefore, the builder must carefully inspect all dimensions and details in these drawings and assume responsibility for the same.

DESIGNING PERFECTION

800 S POSEYVILLE ROAD
MIDLAND, MI 48840
jacobdesigningperfection.net

Patrick Rokosz:
Ryan McCoon

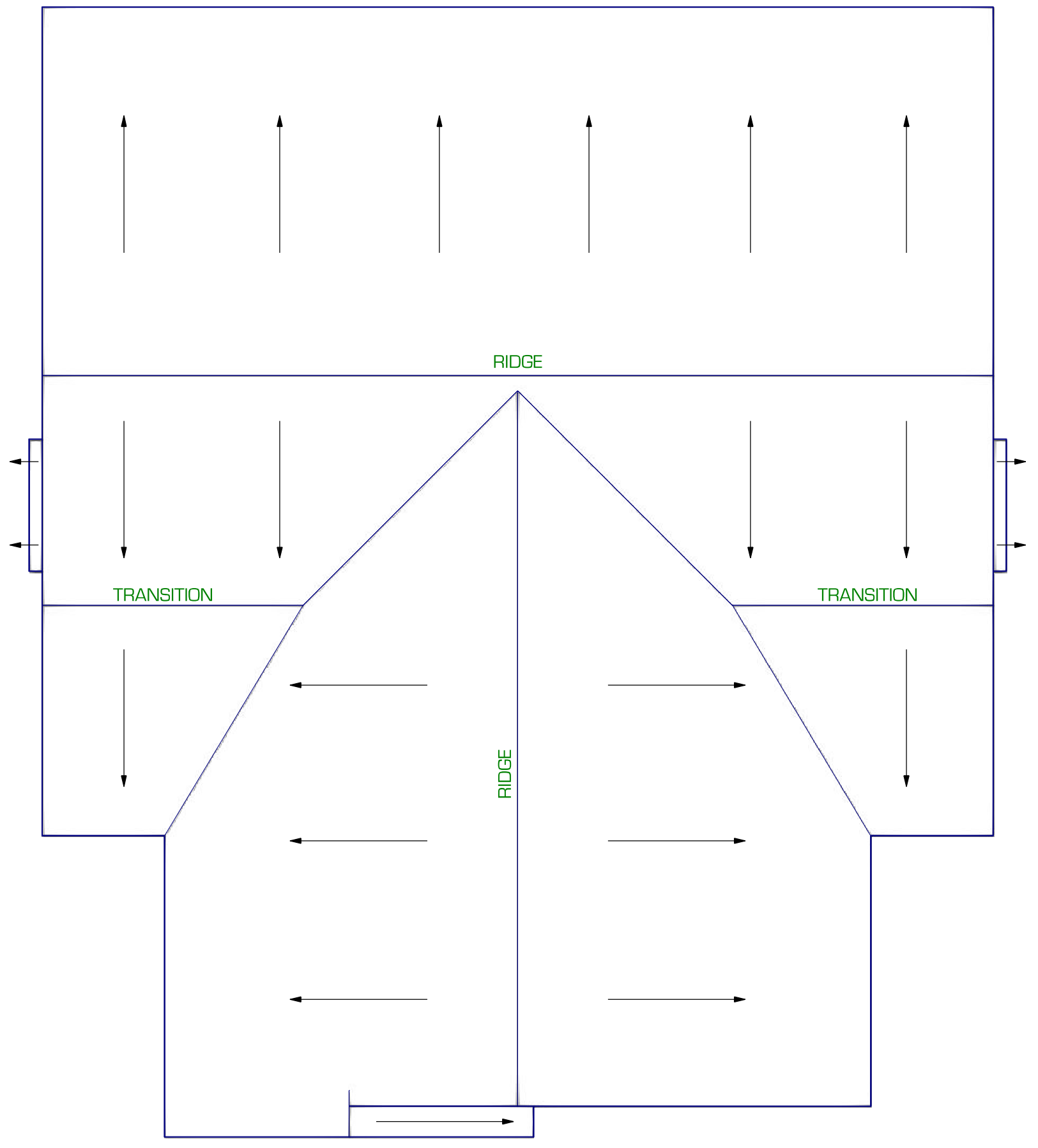
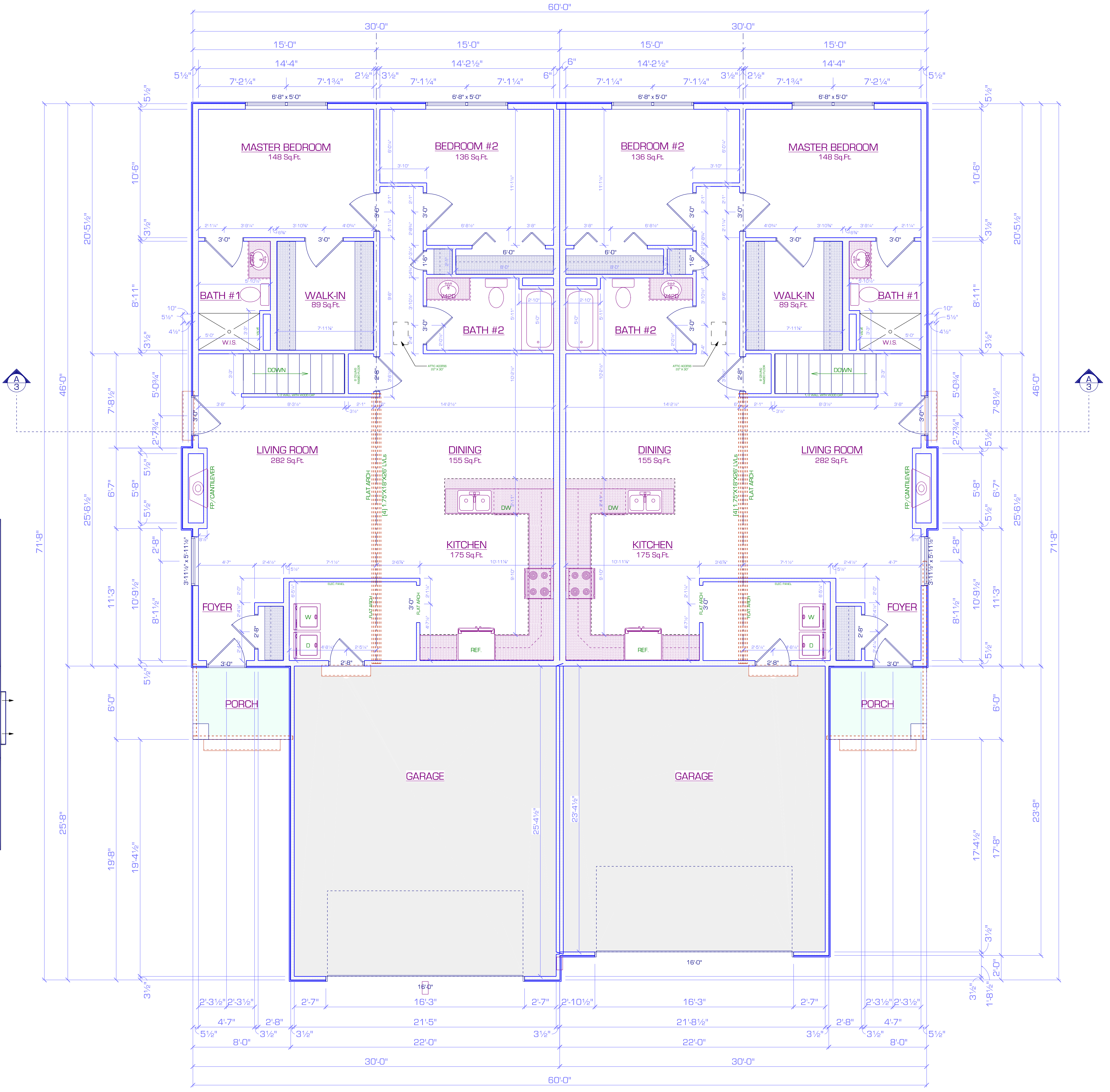
4650 E. Wilder Road
Ray City
MI 48706

SCALE: As Noted
DRAWN BY: JACOB PYLES
DATE: Tuesday, January 11, 2022
APPROVED:


GENERAL NOTES:

1. GABLE OVERHANGS ARE 12" AND EAVES ARE 24"
2. CLOSETS ARE 2'1" DEEP UNLESS NOTED OTHERWISE
3. EXTERIOR WALLS ARE 2X6 STUDS UNLESS NOTED OTHERWISE
4. WALL HEIGHTS ARE 9' 1-1/8" TALL
5. AREA: 1380 SQ.FT. (EACH UNIT), TOTAL: 2760 SQ.FT.
6. ALL INTERIOR WALLS ARE DIMENSIONED FROM STUD TO STUD
7. FIREPLACE WALL DIMENSIONS TO BE VERIFIED AFTER SELECTION IS MADE
8. FIREPLACE AREA TO BE CANTILEVERED WITH FLOOR SYSTEM
9. ALL INTERIOR WALLS ARE 2X4 STUDS UNLESS NOTED OTHERWISE
10. MINIMUM R-19 EXTERIOR WALL INSULATION
11. MINIMUM R-49 LOOSE FILL INSULATION IN ATTIC
12. ALL HEADERS SIZED BY MATERIAL SUPPLIERS

FLOOR PLAN V3
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

 Charter Township of Garfield Planning Department Report No. 2022-64			
Prepared:	July 6, 2022	Pages:	6
Meeting:	July 13, 2022 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Fairfield Inn – Site Plan Review Amendment		
Applicant/Owner:	Traverse Hospitality Three, LLC		
Agent:	Mansfield Land Use Consultants		
File No.	SPR-2022-07		
Parcel No.	05-016-016-80		

PURPOSE OF APPLICATION:

The site is in the C-H Highway Commercial zoning district. Applications for development within the C-H Highway Commercial district shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards.

BACKGROUND:

This site is on US 31 near the intersection with Franke Road, behind the McDonald’s and Lake Michigan Credit Union. The site was approved for a hotel by the Planning Commission at their regular meeting on October 9, 2019, along with another hotel on the site immediately to the south and which is currently under construction. The applicants are proposing some alterations to approved site plan. Hotels are permitted by right in the C-H district. The subject parcel is approximately 3.35 acres.

Zoomed-out aerial image of the subject property (highlighted in blue):



Zoomed-in aerial image of the subject property (highlighted in blue):



SITE DEVELOPMENT REQUIREMENTS:

All sites in the C-H district are subject to the site development requirements in Section 321.D of the Zoning Ordinance, summarized by the following:

(1) General

“Applications for development within the C-H district shall be reviewed by the Planning Commission for compliance with Article 4, § 424 - Site Plans and Article 5 – Development Standards.”

Staff comments on these standards are included in the site design and zoning compliance overview within this report below.

(2) External Access

“All site plan proposals submitted under the requirements of the Highway Commercial District shall provide for the proper handling of traffic on the highway, frontage road, or street giving access to the district. No access by motor vehicles other than stated herein shall be permitted to a minor or residential street. All points of entrance or exit for motor vehicles shall be no closer than fifty (50) feet from the intersection of the right-of-way lines of two streets...”

The main access drive to the site from US 31 is part of a system of two shared drives providing access for six parcels including Lake Michigan Credit Union, the other hotel currently under construction, the urgent care site, and proposed multi-tenant commercial building to the south. This access drive is more than 50 feet from the intersection of US 31 and Franke Road. These access drives have been constructed and the proposed Fairfield Inn site plan amendment would not alter these access drives.

(3) Transition Strips

“A fifty (50) foot wide strip of land shall be provided on any side of a C-H District which abuts a residential or agricultural zone. This strip shall serve as a transition between the subject use and the adjacent property uses, both existing and future. No part of this transition strip shall be used for any of the site functions except that thirty (30) feet thereof may be used for parking area...”

The neighboring parcels to the north, west, and south are all zoned C-H Highway Commercial. The parcel to the east is zoned R-1 One-Family Residential and thus a transition strip is needed. Staff comments on specific landscaping items are included later in this report.

(4) Service Roads

“In order to achieve a well-planned center, the Planning Commission may require access to the business facilities from an interior service road at least twenty-four (24) feet wide which shall be established in order to provide the major means of access to the planned commercial area. The site plan layout shall be such that access to commercial center parking lots shall be from the interior road and not from the major thoroughfare...”

This site is accessed from US 31 via a shared drive system as described above. The proposed Fairfield Inn site plan amendment would not alter these access drives; no further access points onto US 31 are proposed.

SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

Staff offers the following comments regarding site design and compliance with the Zoning Ordinance:

Section 424.F(1) states an “administrative site plan or site development plan shall conform to all provisions of this ordinance and to the following site development standards which shall be reflected on the plan:”

Required Information

Staff provided a completeness review to the applicants on June 22, 2022 asking for further information and clarification on several items. Comments on individual items are included throughout this staff report.

Outside Agencies

The application is subject to additional reviews from several outside agencies, including but not limited to the Township Engineer, Michigan Department of Transportation, and Metro Fire. As the application is for amendments to a previously approved site plan and site layout only, review is needed to confirm that these amendments are compatible with all previous agency approvals.

Essential Facilities and Services

The proposed amendments in this application are not anticipated to have any adverse impacts on highways, streets, police, fire protection, refuse disposal, or schools.

Natural Features

A branch of Kids Creek runs along the east side (back) of the site. Section 535.A states every commercial, industrial, or multi-family residential building shall be set back at least 75 feet from the watermark or the normal stream bank. This setback is maintained on the proposed amended site plan.

Site Design

According to 424.F(1)(e), “All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.” The proposed amendments to the site plan are for mostly some exterior amenities and slight changes in layout. The amended site plan is still anticipated to be compatible with the surrounding properties.

Orientation

The main entrance of the building will face US 31; this is unchanged from the previously approved plan.

Vehicle and Pedestrian Systems

Access to the site will be from the shared drive system which serves this and five other neighboring parcels. The site is part of a cross-access agreement which enables travel between US 31 and all six parcels.

Shared Drives

Access to the site will be from the shared drive system which serves this and five other neighboring parcels. No additional curb cuts to US 31 are proposed as part of this amendment. The proposed amendment has some slight modifications to the sidewalk layout on the site.

Impervious Surfaces

The site plan only proposes minor changes and maintains a similar impervious surface level as to what was originally approved in 2019.

Master Plan

The Future Land Use Map identifies the site as Commercial, thus the development does not conflict with future land use policies. This development also helps fulfill an implementation goal of the Master Plan to encourage and incentivize new and infill development close to the core area of the Township.

Article 5 – Development Standards

Dumpster Enclosures

A trash enclosure is proposed at the back of the parking lot in the northeast corner of the site. Section 516 indicates that enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. The gate shall be wood or similar opaque material, but not chain link with plastic or vinyl slats. The enclosure shall be at least 6 feet tall. Details of the dumpster enclosure were not included. The applicant should note if there are no changes proposed for the previously approved dumpster enclosure.

Lighting

A lighting plan including photometric plan was reviewed in 2019 as part of the site plan review for this and the now under-construction Tru Hotel site. No changes to the lighting plan were indicated in the application for this amendment, but the applicant should clarify if the proposed site plan changes will affect any of the previously approved lighting.

Landscaping

Landscaping requirements are described by the following for each length of greenspace area (e.g., without including ingress and egress drives) for each lot line and the parking lot interior area:

Lot Line (Length)	Adjacent Land Use	Buffer Planting Requirement	Amount Required	Amount Provided
East (300 ft.)	Institutional	Type “C” * Ground cover as specified in Section 530.J, plus * 3 large trees, 3 medium or small trees, and 1 evergreen or coniferous trees per 100 linear feet of greenspace area * Minimum width: 10 feet	9 large trees 9 med./small trees 3 evergreen trees 10-foot width	16 large trees 12 med./small trees 12 evergreen trees 20-foot width+

<i>Lot Line (Length)</i>	<i>Adjacent Land Use</i>	<i>Buffer Planting Requirement</i>	<i>Amount Required</i>	<i>Amount Provided</i>
North (350 ft.)	Commercial	Type “B” * Ground cover as specified in Section 530.J, plus * 2 large trees, 1 medium or small tree, and 4 shrubs per 100 linear feet of greenspace area * Minimum width: 10 feet	7 large trees 4 med./small trees 14 shrubs 10-foot width	10 large trees 5 med./small trees 27 shrubs 10-foot width
West (250 ft.)			5 large trees 3 med./small tree 10 shrubs 10-foot width	10 large trees 5 med./small trees 25 shrubs 20-foot width+
South (300 ft.)			6 large trees 3 med./small trees 12 shrubs 10-foot width	12 large trees 6 med./small trees 24 shrubs 10-foot width

A branch of Kids Creek runs along the eastern portion of the site. According to Section 535.C, a vegetated buffer strip shall parallel and extend 35 feet inland from all points along the water mark of a lake-stream shoreline or normal stream bank which shall consist of native trees, shrubs, and other vegetation. The site plan shows the required setback from the creek of 75 feet for structures and 50 feet for access drives and stormwater infrastructure. Nothing besides landscaping is proposed for this area.

Also, all parking areas with 2 or more parking aisles shall require interior landscaped areas of at least 10 square feet for each parking space. Each interior landscape area shall include 1 or more canopy trees per each 100 square feet of interior landscaping area. There are 107 parking spaces requiring 1,070 square feet of landscaping area. The site plan indicates that 1,100 square feet of interior parking lot landscaping area and 12 tulip trees will be provided. The previous approval from 2019 showed 20 tulip trees for the parking lot area. The interior parking lot landscaping requirements appear to be met.

Parking, Loading, and Snow Storage

The parking minimum requirements for hotels are 1 for each sleeping unit plus 1 for each employee on the largest shift, with a maximum of 1.5 per sleeping unit. The hotel will have 92 rooms and have assumed 6 employees on the largest shift, requiring 98 parking spaces. The site plan shows 107 parking spaces being proposed, which is the same as what was approved in 2019. There are 5 barrier-free spaces with access to the main building entrance. Minimum dimensions for regular parking spaces are 9 feet by 20 feet, which are indicated on the site plan.

Bicycle parking is required at the rate of 2 bicycle spaces per 25 motor vehicle spaces. A set of 5 bicycle racks are proposed providing parking for 10 bicycles.

For buildings at least 2,000 square feet up to 12,500 square feet of gross floor area, the site shall have one small loading space at least 10 feet wide by 20 feet long. A 12-foot by 25-foot loading zone is shown in the northeast corner of the site next to the dumpster enclosure.

As required by Section 551 of the Ordinance, a ratio of ten (10) square feet of snow storage is required per one hundred (100) square feet of parking area. The site plan indicates 40,140 square feet of parking space and maneuvering lane area and 4,014 square feet of snow storage required. The plan indicates 4,155 square feet of snow storage will be provided. Snow storage areas are shown along the back parking lot on the east side of the site.

Signs

Signs require sign permit review and are not approved under the site plan review process.

RECOMMENDATION:

For this application and any other within the Highway Commercial (C-H) district, the Planning Commission is the final approval authority. Following an opportunity for applicant presentation, public comment, and Planning Commission discussion, if the Commission is supportive of the application, the following motion in support of approval is offered for consideration:

MOTION THAT application SPR-2022-07, submitted by Traverse Hospitality Three, LLC, for an amendment to a site plan for a hotel on parcel 05-016-016-80, BE APPROVED, subject to the following conditions:

1. Clarify that other than changes applied for in this amendment, all aspects of the previous approval remain valid, including the dumpster enclosure and lighting.
2. All agency reviews, including stormwater and utility review by the Township Engineer, shall be received, and deemed compliant prior to issuing a Land Use Permit or Building Permit.

Additional information deemed necessary by the Planning Commission should be added to the motion.

Attachments:

1. Site Plan Review Application – dated June 7, 2022.
2. Site Plan Set – latest revision June 6, 2022.
3. Elevations and Renderings – dated June 7, 2022.



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SITE PLAN REVIEW (SPR) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- Site Diagram Review
- Administrative Site Plan Review
- Site Development Plan Review

PROJECT / DEVELOPMENT NAME

Fairfield Hotel

APPLICANT INFORMATION

Name: Traverse Hospitality Three, LLC
Address: 2758 W. Woodland Dr., Traverse City, MI 49685
Phone Number: 231-922-7900
Email: fritz.heller@nmhmhotels.com

AGENT INFORMATION

Name: Mansfield Land Use Consultants
Address: PO Box 4015, Traverse City, MI 49685
Phone Number: 231-946-9310
Email: dusty@maaeps.com

OWNER INFORMATION

Name: Traverse Hospitality Three, LLC
Address: 2758 W. Woodland Dr., Traverse City, MI 49685
Phone Number: 231-922-7900
Email: fritz.heller@nmhmhotels.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	
Agent:	Mansfield Land Use Consultants - Dusty Christensen
Owner:	

PROPERTY INFORMATION

Property Address:	3654 N. US-31 South, Traverse City, MI 49684
Property Identification Number:	28-05-016-016-80
Legal Description:	See attached plans
Zoning District:	C-H Commercial - Highway
Master Plan Future Land Use Designation:	Commercial
Area of Property (acres or square feet):	3.35 Acres
Existing Use(s):	Vacant (parking lot)
Proposed Use(s):	Hotel

PROJECT TIMELINE

Estimated Start Date:	10/1/22
Estimated Completion Date:	11/1/23

REQUIRED SUBMITTAL ITEMS

A complete application for a Site Plan Review consists of the following:

Application Form:

- One original signed application
- One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Diagram Review:

- Two complete stapled 11"x17" paper sets
- One digital set (PDF only)

Administrative Site Plan:

- Two complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Site Development Plan:

- Ten complete stapled 11"x17" paper sets
- Two complete bound 24"x36" paper sets
- One digital set (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Diagram (SD), Administrative Site Plan (ASP), or Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

An administrative site plan or site development plan shall conform to all provisions of the Zoning Ordinance and to the following site development standards which shall be reflected on the plan:

1. Required Information. All required information shall be provided.
2. Outside Agencies. All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.
3. Essential Facilities and Services. Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
4. Natural Features. Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.
5. Site Design. All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.
6. Orientation. Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
7. Vehicle and Pedestrian Systems. The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
8. Shared Drives. Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
9. Impervious Surfaces. The amount of impervious surface has been limited on the site to the extent practical.
10. Master Plan. The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

<u>A. Sanitary Sewer Service</u>	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

B. Water Service

- | | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. Does project require extension of public water main? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If yes, has a Utility Agreement been prepared? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Will a community water supply be installed? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has a Utility Agreement been prepared? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, provide construction plans and specifications | | | |

C. Public utility easements required?

 If yes, show on plan.

- | | | |
|-------------------------------------|--------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|-------------------------------------|--------------------------|--------------------------|

D. Stormwater Review/Soil Erosion

- | | | | |
|--|--------------------------|-------------------------------------|-------------------------------------|
| 1. Soil Erosion Plans approved by Soil Erosion Office? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter. | | | |
| If no, are alternate measures shown? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Stormwater Plans approved by Township Engineer? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter. | | | |
| If no, are alternate measures shown? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

 Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

- | | | | |
|---|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. Are interior public streets proposed? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are private roads or interior drives proposed? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, attach approved permit. | | | |

OTHER INFORMATION



If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review.
- The Planning Commission may approve, approve with conditions, or deny the application.

PERMISSION TO ENTER SUBJECT PROPERTY


Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature: 
Applicant Signature: 
Agent Signature:
Date: 6/7/2022

OWNER'S AUTHORIZATION



If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature: 
Date: 6/7/2022

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature: 
Date: 6/7/2022
Applicant Signature: 
Date: 6/7/2022

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)	SD	ASP/ SDP
A. Basic Information		
1. Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>
3. Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>
7. A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>
9. Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>
B. Site Plan Information		
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>
2. Boundary dimensions of natural features		<input type="checkbox"/>
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>
4. Proposed alterations to topography and other natural features		<input type="checkbox"/>
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input type="checkbox"/>
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>
11. Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>
19. Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>
27. Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

ESCROW AND REVIEW (ER) APPLICATION

PROJECT / DEVELOPMENT NAME

APPLICANT INFORMATION

Name:

Address:

Phone Number:

Email:

Note: It is the responsibility of the Applicant to maintain up to date contact information with the Township. If the information is not updated, a refund of the escrow may be delayed or not possible.

PROPERTY INFORMATION

Project Name:

Address:

Parcel:

Current Use:

Proposed Use:

TYPE OF REVIEW:

- Water/Sewer
- Stormwater
- Private Road
- Traffic Impact Study
- Legal
- Other review: _____

REQUIRED ESCROW AMOUNT:

- To be determined by Township Engineer
- \$2,000
- \$1,000
- \$1,000
- To be determined by Township Attorney
- To be determined

DEVELOPMENT ON PROPERTY

Area (sq. ft.) Currently Developed:

Area (sq. ft.) to be Developed:

Note: Developed means any area of the property that is not in a natural state, including all asphalt, concrete, and land covered by structure/roof.

ADDITIONAL SUBMITTAL REQUIREMENTS FOR STORMWATER REVIEW

Site Plan, including the following:

- Stormwater calculations
- Drainage arrows
- Soil information
- Signed and sealed by licensed Engineer

SUBMITTAL INFORMATION:




- Complete, signed application form
- Escrow check (Escrow checks shall be made payable to "Charter Township of Garfield")
- Site Plan and supporting documents (for Water/Sewer, Stormwater, and Private Roads)
- Traffic Impact Report documents (for Traffic Impact Study)
- Other information as required by the Township:

Submit to:

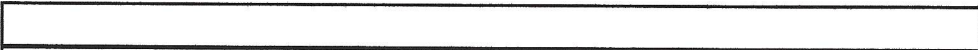
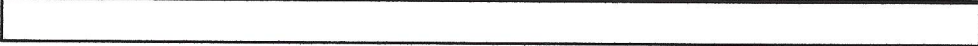
Township Escrow Coordinator
Charter Township of Garfield
3848 Veterans Drive
Traverse City, Michigan 49684

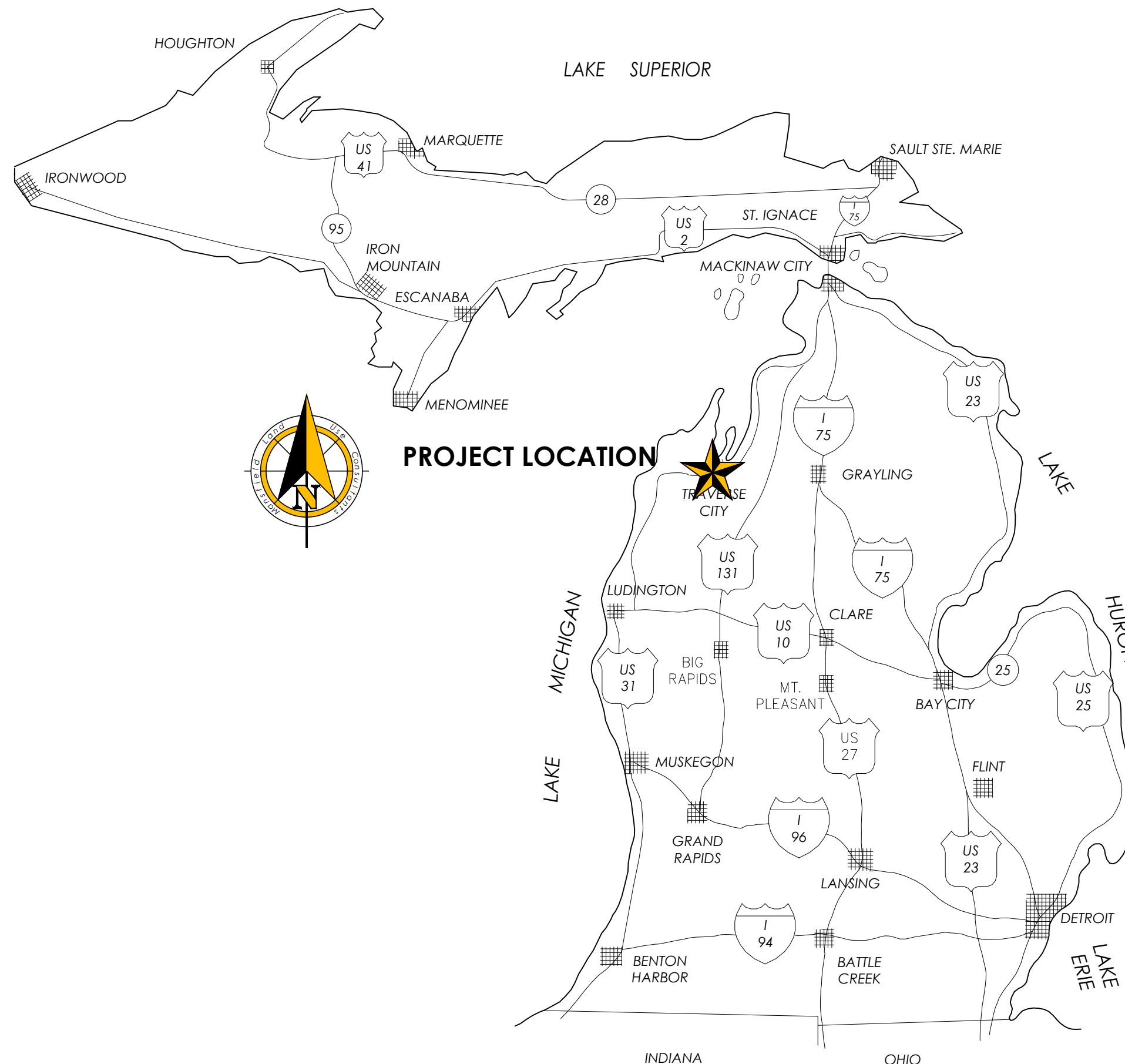
AFFIDAVIT:

The undersigned affirms that he/she is the owner, or authorized agent of the owner, involved in the application and that the answers and statements herein contained, and the information submitted are in all respects true and correct.

Applicant Signature: 
Applicant Name: 
Date: 

-- FOR OFFICE USE ONLY

Township Project Contact: 
Escrow Account: 



MICHIGAN LOCATION MAP

PUBLIC AGENCIES AND UTILITIES

GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW)

Manager: John Divozo
 Address: 2650 Laframier Rd., Traverse City, MI 49686
 Telephone: 231-995-6039

GRAND TRAVERSE COUNTY ROAD COMMISSION

Manager: Brad Kluczynski
 Address: 1881 Laframier Rd., Traverse City, MI 49686
 Telephone: 231-922-4848

GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL

Supervisor: Dan Thorell
 Address: 2650 Laframier Rd., Traverse City, MI 49686
 Telephone: 231-995-6042

GARFIELD TOWNSHIP STORM WATER CONTROL ORDINANCE

Supervisor: John Sych
 Address: 3848 Veterans Dr., Traverse City, MI 49684
 Telephone: 231-941-1620

CHERRYLAND ELECTRIC COOPERATIVE (ELEC.)

Engineer: Frank Sejpkar
 Address: 5930 US-31 S., Traverse City, MI 49684
 Telephone: 231-486-9220

CONSUMERS ENERGY (ELEC.)

Engineer: Chuck Walkonis
 Address: 821 Hastings St., Traverse City, MI 49686
 Telephone: 231-929-6228

DTE ENERGY (GAS)

Manager: Sandra O'Neil
 Address: 700 Hammond Rd., Traverse City, MI 49686
 Telephone: 231-932-2829

MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T.)

Engineer: Rick Liptak, P.E.
 Address: 2084 US-31 S., Traverse City, MI 49684
 Telephone: 231-941-1986

CHARTER COMMUNICATIONS (T.V.)

Manager: Rob Nowak
 Address: 701 S. Airport Rd., Traverse City, MI 49686
 Telephone: 231-941-3766

POLICE AGENCIES

Emergencies: 911
 Michigan State Police: 231-946-4646
 Grand Traverse Co. Sheriff: 231-995-5001
 Garfield Twp. Police Officer: 231-941-9222

FIRE DEPARTMENTS

Emergencies: 911
 Grand Traverse Metro: 231-947-3000
 Grand Traverse Rural: 231-943-9721
 Garfield Twp.: 231-941-7682

STANDARD PLAN LEGEND

DESCRIPTION	EXISTING	PROPOSED
GROUND CONTOUR	--- 605 ---	--- 613 ---
SPOT ELEVATION	613.2	704.33
CONTOUR FROM USGS TOPOGRAPHIC MAP	~ ~ ~	~ ~ ~
TOP OF CURB ELEVATION	+ 613.5	704.33
PAVEMENT (OR GUTTER FLOW LINE) ELEVATION	613.0	704.00
DIRECTION OF SURFACE FLOW	→	←
DRAINAGE HIGH POINT		H.P.
DRAINAGE LOW POINT		L.P.
WATER MAIN	— W —	— W —
SANITARY FORCE MAIN	— FM —	— FM —
SANITARY SEWER	— S —	— S —
STORM SEWER	— ST —	— ST —
GAS MAIN	— GAS —	— GAS —
OVERHEAD ELECTRIC	— OHE —	— OHE —
PROPERTY LINE	— P —	— P —
TREE LINE	~ ~ ~	~ ~ ~
PINE LINE	~ ~ ~	~ ~ ~
EDGE OF WETLAND	~ ~ ~	~ ~ ~
EDGE OF WATER	~ ~ ~	~ ~ ~
C/L OR DRAINAGE DITCH OR WATER LINE	— C —	— C —
SILT FENCE	~ ~ ~	~ ~ ~
DETENTION BASIN BERM	~ ~ ~	~ ~ ~
MANHOLE (MH)	○	●
CATCH BASIN (CB)	⊗	⊗
CLEAN OUT (CO)	⊗	⊗
RISER	⊕	⊕
GATE VALVE	⊕	⊕
FIRE HYDRANT ASSEMBLY	⊕	⊕
CURB STOP & BOX	⊕	⊕
POLE, POWER OR ELECTRIC	⊕	⊕
LIGHT POLE	⊕	⊕
SIGN	⊕	⊕
BENCH MARK (BM)	⊕	⊕
U/G UTILITY SIGN	⊕	⊕
GUY ANCHOR	⊕	⊕
SOIL EROSION CONTROL MEASURE (MICHIGAN UNIFIED KEYING SYSTEM) P=PERMANENT T=TEMPORARY	⊕	⊕
IRON FOUND / IRON SET	○	○
CONCRETE MONUMENT	○	○
GOVERNMENT CORNER	⊕	⊕
NAIL FOUND / NAIL SET	⊕	⊕
RECORD / MEASURED	(R)	(M)
FENCE	— X —	— X —
WOOD STAKE	⊕	⊕

PROJECT DATA:

Developer: Traverse Hospitality Three, LLC
 Address: 2758 W. Woodland Drive
 Traverse City, MI 49686
 Contact: Fritz Heller
 Phone: 231-590-0864
 Email: fritz.heller@nmhmotels.com
 Owner: Traverse Hospitality Three, LLC
 2758 W. Woodland Drive
 Traverse City, MI 49685

SITE DATA:

Location: 3654 N. US-31 South
 Tax ID: 28-05-016-016-80
 Zoning District: C-H. Highway Commercial

PARCEL DESCRIPTION:

RESULTING PARCEL 3

Part of the southwest quarter of the northeast quarter, Section 16, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, more fully described as follows:

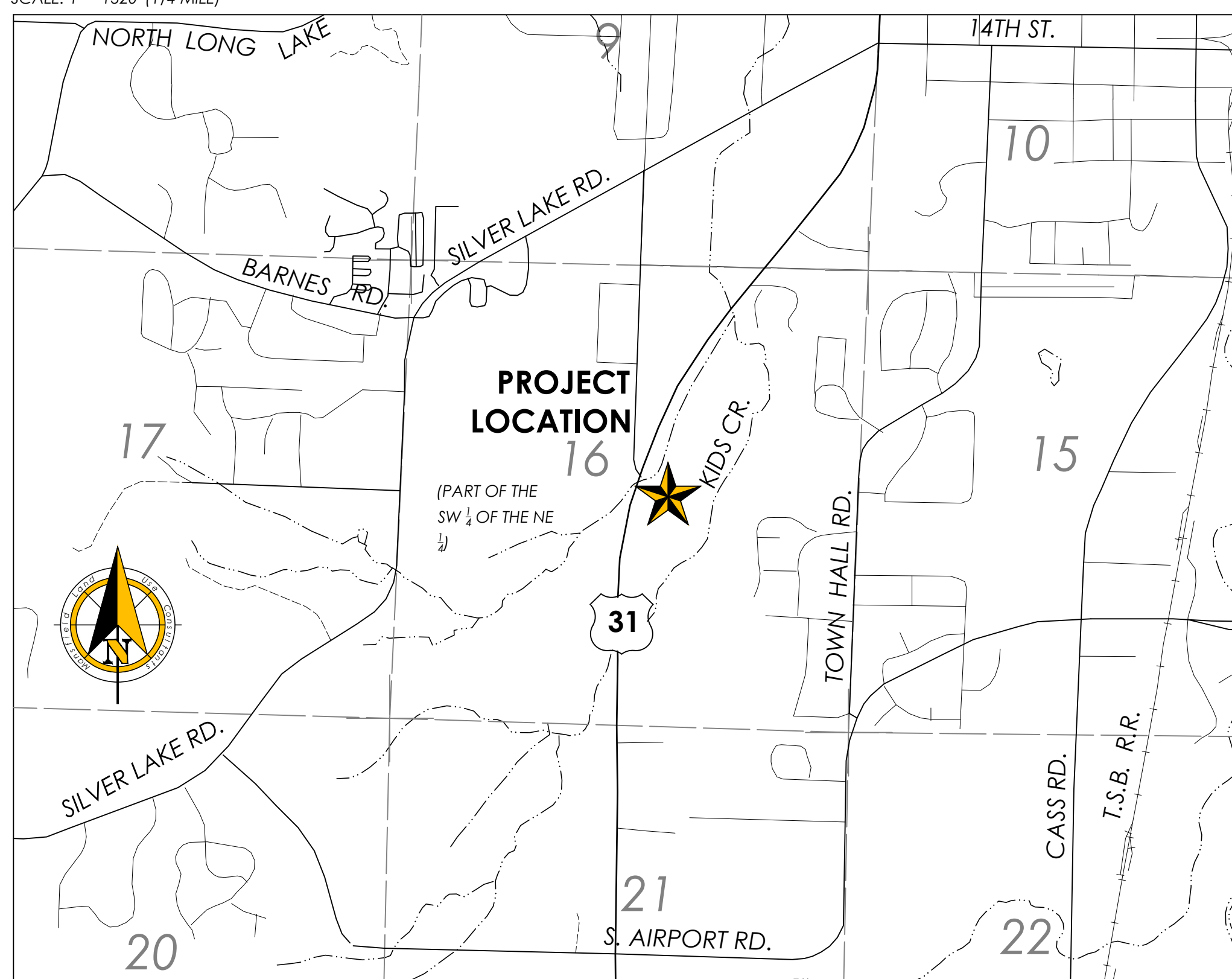
Commencing at the northeast corner of said Section 16; thence South 89°51'53" West, 1317.32 feet along the north line of said section; thence South 01°43'36" West, 1767.95 feet along the east 1/8 of said section to the POINT OF BEGINNING; thence South 01°43'36" West, 306.86 feet along said east 1/8 line; thence North 89°58'43" West, 254.57 feet; thence North 54°42'33" West, 58.79 feet; thence North 89°58'43" West, 196.60 feet; thence North 01°42'17" East, 272.75 feet; thence South 89°59'41" East, 500.28 feet to the POINT OF BEGINNING.

Subject to and together with a variable width easement for ingress and egress in part of the southwest quarter of the northeast quarter, Section 16, Town 27 North, Range 11 West, Garfield Township, Grand Traverse County, Michigan, more fully described as follows:

Commencing at the northeast corner of said Section 16; thence South 89°51'53" West, 1317.32 feet along the north line of said section; thence South 01°43'36" West, 2367.97 feet along the east 1/8 line of said section; thence North 89°58'19" West, 1056.21 feet to a point on the easterly right-of-way for Highway U.S.-31 and M-37; thence Northeasterly, 138.75 feet along the arc of a 5604.65 foot radius curve to the right, the long chord of which bears North 18°17'35" East, 138.75 feet to the POINT OF BEGINNING; thence North 79°51'14" East, 84.95 feet; thence South 89°56'21" East, 87.35 feet; thence South 00°09'06" West, 4.63 feet; thence South 89°27'17" East, 13.99 feet; thence North 89°45'48" East, 128.18 feet; thence North 89°26'36" East, 42.21 feet to a point on an existing building; thence North 00°00'00" East, 0.71 feet along said building; thence North 89°41'18" East, 2.56 feet along said building; thence South 01°46'51" East, 0.75 feet along said building; thence North 89°55'11" East, 43.23 feet along said building; thence North 89°59'24" East, 78.61 feet; thence South 87°44'20" East, 40.37 feet; thence South 89°56'21" East, 41.48 feet; thence North 00°19'40" West, 50.49 feet; thence Northeasterly, 15.23 feet along a 24.50 foot radius curve to the right, the long chord of which bears North 17°28'53" East, 14.99 feet; thence North 35°17'27" East, 30.04 feet; thence Northeasterly, 36.55 feet along a 59.50 foot radius curve to the left, the long chord of which bears North 17°41'35" East, 35.98 feet; thence North 00°05'44" East, 334.48 feet; thence North 89°59'41" West, 64.17 feet to a point on an existing ingress & egress easement as recorded in Liber 1158, Page 065, Grand Traverse County Register of Deeds; thence South 01°42'17" West, 30.01 feet along the easterly line of said recorded easement; thence South 89°59'41" East, 21.26 feet; thence Southeasterly, 36.23 feet along the arc of a 33.50 foot radius curve to the right, the long chord of which bears South 30°53'10" East, 34.49 feet; thence South 00°05'44" West, 274.85 feet; thence Southwesterly, 20.58 feet along the arc of a 33.50 foot radius curve to the right, the long chord of which bears South 17°41'35" West, 20.26 feet; thence South 35°17'27" West, 30.04 feet; thence Southwesterly, 28.43 feet along the arc of a 50.50 foot radius curve to the left, the long chord of which bears South 19°09'50" West, 28.05 feet; thence Southwesterly, 35.69 feet along the arc of a 23.50 foot radius curve to the right, the long chord of which bears South 46°32'56" West, 32.36 feet; thence North 89°56'21" West, 313.59 feet; thence North 76°34'28" West, 17.30 feet; thence North 89°56'21" West, 100.48 feet; thence South 79°48'37" West, 50.25 feet; thence North 84°38'34" West, 18.42 feet to a point on the Easterly right-of-way for Highway M-37 and U.S.-31; thence Southwesterly, 40.02 feet along the arc of a 5604.65 foot radius curve to the left, the long chord of which bears South 19°12'25" West, 40.02 feet to the POINT OF BEGINNING of said easement.

VICINITY MAP

SCALE: 1" = 1320' (1/4 MILE)



PLAN INDEX

- C1.0 COVER SHEET
- C1.1 NOTE SHEET
- C1.2 CIVIL DETAILS - SITE
- C1.3 CIVIL DETAILS - WATER
- C1.4 CIVIL DETAILS - SANITARY
- C1.5 CIVIL DETAILS - STORM
- C2.0 EXISTING CONDITIONS
- C2.1 DEMOLITION PLAN
- C3.0 SOIL EROSION & SEDIMENTATION CONTROL PLAN
- C4.0 OVERALL SITE PLAN
- C4.1 SITE & DIMENSION PLAN
- C5.1 GRADING & STORM PLAN - NORTH
- C6.0 UTILITY PLAN
- C6.1 PLAN & PROFILE - WATER MAIN EXTENSION
- L1.0 LANDSCAPE PLAN

PROJECT STANDARD SPECIFICATIONS - WATER MAIN
 Grand Traverse County Standard Technical Specifications and Construction Details 2017, Adopted on September 26, 2017 (as amended).

PROPOSED FAIRFIELD INN

Garfield Township, Grand Traverse County, Michigan

830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9510
 www.mansfield.com
 info@mansfield.com

Mansfield
 Land Use Consultants

North Michigan Hospitality Management
 Proposed Hotel
 COVER SHEET

Section 16, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

DATE: 06.06.22
 DRAWN BY: dmc
 CHECKED BY: dmc
 CREATED BY: dmc

JOB NO.: 22064

C1.0

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GENERAL CONSTRUCTION NOTES:

1. MISS DIG

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 811 or 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

2. EXISTING UTILITIES

EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND "MISS DIG" AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT IS PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. PROTECTING UTILITIES

SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED, ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY.

4. SAFETY

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

5. SOIL EROSION & SEDIMENTATION CONTROL

THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. THE SOIL EROSION MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION. IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT, NO EXCAVATION WORK MAY PROCEED UNTIL THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. ALL WORK MUST BE IN ACCORDANCE WITH THE APPROVED PERMIT FROM THE GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL OFFICE.

6. PROPERTY CORNERS

EXISTING KNOWN PROPERTY CORNERS ARE IDENTIFIED ON THE PLANS. IF A PROPERTY CORNER IS DISTURBED DURING CONSTRUCTION IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A PROFESSIONAL LAND SURVEYOR.

7. SURVEY DATUM

ALL ELEVATIONS ARE BASED ON N.A.V.D., 1988, UNLESS OTHERWISE SPECIFIED.

8. RESTORATION WORK

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED. MULCH BLANKET SHALL BE INSTALLED IN AREAS AS DESIGNATED AND SHALL BE INCIDENTAL TO OTHER ITEMS. ALL EXCESS TOPSOIL WILL REMAIN WITHIN THE PROPERTY OWNER'S AREA. THE CONTRACTOR SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AT NO ADDITIONAL COST TO THE OWNER.

9. REMOVAL ITEMS

THE CONTRACTOR SHALL RESTORE ALL LAWNS, LANDSCAPE PLANTINGS, SIDEWALKS, COMMERCIAL SIGNS, ETC., AS REQUIRED, UNLESS SPECIFICALLY NOTED FOR REMOVAL ON THE PLANS. ALL SIDEWALKS, DRIVES, CULVERTS, DRAINAGE STRUCTURES, ABOVE GRADE UTILITIES, IRRIGATION SYSTEM, ETC. SHALL BE PROTECTED. ALL SUCH ITEMS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

10. CONSTRUCTION SIGNAGE & TRAFFIC CONTROL

LOCAL TRAFFIC AND CONSTRUCTION SIGNAGE SHALL BE MAINTAINED AT ALL TIMES TO THE SATISFACTION OF THE OWNER.

11. DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST ON THIS PROJECT THROUGH THE USE OF WATER TRUCKS OR DUST PALLIATIVE. PAYMENT FOR DUST CONTROL SHALL BE INCLUDED IN THE LUMP SUM CONTRACT AND SHALL NOT BE PAID SEPARATELY. DUST SHALL BE CONTINUOUSLY CONTROLLED TO THE SATISFACTION OF THE OWNER.

12. PROTECTIVE FENCE

THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN A TEMPORARY PROTECTIVE SNOW FENCE AROUND ALL OPEN TRENCH EXCAVATIONS THAT ARE LEFT OPEN OVERNIGHT OR ANY OTHER UNSAFE AREAS ON SITE THAT REQUIRE PUBLIC PROTECTION.

13. EXCESS MATERIALS

ALL EXCESS MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF OF THE SITE UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER. ALL REMOVALS AND TRANSPORTATION OF THE REMOVED MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL LOCAL, STATE AND FEDERAL LAWS.

14. SAWCUTTING PAVEMENT

SAWCUT EXISTING PAVEMENT FULL DEPTH TO THE LIMITS OF CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. IF THE EDGE IS DAMAGED SUBSEQUENT TO SAWCUTTING, THE EDGE SHALL BE RECUT AT NO ADDITIONAL COST TO THE OWNER.

15. DEWATERING

ANY REQUIRED DEWATERING FOR SITE WORK, INCLUDING THE USE OF STONE OR GRAVEL FOR DEWATERING PURPOSES, WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.

16. UTILITY SEPARATION

MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION BETWEEN ALL WATER MAINS AND SANITARY/STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

17. RECYCLING

THE CONTRACTOR IS ENCOURAGED TO RECYCLE ANY MATERIALS OR PRODUCTS THAT ARE REUSABLE OR CAPABLE OF BEING RECYCLED.

GENERAL GRADING CONSTRUCTION NOTES:

1. QUALITY OF WORK

ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT M.D.O.T. CONSTRUCTION STANDARDS AND SPECIFICATIONS.

2. SUBGRADE PREPARATION

THE PRESENCE OF OTHER THAN GRANULAR MATERIALS IN THE SUBGRADE SOIL SHALL REQUIRE A FULL WIDTH, TWELVE INCH, GRANULAR SUB-BASE, M.D.O.T. CLASS II OR EQUIVALENT, PREPARED SUBGRADE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND/OR TESTED PRIOR TO PLACEMENT OF GRAVEL.

3. AGGREGATE BASE MATERIAL

AGGREGATE BASE TO BE USED ON THE PROJECT MUST MEET SPECIFICATION FOR M.D.O.T. 22A AND MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT. AGGREGATE BASE PLACEMENT MUST COMPLY WITH SECTION 3.01 OF THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. PREPARED AGGREGATE BASE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND TESTED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACE.

4. BITUMINOUS PAVEMENT (HMA)

THE CONTRACTOR SHALL GIVE THE OWNER'S REPRESENTATIVE 48 HOURS NOTICE PRIOR TO PLACEMENT OF BITUMINOUS SURFACE. BITUMINOUS PAVING MUST BE PERFORMED IN ACCORDANCE WITH THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION.

5. REMOVAL OF ORGANICS

ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF, SHALL BE ENTIRELY REMOVED FROM WITHIN THE SITE GRADING.

6. SITE GRADING

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED AS SOON AS FEASIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON ALL AREAS DISTURBED BY CONSTRUCTION.

7. FIELD CHANGES

ANY CHANGES IN SPECIFICATIONS OR CONSTRUCTION METHODS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER, AND MUST NOT CONFLICT WITH APPROVED PERMITS.

8. DRAINAGE

EXISTING STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS OR STRUCTURES DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. SEE THE PROPOSED GRADING PLAN FOR DETAILS ON CONSTRUCTION ITEMS.

9. ADJUSTMENTS

THE CONTRACTOR SHALL ADJUST ALL UTILITY SURFACE ITEMS TO THE FINISH GRADES PRIOR TO PAVING.

GENERAL WATER MAIN CONSTRUCTION NOTES:

1. STANDARDS

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2017 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS, ADOPTED ON SEPTEMBER 26, 2017 (AS AMENDED)).

2. DATUM

ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

3. DETAILS

PIPE BEDDING, THRUST BLOCKS, HYDRANT, VALVES, VALVE MANHOLES, AND ALL APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

4. PUBLIC EASEMENTS

EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

5. WATER SERVICES

THE DOMESTIC WATER AND FIRE PROTECTION MUST BE SEPARATE SERVICES TO EACH BUILDING.

6. UTILITY SEPARATION

ALL WATER MAINS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM SANITARY AND STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

7. NO DISRUPTION OF SERVICE

THE CONTRACTOR SHALL NOT DISRUPT THE WATER MAIN SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE G.T. CO. DPW BY THE CONTRACTOR A MINIMUM OF 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING BOTTLED WATER, DISINFECTING AND TESTING THE WATER MAIN BEFORE RECONNECTING, ETC. PER THE G.T. CO. STANDARDS.

8. SALVAGED MATERIALS

ALL EQUIPMENT AND MATERIALS THAT ARE CURRENTLY OPERATED AND MAINTAINED BY THE G.T. CO DPW AND IS INTENDED TO BE REMOVED AND SALVAGED SHOULD BE STOCKPILED AND RETURNED TO THE G.T. CO DPW. IN THE EVENT THAT THE DPW DOES NOT WANT THE SALVAGED MATERIALS, THE CONTRACTOR SHALL PROPERLY DISPOSE THE MATERIALS.

GENERAL SANITARY SEWER CONSTRUCTION NOTES:

1. STANDARDS

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2017 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS, ADOPTED ON SEPTEMBER 26, 2017 (AS AMENDED)).

2. CONNECTIONS

NO CONNECTION RECEIVING STORM WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWERS.

3. DATUM

ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

4. DETAILS

PIPE BEDDING, BUILDING SEWERS, DROP CONNECTIONS, BULKHEADS, MANHOLES, MANHOLE COVERS, AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

5. PUBLIC EASEMENTS

EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

6. UTILITY SEPARATION

ALL SANITARY SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

7. NO DISRUPTION OF SERVICE

THE CONTRACTOR SHALL NOT DISRUPT THE SANITARY SEWER SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE G.T. CO. DPW BY THE CONTRACTOR A MINIMUM OF 48 HOURS IN ADVANCE.

8. SALVAGED MATERIALS

ALL EQUIPMENT AND MATERIALS THAT ARE CURRENTLY OPERATED AND MAINTAINED BY THE G.T. CO DPW AND IS INTENDED TO BE REMOVED AND SALVAGED SHOULD BE STOCKPILED AND RETURNED TO THE G.T. CO DPW. IN THE EVENT THAT THE DPW DOES NOT WANT THE SALVAGED MATERIALS, THE CONTRACTOR SHALL PROPERLY DISPOSE THE MATERIALS.

GENERAL STORM SEWER CONSTRUCTION NOTES:

1. CONSTRUCTION STANDARDS

ALL MATERIALS, CONSTRUCTION, METHODS, TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH THE CURRENT MDT CONSTRUCTION STANDARDS UNLESS OTHERWISE SPECIFIED.

2. CONNECTIONS

NO CONNECTIONS SHALL BE MADE TO SANITARY SEWERS.

3. STRUCTURE ADJUSTMENTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING CATCH BASIN AND/OR MANHOLE RIMS TO THE FINISH GRADE ELEVATIONS. THE LOCATIONS AND ELEVATIONS SHOWN ARE BASED UPON PLAN GRADES AND ARE SUBJECT TO CHANGE.

4. UTILITY SEPARATION

ALL STORM SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

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Traverse City, MI 49685
Phone: 231-946-9310
www.mmaepps.com
info@mmaepps.com

Mansfield
— or —
Land Use Consultants

REV#	DATE	DES	CHK	DRN	CHK	DESC
00	04-29-21	dmc	mmf	dmc		Original design
01	05-02-21	dmc	mmf	dmc		Revised design

North Michigan Hospitality Management
Proposed Hotel
NOTE SHEET
Section 16, Town 27 North, Range 11 West
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

PAC: dmc

DR: mmf CDR: dmc CREATE: 06.06.22

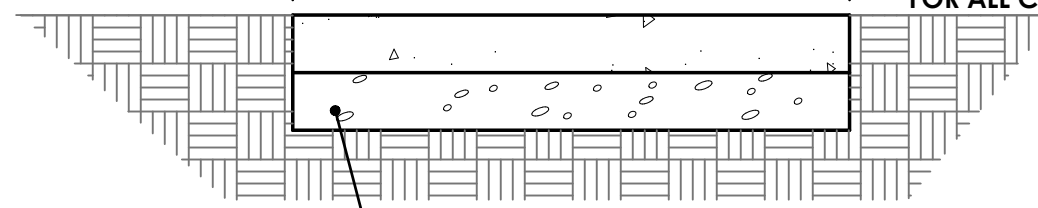
CON NO.: 22064

C1.1

ALL SIDEWALKS SHALL BE EXPOSED,
BROOM-FINISHED CONCRETE.

WIDTH VARIES AS SHOWN
ON THE PLANS
4" THICK CONCRETE PAVEMENT
3,000 PSI, 28 DAY STRENGTH.

ALL SIDEWALK RAMPS SHALL BE
CONSTRUCTED IN ACCORDANCE
WITH THE MOST CURRENT MDOT
STANDARD PLAN R-28 WITH THE
RELEVANT RAMP TYPE(S). INSTALL
DETECTABLE WARNING PLATES
FOR ALL CROSSINGS.

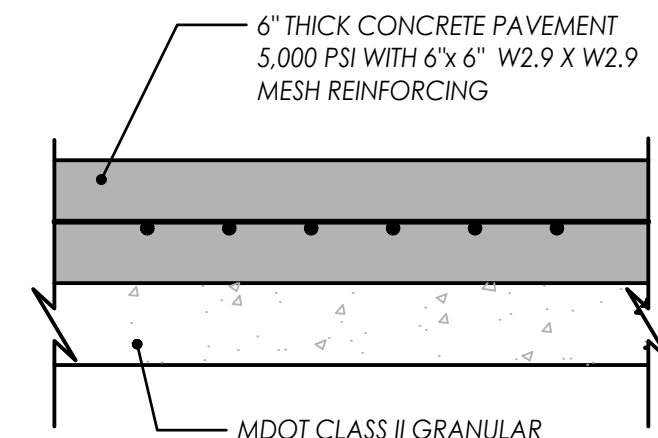


MDOT CLASS II GRANULAR MATERIAL COMPACTED
TO A MIN. OF 95% MAX. UNIT DENSITY (MODIFIED
PROCTOR) AS NEEDED TO ESTABLISH GRADE, 4" MIN.

NOTE:
EXPANSION JOINTS SHALL BE PLACED AT ALL SPRING POINTS, PERMANENT
STRUCTURES, AND AT A SPACING OF NOT MORE THAN 20 FEET. THE
SIDEWALK SHALL BE DIVIDED INTO UNIT AREAS OF NOT MORE THAN 36
SQUARE FEET BY MEANS OF CUT JOINTS (WPJ). INsofar AS POSSIBLE, UNIT
AREAS SHALL BE PERPENDICULAR AND NOT LESS THAN 16 SQUARE FEET.

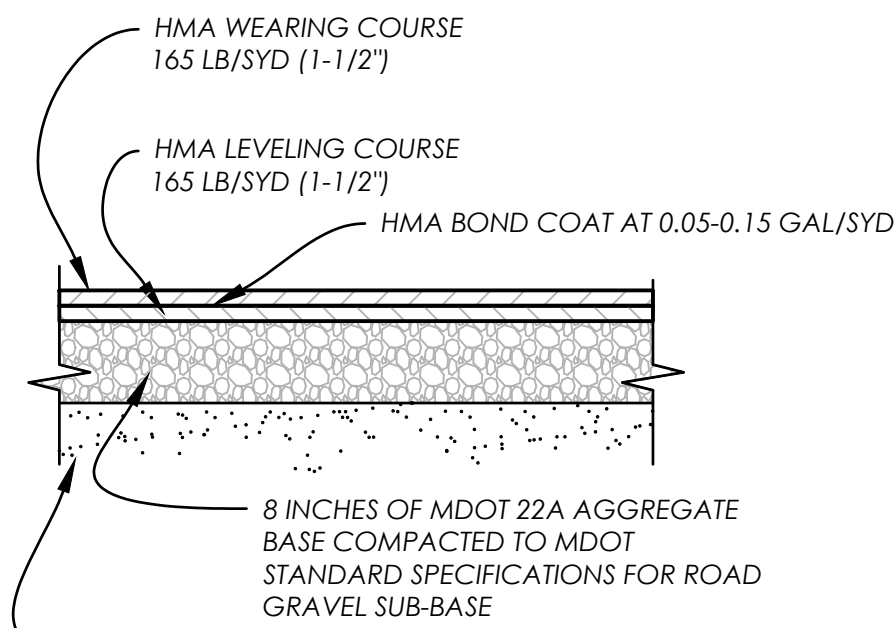
CONCRETE SIDEWALK DETAIL
NO SCALE

NOTE:
PROVIDE INDUSTRY STANDARD TRANSVERSE &
LONGITUDINAL PAVEMENT JOINTS, EXPANSION
JOINTS & CURB/LANE TIES AS NECESSARY.



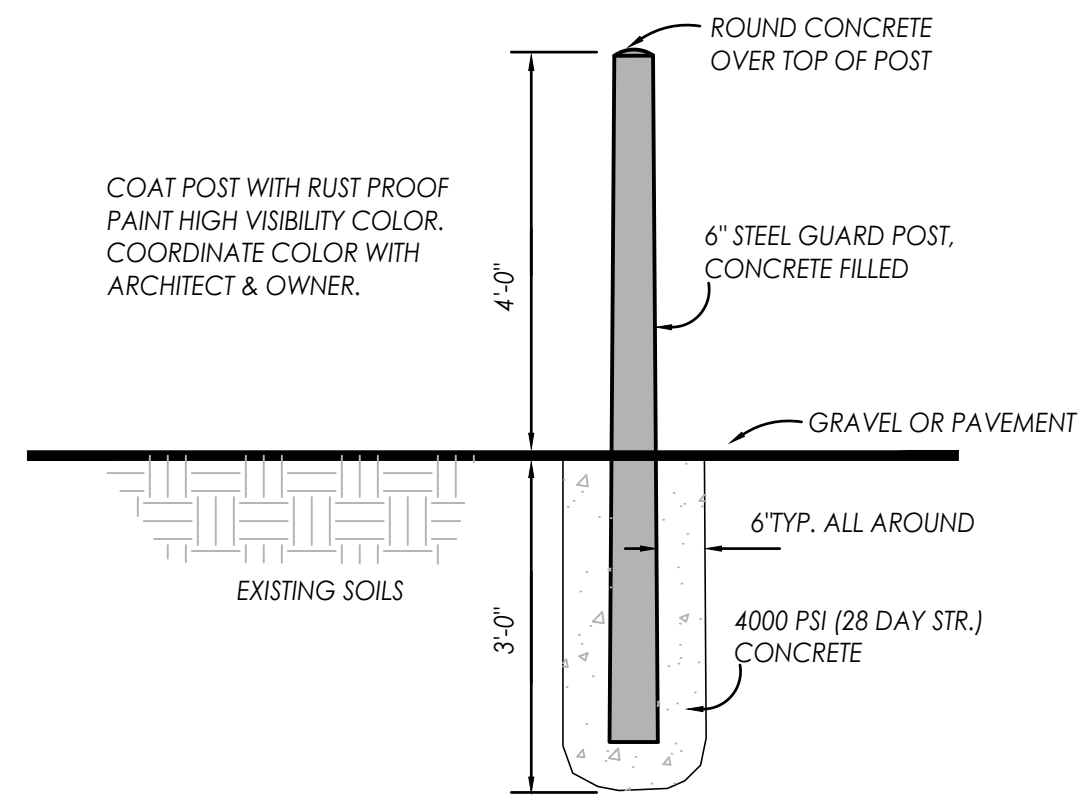
MDOT CLASS II GRANULAR
MATERIAL COMPACTED TO 95%
OF MAX. DENSITY AS NEEDED TO
ESTABLISH GRADE, 6" MIN.

PAVING DETAIL — CONCRETE
NO SCALE



MINIMUM OF 12 INCHES OF MDOT CLASS II
GRANULAR MATERIAL COMPACTED TO A
MINIMUM OF 95% OF THE MAXIMUM DRY
DENSITY AS DETERMINED BY ASTM D698 OR THE
MICHIGAN CONE METHOD.

PAVING DETAIL — HMA
NO SCALE



BOLLARD DETAIL
NO SCALE

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www.maepps.com
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Mansfield
— or —
Land Use Consultants

REV#	DATE	DES.	CHK.	DRN.	CHK.	DESC.
00	04-29-21	dmc				Original design
01	05-06-22	dmc				Revised Design

North Michigan Hospitality Management
Proposed Hotel
CIVIL DETAILS - SITE
Section 16, Town 27 North, Range 11 West
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

PX: dmc

DR: dmc CRD: dmc CREATE: 06.06.22

COR NO: 22064

C1.2

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830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
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Mansfield

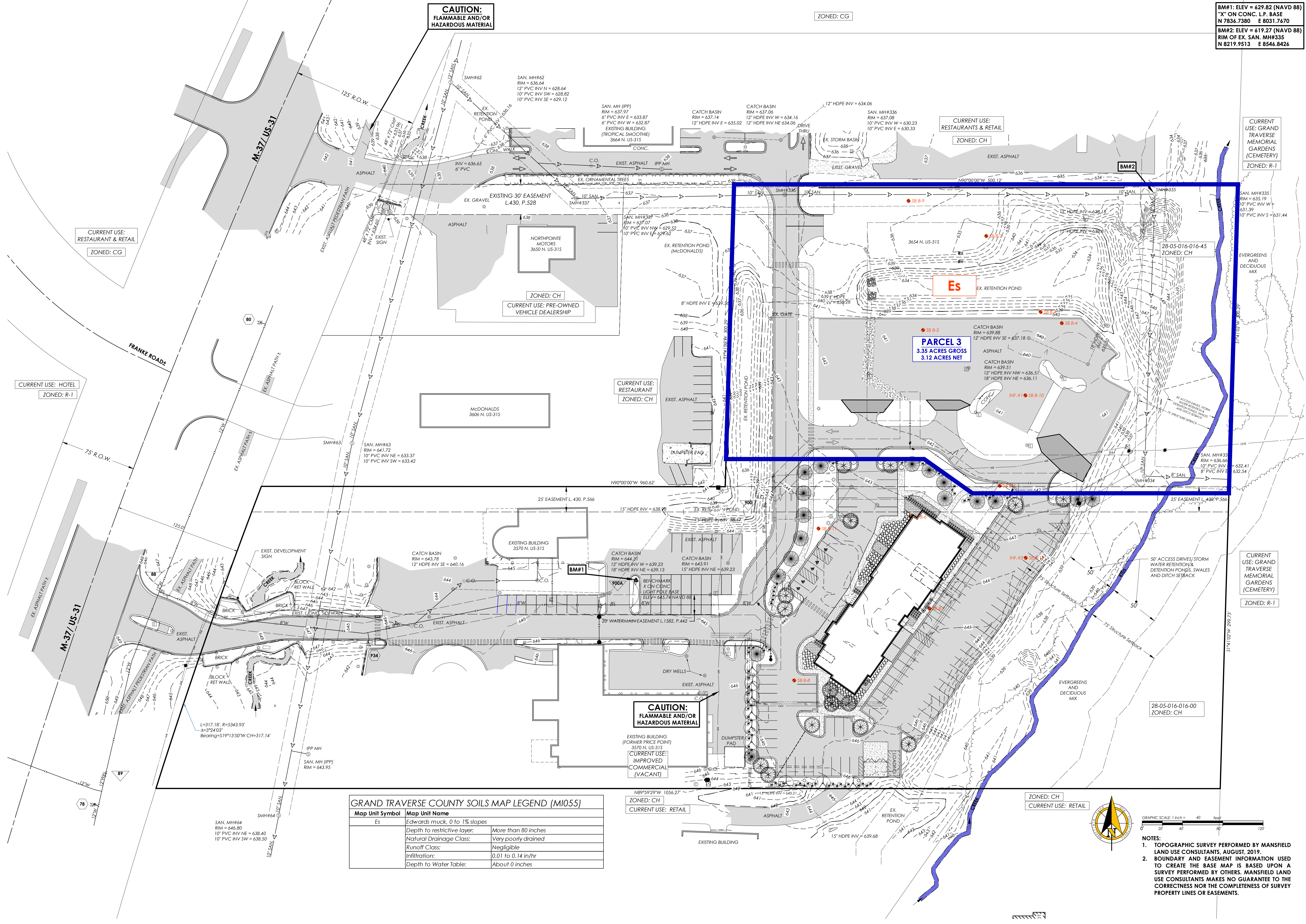
Land Use Consultants

REV#	DATE	DES	CHK	BY
00	04-29-21	dmc	dmc	Original design
01	05-02-22	dmc	dmc	Revised design

North Michigan Hospitality Management
Proposed Hotel
EXISTING CONDITIONS
 Section 16, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY
 dmc
 dmc
 06.06.22
 22064
 C2.0

BM#1: ELEV = 629.82 (NAVD 88)
 *X ON CONC. L.P. BASE
 N 7836.7380 E 8031.7670
 BM#2: ELEV = 619.27 (NAVD 88)
 RIM OF EX. SAN. MH#335
 N 8219.9513 E 8546.8426



CAUTION:
 FLAMMABLE AND/OR
 HAZARDOUS MATERIAL

ZONED: CG

CURRENT USE:
 RESTAURANTS & RETAIL
 ZONED: CH

CURRENT USE:
 GRAND TRAVERSE
 MEMORIAL GARDENS
 (CEMETERY)
 ZONED: R-1

CURRENT USE:
 RESTAURANT & RETAIL
 ZONED: CG

NORTHPOINTE
 MOTORS
 3650 N. US-315
 ZONED: CH
 CURRENT USE: PRE-OWNED
 VEHICLE DEALERSHIP

CURRENT USE:
 RESTAURANT
 ZONED: CH

CURRENT USE:
 HOTEL
 ZONED: R-1

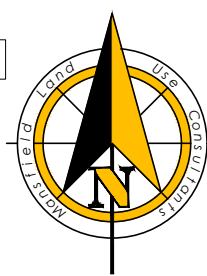
CURRENT USE:
 GRAND TRAVERSE
 MEMORIAL GARDENS
 (CEMETERY)
 ZONED: R-1

CAUTION:
 FLAMMABLE AND/OR
 HAZARDOUS MATERIAL

ZONED: CH
 CURRENT USE: RETAIL

GRAND TRAVERSE COUNTY SOILS MAP LEGEND (MI055)

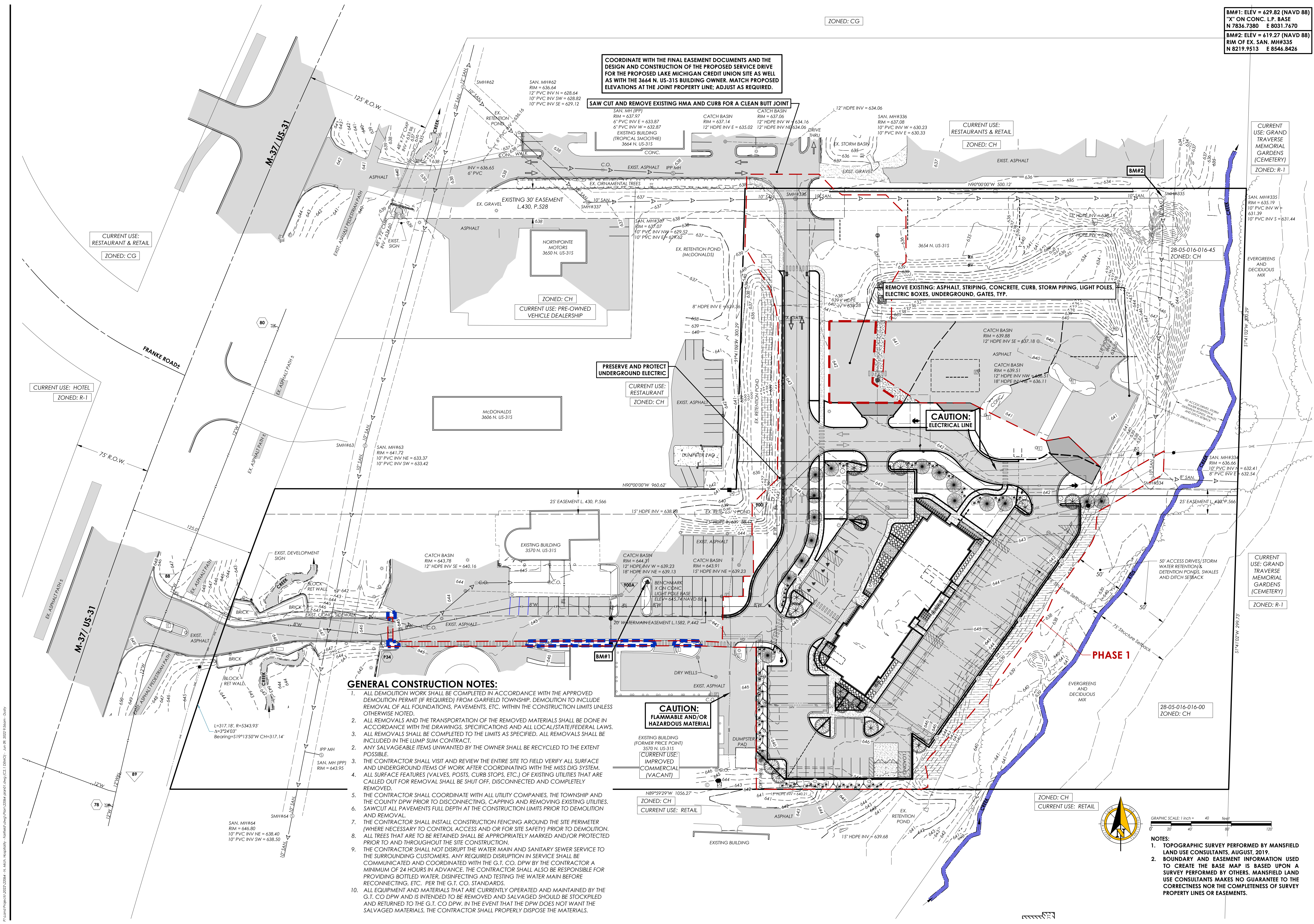
Map Unit Symbol	Map Unit Name
Es	Edwards muck, 0 to 1% slopes
	Depth to restrictive layer: More than 80 inches
	Natural Drainage Class: Very poorly drained
	Runoff Class: Negligible
	Infiltration: 0.01 to 0.14 in/hr
	Depth to Water Table: About 0 inches



GRAPHIC SCALE: 1 inch = 40 feet

- NOTES:
- TOPOGRAPHIC SURVEY PERFORMED BY MANSFIELD LAND USE CONSULTANTS, AUGUST, 2019.
 - BOUNDARY AND EASEMENT INFORMATION USED TO CREATE THE BASE MAP IS BASED UPON A SURVEY PERFORMED BY OTHERS. MANSFIELD LAND USE CONSULTANTS MAKES NO GUARANTEE TO THE CORRECTNESS NOR THE COMPLETENESS OF SURVEY PROPERTY LINES OR EASEMENTS.

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COORDINATE WITH THE FINAL EASEMENT DOCUMENTS AND THE DESIGN AND CONSTRUCTION OF THE PROPOSED SERVICE DRIVE FOR THE PROPOSED LAKE MICHIGAN CREDIT UNION SITE AS WELL AS WITH THE 3664 N. US-315 BUILDING OWNER. MATCH PROPOSED ELEVATIONS AT THE JOINT PROPERTY LINE; ADJUST AS REQUIRED.

SAW CUT AND REMOVE EXISTING HMA AND CURB FOR A CLEAN BUTT JOINT

REMOVE EXISTING: ASPHALT, STRIPING, CONCRETE, CURB, STORM PIPING, LIGHT POLES, ELECTRIC BOXES, UNDERGROUND, GATES, TYP.

PRESERVE AND PROTECT UNDERGROUND ELECTRIC

CAUTION: ELECTRICAL LINE

CAUTION: FLAMMABLE AND/OR HAZARDOUS MATERIAL

GENERAL CONSTRUCTION NOTES:

1. ALL DEMOLITION WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED DEMOLITION PERMIT (IF REQUIRED) FROM GARFIELD TOWNSHIP. DEMOLITION TO INCLUDE REMOVAL OF ALL FOUNDATIONS, PAVEMENTS, ETC. WITHIN THE CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED.
2. ALL REMOVALS AND THE TRANSPORTATION OF THE REMOVED MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS AND ALL LOCAL/STATE/FEDERAL LAWS.
3. ALL REMOVALS SHALL BE COMPLETED TO THE LIMITS AS SPECIFIED. ALL REMOVALS SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.
4. ANY SALVAGEABLE ITEMS UNWANTED BY THE OWNER SHALL BE RECYCLED TO THE EXTENT POSSIBLE.
5. THE CONTRACTOR SHALL VISIT AND REVIEW THE ENTIRE SITE TO FIELD VERIFY ALL SURFACE AND UNDERGROUND ITEMS OF WORK AFTER COORDINATING WITH THE MISS DIG SYSTEM. ALL SURFACE FEATURES (VALVES, POSTS, CURB STOPS, ETC.) OF EXISTING UTILITIES THAT ARE CALLED OUT FOR REMOVAL SHALL BE SHUT OFF, DISCONNECTED AND COMPLETELY REMOVED.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES, THE TOWNSHIP AND THE COUNTY DPW PRIOR TO DISCONNECTING, CAPPING AND REMOVING EXISTING UTILITIES. SAWCUT ALL PAVEMENTS FULL DEPTH AT THE CONSTRUCTION LIMITS PRIOR TO DEMOLITION AND REMOVAL.
7. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AROUND THE SITE PERIMETER (WHERE NECESSARY TO CONTROL ACCESS AND FOR SITE SAFETY) PRIOR TO DEMOLITION. ALL TREES THAT ARE TO BE RETAINED SHALL BE APPROPRIATELY MARKED AND/OR PROTECTED PRIOR TO AND THROUGHOUT THE SITE CONSTRUCTION.
8. THE CONTRACTOR SHALL NOT DISRUPT THE WATER MAIN AND SANITARY SEWER SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE G.T. CO. DPW BY THE CONTRACTOR A MINIMUM OF 24 HOURS IN ADVANCE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING BOTTLED WATER, DISINFECTING AND TESTING THE WATER MAIN BEFORE RECONNECTING, ETC. PER THE G.T. CO. STANDARDS.
9. ALL EQUIPMENT AND MATERIALS THAT ARE CURRENTLY OPERATED AND MAINTAINED BY THE G.T. CO DPW AND IS INTENDED TO BE REMOVED AND SALVAGED SHOULD BE STOCKPILED AND RETURNED TO THE G.T. CO DPW. IN THE EVENT THAT THE DPW DOES NOT WANT THE SALVAGED MATERIALS, THE CONTRACTOR SHALL PROPERLY DISPOSE THE MATERIALS.

BM#1: ELEV = 629.82 (NAVD 88)
 *X ON CONC. L.P. BASE
 N 7836.7380 E 8031.7670
 BM#2: ELEV = 619.27 (NAVD 88)
 RIM OF EX. SAN. MH#335
 N 8219.7513 E 8546.8426

830 Cottageview Dr., Ste. 201
 P.O. Box 4015
 Traverse City, MI 49685
 Phone: 231-946-9310
 www.mansfield.com
 info@mancps.com

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 Land Use Consultants

REV#	DATE	DES.	CHK.	CHK.
00	04-26-21	dmc	mmmm	dmc
01	05-02-22	dmc	mmmm	dmc

North Michigan Hospitality Management
 Proposed Hotel
DEMOLITION PLAN
 Section 16, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

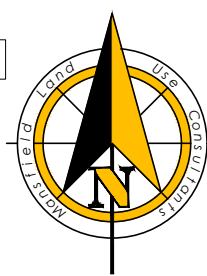
PRELIMINARY

PK: dmc
 DK: mmm
 CD: dmc
 CR: dmc
 DT: 06.06.22

22064

C2.1

GRAPHIC SCALE: 1 inch = 40 feet



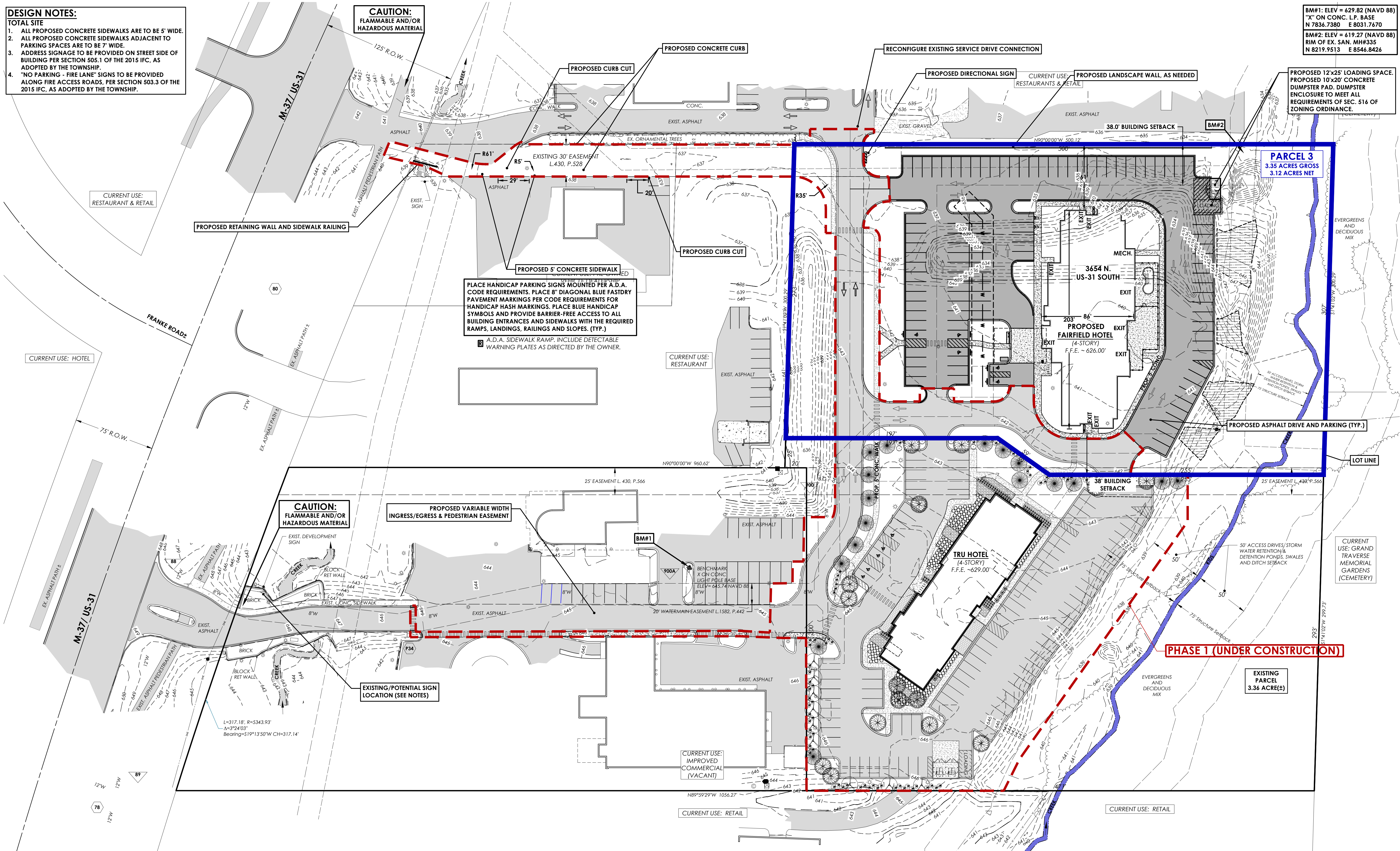
NOTES:
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DESIGN NOTES:
TOTAL SITE
 1. ALL PROPOSED CONCRETE SIDEWALKS ARE TO BE 5' WIDE.
 2. ALL PROPOSED CONCRETE SIDEWALKS ADJACENT TO PARKING SPACES ARE TO BE 7' WIDE.
 3. ADDRESS SIGNAGE TO BE PROVIDED ON STREET SIDE OF BUILDING PER SECTION 505.1 OF THE 2015 IFC, AS ADOPTED BY THE TOWNSHIP.
 4. "NO PARKING - FIRE LANE" SIGNS TO BE PROVIDED ALONG FIRE ACCESS ROADS, PER SECTION 503.3 OF THE 2015 IFC, AS ADOPTED BY THE TOWNSHIP.

**CAUTION:
 FLAMMABLE AND/OR
 HAZARDOUS MATERIAL**

BM#1: ELEV = 629.82 (NAVD 88)
 "X" ON CONC. L.P. BASE
 N 7836.7380 E 8031.7670
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 N 8219.9513 E 8546.8426



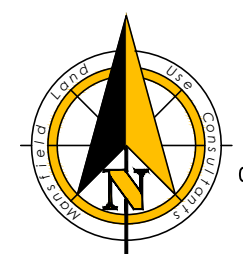
PLACE HANDICAP PARKING SIGNS MOUNTED PER A.D.A. CODE REQUIREMENTS. PLACE 8" DIAGONAL BLUE FASTDRY PAVEMENT MARKINGS PER CODE REQUIREMENTS FOR HANDICAP HASH MARKINGS. PLACE BLUE HANDICAP SYMBOLS AND PROVIDE BARRIER-FREE ACCESS TO ALL BUILDING ENTRANCES AND SIDEWALKS WITH THE REQUIRED RAMPS, LANDINGS, RAILINGS AND SLOPES. (TYP.)

A.D.A. SIDEWALK RAMP, INCLUDE DETECTABLE WARNING PLATES AS DIRECTED BY THE OWNER.

**CAUTION:
 FLAMMABLE AND/OR
 HAZARDOUS MATERIAL**

PHASE 1 (UNDER CONSTRUCTION)

NOTES:
 1. ALL SIGNS TO COMPLY WITH TOWNSHIP ZONING ORDINANCE. SIGN PERMITS TO BE OBTAINED FOLLOWING SITE PLAN APPROVAL.



NOTES:
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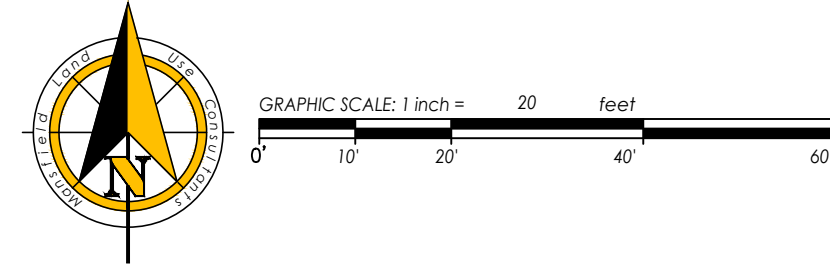
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REV#	DATE	DIS	BY	CHK	APP	DESCRIPTION
00	04-29-21	dmc	mmmm	dmc		Original design
01	05-02-22	dmc	mmmm	dmc		Revised design

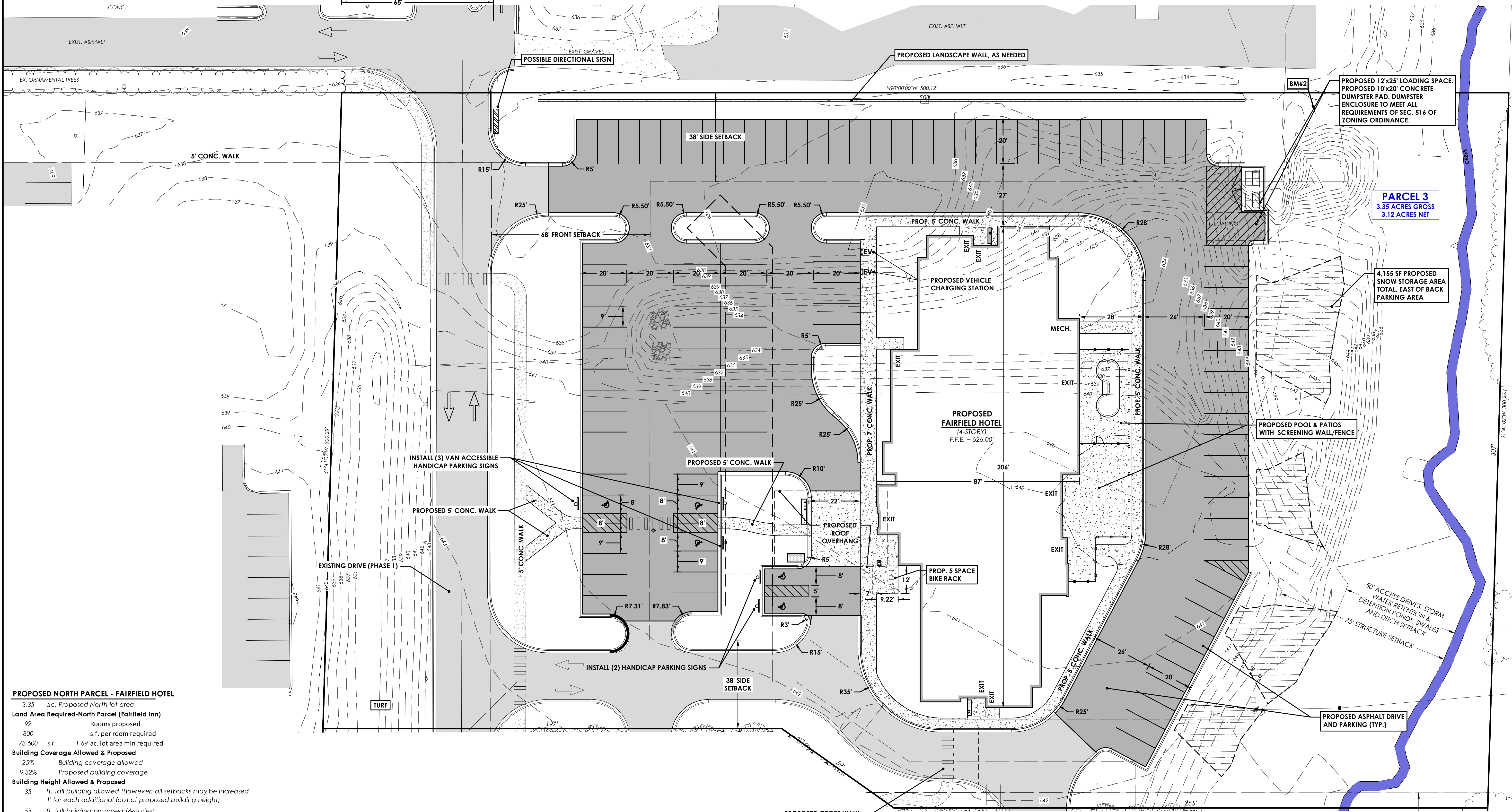
North Michigan Hospitality Management
Proposed Hotel
OVERALL SITE AND PLAN
 Section 16, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY
 DATE: dmc
 DRAWN: dmc
 CHECKED: dmc
 CREATED: 06.06.22
 JOB NO.: 22064
 SCALE: C4.0

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 N 7836.7380 E 8031.7670
 BM#2: ELEV = 619.27 (NAVD 88)
 RIM OF EX. SAN. MH#335
 N 8219.9513 E 8546.8426



PROPOSED 12x25' LOADING SPACE,
 PROPOSED 10x20' CONCRETE
 DUMPSTER PAD, DUMPSTER
 ENCLOSURE TO MEET ALL
 REQUIREMENTS OF SEC. 516 OF
 ZONING ORDINANCE.

PARCEL 3
 3.35 ACRES GROSS
 3.12 ACRES NET

4,155 SF PROPOSED
 SNOW STORAGE AREA
 TOTAL, EAST OF BACK
 PARKING AREA

PROPOSED NORTH PARCEL - FAIRFIELD HOTEL

3.35 ac. Proposed North lot area

Land Area Required-North Parcel (Fairfield Inn)

92 Rooms proposed

800 s.f. per room required

73,600 s.f. 1.69 ac. lot area min required

Building Coverage Allowed & Proposed

25% Building coverage allowed

9.32% Proposed building coverage

Building Height Allowed & Proposed

35 ft. tall building allowed (however, all setbacks may be increased 1' for each additional foot of proposed building height)

53 ft. tall building proposed (4-stories)

Parking Required & Proposed

92 Rooms proposed

92 1 space for each sleeping unit required

6 1 space required for each employee on largest shift (6 assumed)

98 Parking required

107 Parking spaces proposed

Handicap Spaces Required & Proposed

5 Total

3 Of which need to be van accessible

Bicycle Parking Required & Proposed (min. 1 rack per 25 parking spaces)

5 Required & proposed

Parking Lot Snow Storage Required & Proposed

10 s.f. snow storage area per 100 s.f. parking area

40,140 Parking area proposed

401 Parking area proposed/100

4,014 s.f. snow storage area required

4,155 s.f. snow storage provided

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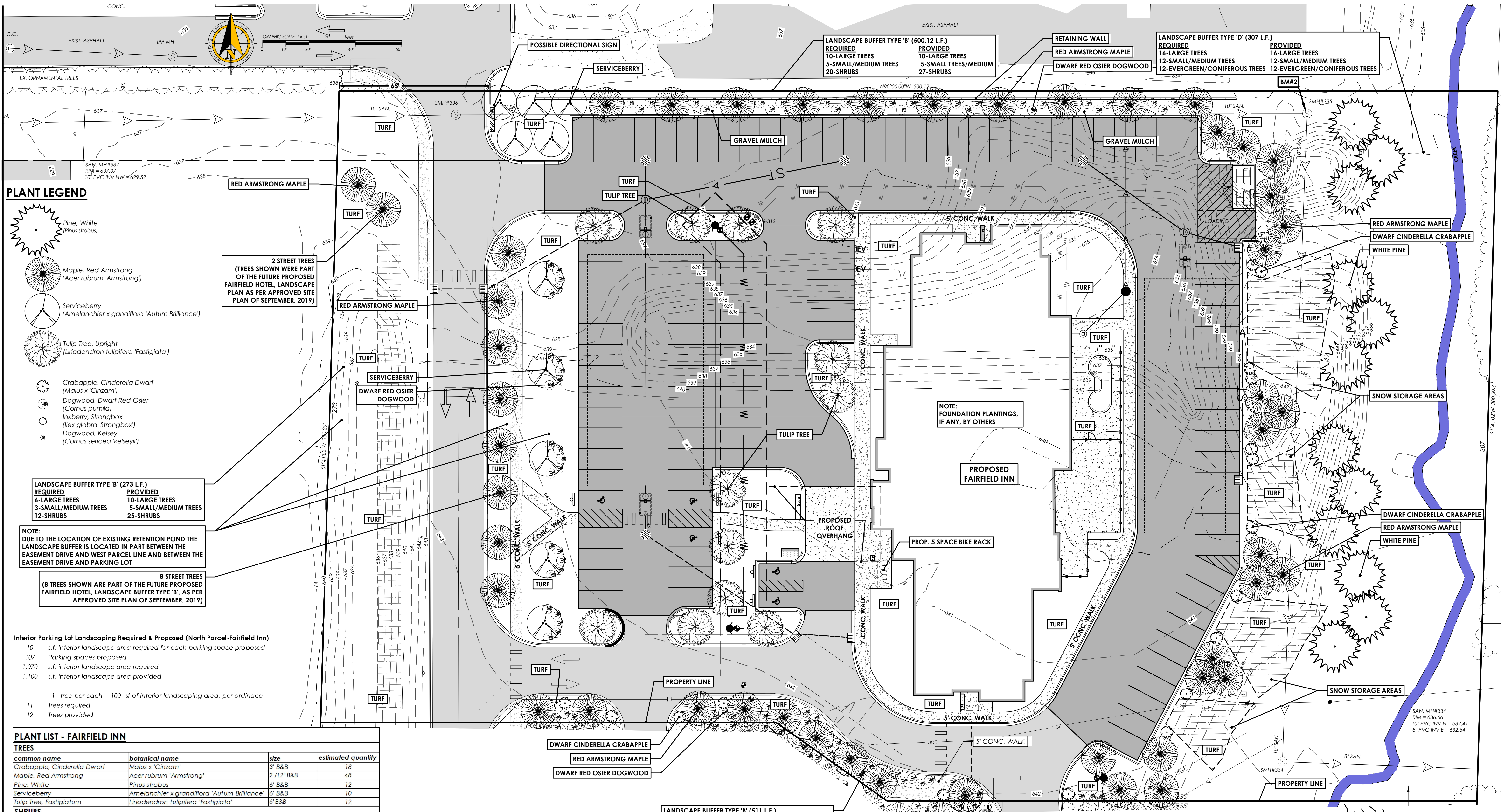
Mansfield
 Land Use Consultants

REV#	DATE	DES	CHK	DRN	CHK	DESC
00	04-29-21	dmc	mmtm	dmc		Original design
01	06-02-22	dmc	mmtm	dmc		Revised design

North Michigan Hospitality Management
Proposed Hotel
SITE & DIMENSION PLAN - NORTH
 Section 16, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY
 P.M.: dmc
 D.R.: mmtm C.R.: dmc C.R.: 06.06.22
 C.O.N.O.: 22064
 C4.1

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PLANT LEGEND

- Pine, White (*Pinus strobus*)
- Maple, Red Armstrong (*Acer rubrum 'Armstrong'*)
- Serviceberry (*Amelanchier x grandiflora 'Autum Brilliance'*)
- Tulip Tree, Upright (*Liriodendron tulipifera 'Fastigiata'*)
- Crabapple, Cinderella Dwarf (*Malus x 'Cinzam'*)
- Dogwood, Dwarf Red-Osier (*Cornus pumila*)
- Inkberry, Strongbox (*Ilex glabra 'Strongbox'*)
- Dogwood, Kelsey (*Cornus sericea 'kelseyii'*)

LANDSCAPE BUFFER TYPE 'B' (273 L.F.)
 REQUIRED: 6-LARGE TREES, 3-SMALL/MEDIUM TREES, 12-SHRUBS
 PROVIDED: 10-LARGE TREES, 5-SMALL/MEDIUM TREES, 25-SHRUBS

NOTE:
 DUE TO THE LOCATION OF EXISTING RETENTION POND THE LANDSCAPE BUFFER IS LOCATED IN PART BETWEEN THE EASEMENT DRIVE AND WEST PARCEL LINE AND BETWEEN THE EASEMENT DRIVE AND PARKING LOT

8 STREET TREES
 (8 TREES SHOWN ARE PART OF THE FUTURE PROPOSED FAIRFIELD HOTEL, LANDSCAPE BUFFER TYPE 'B', AS PER APPROVED SITE PLAN OF SEPTEMBER, 2019)

Interior Parking Lot Landscaping Required & Proposed (North Parcel-Fairfield Inn)

- 10 s.f. interior landscape area required for each parking space proposed
- 107 Parking spaces proposed
- 1,070 s.f. interior landscape area required
- 1,100 s.f. interior landscape area provided
- 1 Tree per each 100 sf of interior landscaping area, per ordinance
- 11 Trees required
- 12 Trees provided

PLANT LIST - FAIRFIELD INN

common name	botanical name	size	estimated quantity
TREES			
Crabapple, Cinderella Dwarf	<i>Malus x 'Cinzam'</i>	3' B&B	18
Maple, Red Armstrong	<i>Acer rubrum 'Armstrong'</i>	2' / 12" B&B	48
Pine, White	<i>Pinus strobus</i>	6' B&B	12
Serviceberry	<i>Amelanchier x grandiflora 'Autum Brilliance'</i>	6' B&B	10
Tulip Tree, Fastigiata	<i>Liriodendron tulipifera 'Fastigiata'</i>	6' B&B	12
SHRUBS			
Dogwood, Dwarf Red-Osier	<i>Cornus pumila</i>	3 gallon	76

PLANTING NOTES:

- Clean up and remove from the planting areas weeds and grasses, including roots, and any minor accumulated debris and rubbish before commencing work.
- Remove and dispose of all soil in planting areas that contains any deleterious substance such as oil, plaster, concrete, gasoline, paint, solvents, etc., removing the soil to a minimum depth of six (6) inches or to the level of dryness in the affected areas. The affected soil shall be replaced with native or imported soil as required.
- Finish grading all planting areas to a smooth and even condition, making certain that no water pockets or irregularities remain. Remove and dispose of all foreign materials, clods and rocks over 1 inch in diameter within 3 inches of surface.
- All Plant Materials shall be healthy, well developed representatives of their species or varieties, free from disfigurement with well-developed branch and root systems, and shall be free from all plant diseases and insect infestation.
- All plant substitutions will be subject to the Owner's approval.
- Each plant shall be planted with its proportionate amount of soil amendment and fertilizer. Hand smooth planting area after planting to provide an even, smooth, final finish grade. To avoid drying out, plantings shall be immediately watered after planting until the entire area is soaked to the full depth of each hole unless otherwise noted on the drawing.
- Mulch all planting beds with 3 inches of shredded hardwood mulch.
- Remove all tags, labels, nursery stakes and ties from all plant material only after the approval of the Owner.
- All plants shall be guaranteed for a period of one year. The guarantee period commences from the time of final acceptance by the Owner. Replace as soon as weather permits, all dead plants not in vigorous condition as noted during the maintenance period. Said plants shall be maintained for a period of 90 calendar days from the replacement date. Plants used for replacements shall be same kind and size as originally planted. They shall be furnished, planted and fertilized as specified and guaranteed.
- All turf lawn areas shall be sodded.
- Decorative stone material shall be 4" depth, minimum.

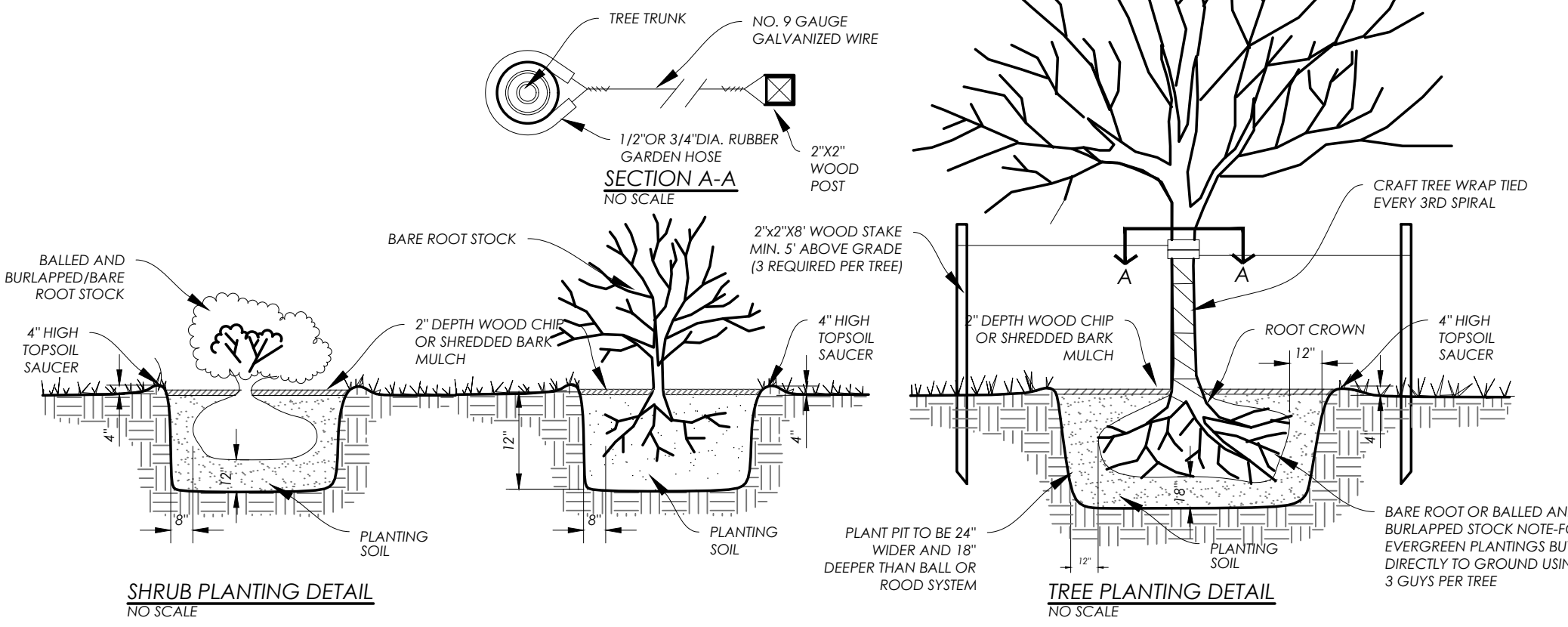
IRRIGATION NOTES:

- Landscaping to be irrigated. Installation to be performed by a reputable irrigation contractor. Irrigation system to be designed and installed using a low volume drip system.

LANDSCAPING PREPARED BY:

Dustin M. Christensen, LLA
 Landscape Architect
 No. 3901001527

LANDSCAPE BUFFER TYPE 'B' (511 L.F.)
 REQUIRED: 12-LARGE TREES, 6-SMALL/MEDIUM TREES, 24-SHRUBS
 PROVIDED: 12-LARGE TREES, 6-SMALL/MEDIUM TREES, 24-SHRUBS



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REV#	DATE	DES.	DRAWN	CHK.	DESC.
00	04-29-21	dmc	mmmm	dmc	Original design
01	05-26-22	dmc	mmmm	dmc	Revised design

North Michigan Hospitality Management
 Proposed Hotel
LANDSCAPE PLAN - NORTH
 Section 16, Town 27 North, Range 11 West
 Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

DATE:	06.06.22
BY:	dmc
CHECKED:	dmc
CREATED:	06.06.22

22064

L1.1

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Design: Barry J. Polzin
 Drawn By: MRA
 Date of Issue: 6/7/22

REVISION	DATE	ISSUE	BY

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SHEET:



VIEW LOOKING FROM SOUTH WEST



VIEW LOOKING FROM NORTH EAST

LEGEND

- PANEL MATERIAL
- PANEL MATERIAL
- PANEL MATERIAL
- PANEL MATERIAL
- VESTA GILDED GRAIN SIDING
- STONE
- HORIZONTAL SIDING

NOTE: PANEL MATERIAL IS PRE-FINISHED FIBER CEMENT SHEETS WITH EXTRUDED ALUMINUM JOINTS AND EDGES



WEST EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"



NORTH EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"



SOUTH EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"

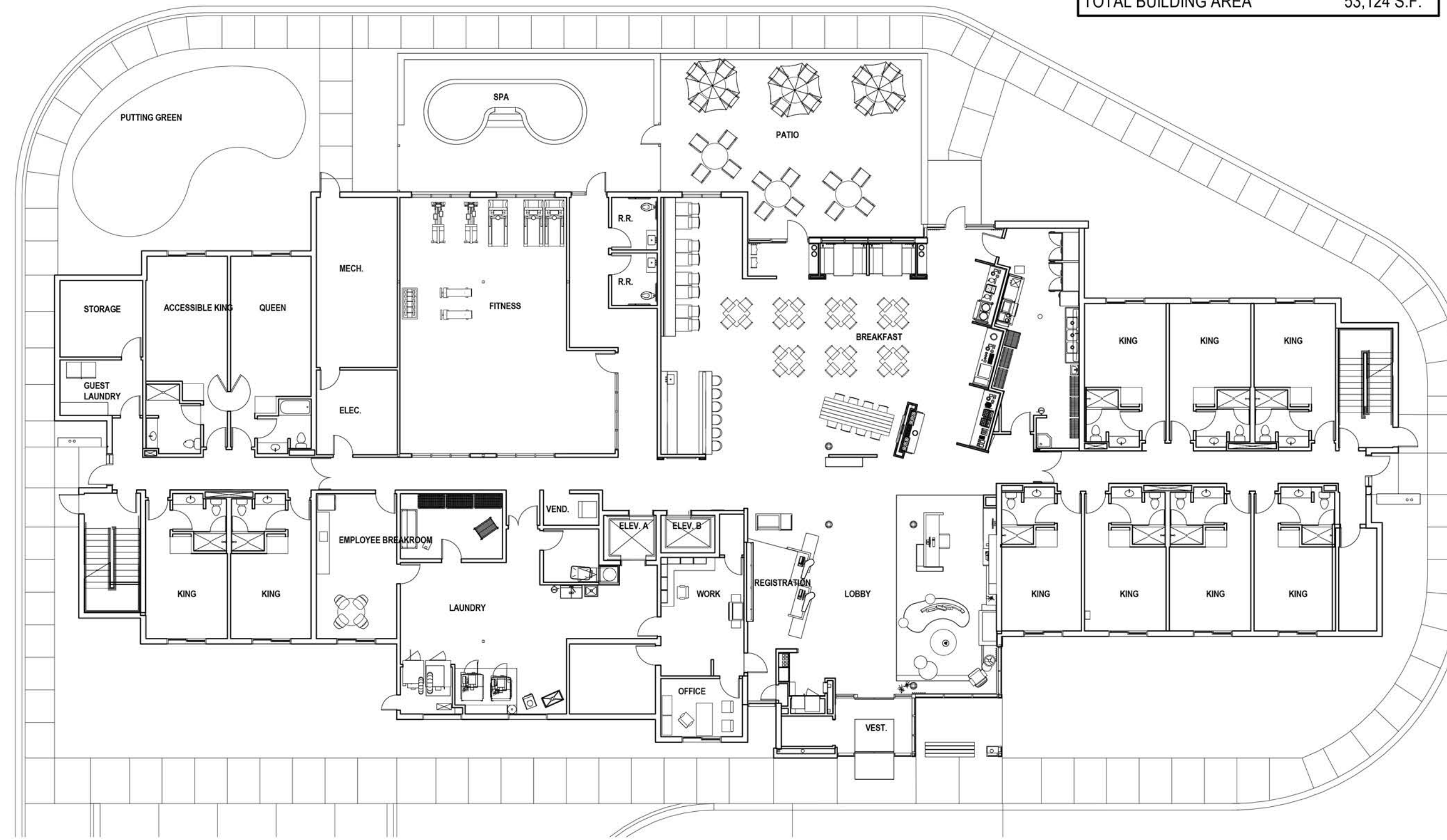


EAST EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"




2ND, 3RD, 4TH FLOOR PLAN
 SCALE: 1/16" = 1'-0"

BUILDING AREA FOOTPRINT	13,588 S.F.
TOTAL BUILDING AREA	53,124 S.F.



GROUND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

		<h2 style="margin: 0;">Charter Township of Garfield</h2> <h3 style="margin: 0;">Planning Department Report No. 2022-65</h3>	
Prepared:	July 6, 2022	Pages:	2
Meeting:	July 13, 2022 Planning Commission	Attachments:	<input checked="" type="checkbox"/>
Subject:	Zoning Ordinance Amendments Package – Introduction		

BACKGROUND:

The Planning Commission has been reviewing potential priority updates to the Zoning Ordinance at their past few study sessions. These priorities include clarifying wetland regulations, providing for changeable copy signs in Industrial districts, updating drive-through requirements, and other topics. Commissioners have directed staff to prepare a package of changes for introduction as a proposed amendment to the Zoning Ordinance. Draft language for these proposed changes is attached to this report.

STAFF COMMENT:

The proposed amendment would cover the following topics and sections of the Zoning Ordinance:

- ***Section 516 – Dumpster Enclosures***
 - Prohibit chain link gates with any type of slats (including plastic, vinyl, and wood) from being used for dumpster enclosure gates
- ***Section 534 – Wetlands***
 - Clarify applicability of this section to any wetlands other than those for which an applicant has obtained a valid permit from the State of Michigan to fill or modify such wetland
 - Require delineations of all wetlands and State verification of such delineations
 - Apply wetland setback of 25 feet to snow storage areas
- ***Section 551.E(6) – Snow Storage***
 - Require snow storage areas to be at least 25 feet away from the wetlands and to be outside of any required riparian vegetative buffer
- ***Section 611 – Accessory Uses and Structures***
 - Lower the required separation between an accessory structure and any other structure on the lot from 10 feet to 3 feet
 - Clarify that separation between structures is measured from the furthest projection of the building (e.g., roof / eaves), not the walls
- ***Section 613.A(1)(c) – Outdoor Display***
 - Allow the Zoning Administrator to review areas for outdoor display on administrative site plan reviews instead of the Planning Commission
 - Require outdoor display areas to be located to avoid interference with required landscaping areas, parking lots, vehicular maneuvering lanes, sidewalks, and pathways
 - Allow the Zoning Administrator the discretion to forward the review of an outdoor display area to the Planning Commission as needed
- ***Section 630 – Signs***
 - Adopt luminance standards for sign lighting for changeable copy signs
 - Allow changeable copy signs in the I-G and I-L zoning districts

The Planning Commission had questions on several items at their last study session on June 22, 2022. Staff offers the following comments:

- Staff found clarification that separation between buildings is measured from the outermost edge of any horizontal projecting element such as eaves or roofs, and not the walls
- The sign luminance standards proposed for changeable copy signs are currently used in the Zoning Ordinance for billboards. Relevant input from experts was used to form these standards.
- Planning Commissioners discussed the potential to allow for hauling snow off-site in lieu of some required on-site snow storage, to allow for greater use of properties for development. Upon further review, Staff recommends maintaining current snow storage requirements. Reducing on-site snow storage and tracking property owners hauling snow off-site would be difficult to enforce and could create scenarios where sites do not have enough snow storage and future owners may not be willing or able to haul snow off-site.

PROCESS:

The process for approving a text amendment includes two public hearings: one at the Planning Commission and one at the Township Board. The proposed text amendment is placed on tonight's Planning Commission agenda as an introduction and to set a public hearing.

ACTION REQUESTED:

If, following the discussion, the Planning Commission is prepared to schedule the *attached* draft proposed Zoning Ordinance text amendment for public hearing, then the following motion is suggested:

MOTION THAT the draft proposed Zoning Ordinance text amendment, as attached to Planning Department Report 2022-65, BE SCHEDULED for a public hearing for the August 10, 2022 Planning Commission Regular Meeting.

Any additional information the Planning Commission deems necessary should be added to the motion.

Attachments:

1. Draft Zoning Ordinance language.

Proposed Zoning Ordinance Updates

SECTION 516 DUMPSTER ENCLOSURES

Dumpsters or other refuse or recycling containers which serve developments such as, multi-unit residential buildings, institutional, commercial, office, industrial or mixed use establishments shall be enclosed and such enclosures shall comply with the following requirements:

- A. Such enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material.
- B. The enclosure shall be four-sided and constructed with an opaque gate constructed of wood or similar material, but not including chain link gates with ~~plastic or vinyl type~~ slats.
- C. Walls of the enclosure shall be a minimum of 6 feet in height.
- D. Interiors and exteriors of enclosures shall be kept clean and free of debris and clutter.

SECTION 534 WETLANDS

A. ~~Regulated Wetlands~~ Applicability

~~An applicant planning to make any improvements or changes to a regulated wetland within the district must obtain a permit from the DEQ in accordance with~~ This section applies to any wetland which is regulated under Part 303 (Wetlands Protection) of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, except for the following: prior to submitting a site plan or land use permit application under this Zoning Ordinance.

- (1) Any wetland or portion of wetland for which an applicant has obtained a permit from the State of Michigan to fill or modify such wetland, where such permit has not expired or otherwise been revoked, and where such permit has been submitted to the Township as part of a site plan or land use permit application in accordance with the provisions of this Zoning Ordinance.

B. Delineation

As part of a site plan or land use permit application submitted in accordance with the provisions of this Zoning Ordinance, such application shall be accompanied by a delineation of all wetlands on the site. This delineation shall be conducted by a professional engineer with relevant expertise. This delineation shall be verified by the State of Michigan. Documentation of such verification shall be submitted to the Township.

~~BC.~~ Wetland Setbacks

~~For a regulated wetland, or for an unregulated wetland area which otherwise meets the criteria to be designated as a wetland, no~~ No structure, ~~or~~ parking lot area, or snow storage area shall be ~~constructed~~ located within twenty-five (25) feet of such wetland. However, recognized wetlands may be incorporated into a stormwater management strategy provided that the wetland values will not be impaired and provided further that incorporation of the wetland will provide a net ecological benefit to groundwater and surface water.

SECTION 551.E(6)

(6) Snow Storage

Whenever a development requiring off street parking has parking areas containing two thousand seven hundred (2,700) square feet or more, provision shall be made for on-site snow storage. Such snow storage shall:

- (a) Be provided at the ratio of ten (10) square feet per one hundred (100) square feet of parking area.
- (b) Be located so as to prevent damage to landscaping required by this ordinance.

- (c) Not occupy required parking spaces or areas that would interfere with the clear visibility of traffic within the site or on adjacent streets.
- (d) Not be located within twenty-five (25) feet of a wetland regulated under Section 534 of this Zoning Ordinance, per Section 534.C.
- (e) Not be located within any required riparian vegetative buffer, per Section 535.C.

SECTION 611 ACCESSORY USES AND STRUCTURES

~~(1)~~(2) WITHIN THE “R-1,” “R-2,” AND “R-R” DISTRICTS: Accessory buildings may be erected as part of the principal building or may be connected to it by a roofed-over porch, patio, breezeway, or similar structure, or they may be completely detached. If attached to the principal building, an accessory building shall be made structurally a part of it, and shall comply in all respects with the requirements applicable to the principal building.

An accessory building not attached and not made a part of the principal building shall be permitted provided that:

- (a) The structure is located a minimum of ~~ten (10)~~three (3) feet from any other separate structure on the same lot as measured from the outermost edge of any horizontal projecting element;
- (b) The structure meets the minimum side yard setback, is not located in any front yard, does not exceed more than twenty-five percent (25%) of a required rear yard, and is located a minimum of 10-feet from the rear yard property line;
- (c) The structure shall not exceed a size equal to the ground floor area of the principal building and shall not exceed one (1) story or eighteen (18) feet in height; and
- (d) The structure may not be placed closer to the side street lot line than the side yard setback of the principal building on a corner lot.

SECTION 613 OUTDOOR STORAGE

Unless specifically permitted in this Section, no land in any District shall be used in whole or in part for the storage of unused or discarded equipment or materials, or the storage of unlicensed cars, boats, salvage, waste and junk outside of properly authorized buildings within said District. For purposes of this section, “outdoor storage” is divided into residential and non-residential districts and uses, as described below.

A. Regulations and Conditions

(1) Commercial Districts or Uses

- (a) Except as otherwise noted in this ordinance, commercial activities and accessory uses shall be carried on in completely enclosed buildings or screened areas.
- (b) Outdoor storage of inventory is permitted within the side or rear yard provided such inventory is appropriately screened from public view by a fence, wall, landscaping, or combination thereof, and provided further that no storage may occur within a no-build buffer zone or required landscaping area. Also see § 515, Fences and Walls.
- (c) The ~~Planning Commission~~Zoning Administrator in the case of a site diagram or administrative site plan, or the approval authority in all other cases, may approve designated areas of product display for large inventory items (boats, campers, trailers, snowmobiles, RV’s, swing sets, or similar items) or sales of natural vegetation in the front yard or side yard area for commercial uses, if permitted in the district, provided that such display area shall be located to avoid interference with required landscaping areas, parking lots, vehicular maneuvering lanes, sidewalks, and pathways. The Zoning Administrator shall retain the right to forward the review of any such proposed display area to the Planning Commission for their review and approval.

SECTION 630.E. Signs Permitted in C-L, C-G, and C-H Commercial Districts

(2) (b) Changeable copy (e.g. LED or manual change). Freestanding signs incorporating manual changeable letter, digital static messages, or images that change are permissible, provided the changeable copy does not exceed 20% of the permitted sign area and provided further that the rate of change between two static messages or images is not less than one (1) hour. The change sequence must be accomplished by means of instantaneous re-pixelization and shall be configured to default to a static display in the event of mechanical or electronic failure. Sign luminance shall not be greater than 4,200 candelas per meter squared beginning one hour after sunrise and continuing until one hour before sunset. Sign luminance shall not be greater than 200 candelas per meter squared at all other times. Sign lighting shall meet the requirements of this Ordinance.

SECTION 630.H. Signs Permitted in I-G and I-L Mixed-Use Industrial Business Districts

In the I-G and I-L Districts the following signs shall be permitted:

(1) All signs as permitted by Section 630.E., ~~with the exception that all changeable copy signs are prohibited.~~